

COMMITTEE OF THE WHOLE - APRIL 10, 2001

**ZONING BY-LAW AMENDMENT APPLICATION
SITE DEVELOPMENT APPLICATION
REPORT #P.2000.95
TRULLWROOK INVESTMENTS LIMITED (CANADIAN TIRE STORE)
FILES: Z.00.086 AND DA.00.086**

Recommendation

The Commissioner of Planning & Urban Design recommends:

THAT Zoning By-law Amendment Application Z.00.086 (Trullwrook Investments Limited) BE APPROVED to permit additional uses in the C1 Zone, being outdoor display or storage, windshield repair and propane tank filling stations exterior to a building and loading facing a street and also, to provide for the following exceptions:

- i) a minimum of 332 parking spaces;
- ii) a minimum 7.6m and 8.1m wide landscaped strip and a 7.5m wide strip adjacent to the northwest and southwest daylighting triangle;
- iii) a minimum 7.6m wide rear yard in the northwest portion of the side;
- iv) a minimum 3.4m high screen wall;
- v) an aisle width greater than 13.5m to serve the loading area, and,
- vi) any necessary exceptions to implement the approved site plan.

THAT Site Plan Application DA.00.086 (Trullwrook Investments Limited) BE APPROVED, subject to the following conditions:

- a) that prior to the execution of the site plan agreement:
 - i) the final site plan and building elevations shall be approved by the Community Planning Department;
 - ii) the final landscape plan shall be approved by the Urban Design Department;
 - iii) the final site servicing and grading plan and stormwater management report shall be approved by the Engineering Department;
 - iv) access and on-site vehicular circulation shall be approved by the Engineering Department, and shall be to the satisfaction of the Region of York Transportation and Works Department and the Ministry of Transportation Ontario;
 - v) all hydro requirements shall be to the satisfaction of Hydro Vaughan Distribution Inc.; and,
- b) that the site plan agreement provide that all trucks within the loading bay area are completely screened from Dufferin Street, and that the Owner will undertake any extension of the screen wall height above the minimum 3.4m as shown on the elevation, if required, to the satisfaction of the Community Planning + Urban Design Departments.

Background

Location

- East side of Dufferin Street, south of Highway #407, and north of the hydro corridor
- Block 2 on Draft Approved Plan of Subdivision 19T-98V12
- Lot 8, Concession 2, City of Vaughan

Proposal

On September 4, 2000, the Owner submitted applications to amend the Zoning By-law and for a Site Plan, to permit the development of a 7,335m² retail store (Canadian Tire), on a 2.59 ha site. Amendment to the Zoning By-law is required to permit additional uses in the C1 Zone, being the outdoor display or storage of goods and materials; windshield repair and propane tank filling stations located exterior to a building and loading facing a road allowance. In addition, the following exceptions are proposed:

- i) a minimum of 339 parking spaces, whereas 441 spaces are required;
- ii) a minimum 7.6m and 8.1m wide landscaped strip adjacent to the northwest daylighting triangle, and a 7.5m wide strip adjacent to the southwest daylighting triangle, whereas 9m is required;
- iii) a minimum 7.6m rear yard at in the northwest, whereas 9m is required;
- iv) a minimum 3.4m high screen wall (on top of a retaining wall) adjacent to the loading area, whereas 4.2m is required (without of the retaining wall); and,
- v) a driveway aisle in excess of the maximum 13.5m width to serve the loading area.

Land Use Status

- Designation - "General Commercial" by OPA #450, as amended by site-specific OPA #515 and OPA #552
- Zoning - C1 Restricted Commercial Zone by By-law 1-88, subject to Exception 9(1073)

Site Description

- an irregular-shaped, 2.59 ha vacant site, within an unregistered plan of subdivision
- the surrounding land uses upon registration of the subdivision are:

North - planned road; vacant (C1Zone)

South - planned road; MTO transitway corridor (PB2 Zone) hydro corridor (PB1S Zone)

East - planned road; heritage house and vacant (C1 Zone)

West - Dufferin Street; residential (PB2 Zone)

Public Hearing

On September 8, 2000, a notice of public hearing was circulated to all property owners within 120m of the subject lands. At the Committee of the Whole (Public Hearing) on October 2, 2000, concerns were expressed with the colour of the building, which reflects the corporate image of Canadian Tire, and the need for upgraded landscaping along the south property line. These matters have been reviewed by Staff, and are addressed in this report.

The recommendation of the Committee of the Whole to receive the public hearing and to forward a comprehensive report to a future Committee meeting, was ratified by Council on October 10, 2000.

Official Plan

The site specific "General Commercial" designation permits a retail store, outside display and storage of goods and materials, and loading facing a road. The proposed development conforms to the Official Plan.

Zoning

The site specific C1 Restricted Commercial Zone permits a retail store, but not the proposed outdoor display or storage of goods and materials, windshield repair and propane tank filling stations outside of a building, or loading facing a road allowance. Exceptions to the C1 Zone are also proposed for reduced parking, landscape strip widths, rear yard setback and screen wall height, and for an increased aisle width serving a loading area. Therefore, an amendment to the Zoning By-law is required to facilitate the proposed site development.

Site Design

Upon construction of the internal roads within the subdivision, the irregular-shaped site will be bounded by Dufferin Street to the west, Caraway Drive to the north, and Racco Parkway to the east and south.

The site plan consist of a 7,335m² building (Canadian Tire store) adjacent to the Dufferin Street frontage, with the main entrance and 339 parking spaces on the east side. A 561m² outdoor garden centre is located adjacent to the south wall, enclosed by a 3 m high black metal fence.

An automobile service centre with 15 internal bays and wood garbage enclosure and loading docks are at the north end of the building. An 81m² outdoor storage compound for the temporary storage of used tires and other materials associated with the service centre, is adjacent to the north wall of the building, and enclosed by a 2.4m high wood fence.

Zoning Exceptions

Two loading docks are proposed at the northwest corner of the building, facing Caraway Drive and parallel to Dufferin Street. The loading area is partially below grade on a downward slope from north to south, and will be buffered along the west side by a 24m long and 3.4m high screen wall set on top of a retaining wall, ranging in height from .15m to 1.15m. Together, the retaining and screen walls will provide a 4.5m high screen at the south end to 3.55m at the north end, which should sufficiently screen the trucks in this area. Terraced landscaping and black metal fencing will be strategically placed along Dufferin Street and Caraway Drive to further screen the loading area, in accordance with the Urban Design Guidelines and Landscape Master Plan for Trullwrook Subdivision 19T-98V12. Accordingly, Staff can support the zoning exception to permit the 3.4m high screen wall, and the site plan agreement will include wording to ensure screening of the entire truck in this area.

Staff can support the zoning exception to permit a driveway aisle in excess of the maximum 13.5m width in front of the loading area, as sufficient vehicle turning area is required to accommodate large trucks, which will be screened by the landscaping along these roads. Also, the proposed outdoor storage compound can be supported as the 6m landscape strip along Caraway Drive will provide screening.

The Applicant has also requested exceptions to permit 2 uses exterior to the building, whereas the Zoning restricts all activities to the interior of the building. The site plan shows a propane tank filling station on a raised concrete pad within the parking area, opposite the service centre. The future outdoor windshield repair station (a small tent-like structure) is not shown on the site plan, but will occupy 2 parking spaces. To avoid the need for a minor amendment to the site plan agreement, it would be preferable to show this use on the site plan. Staff support the exceptions to allow the two uses to be undertaken outside, being a common element at other Canadian Tire sites.

Access

Site access is proposed from three full-movement accesses, two of which are located on Racco Parkway (10m wide), and the third on Caraway Drive (9m wide). The Region of York will not permit direct driveway access onto Dufferin Street.

The Ministry of Transportation Ontario (MTO) has jurisdiction over the design and location of accesses on Caraway Drive, as this road will be opposite the Highway #407 off-ramp. In a letter dated December 11, 2000, the MTO indicated that a right-in/right-out access with a raised centre median on Caraway Drive may be more appropriate from an operational and safety perspective but requires further review.

In response, the Applicant's transportation consultant (RGP Transtech Inc.) submitted a report titled "Site Traffic Analysis" dated January 29, 2001, indicating that there will be no vehicular queue build-up on Caraway Drive. On March 26, 2001, the MTO responded that they could not support a full access, but would continue to work with Trullwrook to resolve the matter. Final approval of the site plan will be conditional upon the MTO confirming the access type on Caraway Drive, and revising the site plan accordingly.

Parking

By-law 1-88 requires a minimum of 441 parking spaces to serve the development (7,335 m² @ 6 spaces/100 m² GFA). A total of 339 spaces are proposed, which results in a deficiency of 102 spaces (23.2%).

In support of the site plan, the Applicant submitted a parking justification report, which considered other similar Canadian Tire sites, including the Woodbridge store, and customer demand. The parking report concluded that a minimum of 283 parking spaces (35.9% deficiency) would support the development, and that sufficient parking would be available. The parking report was approved by the Engineering Department.

The Urban Design Department requires a significant number of painted traffic islands within the parking area to be changed to curbed landscaped islands, resulting in 5 less parking spaces and relocation of a cart corral. Given the conclusions of the parking report, this deficiency is acceptable, as the site will benefit by a more visually acceptable parking area.

Servicing

The subject lands have access to municipal services including sanitary and storm sewers and water. The Applicant is to revise the site servicing and grading plan and stormwater management report to address minor engineering details, to the satisfaction of the Engineering Department.

Hydro Vaughan Distribution Inc. advises that the Applicant is to design and install a buried hydro distribution system to supply power to the building, and that any costs associated with pole conflicts are to be borne by the Applicant.

The Region of York Transportation and Works Department has advised that they are satisfied with the engineering works for the site.

Landscaping

The landscape plan consists of deciduous and coniferous tree and shrub planting around the perimeter of the site. A 9m wide landscaped strip will be provided along Dufferin Street, and a 6m wide strip will be provided along Caraway Drive and Racco Parkway. Staff can support the proposed reductions to the landscape strip widths at the northwest corner of the site from 9m to 7.6m and 8.1m, and to 7.5m at the southwest corner, which will not compromise the streetscape in these locations. As compensation, the planting will be enhanced and in of the landscaped strips on the site.

Decorative unit paving is proposed within the parking lot and provides a pedestrian connection from Caraway Drive, across the front of the building, and terminating adjacent to the enclosed garden centre. The landscape plan must be revised to show the southerly extension of the pedestrian connection to Racco Parkway, curbed landscaped islands and the relocated cart corral. The curbing around the propane fueling station needs to be extended westward, and include depressed curbs for pedestrian connection. Also, the grading along Dufferin Street must be revised to accommodate a level area with a swale adjacent to the building, and to allow sufficient room for the entry features identified in the Master Landscape Plan.

The 9.14m high pylon sign adjacent to the loading screen wall must be relocated further south, and away from the subdivision entry features. Also, the site servicing and grading plan must be revised to relocate the hydro easement away from the northeast corner of the site, as it conflicts with the landscape features identified on the Master Landscape Plan.

Canadian Tire will be responsible for installing the screen wall and the landscaping consisting of deciduous and coniferous trees and shrubs, within the 9m wide landscaping strip along Dufferin Street and the 6m strips adjacent to Caraway Drive and Racco Parkway. As part of the subdivision works, Trullwrook will be installing the landscaping, pavers, entry features, corner wall and street furniture at the northwest, southwest and northeast corners of the site. All landscaping must be in accordance with the final Urban Design Guidelines and Master Landscape Plan for the subdivision.

The parkland dedication requirements under the *Planning Act* will be satisfied through the dedication of land to be added to Concord/Thornhill Regional Park, upon registration of Trullwrook Subdivision 19T-98V12.

Building Design

The building is to be constructed with a flat roof to a height of 8m, and include white metal-mesh screening around the roof-top mechanical equipment. The main entrance is located centrally along this facade, and surrounded with white precast concrete panels with red company signage and logo, and grey split-face concrete block. The remainder of the facade consists of grey ribbed precast concrete panels with a red horizontal accent band in the centre, and bay doors for the vehicle service and repair centre to the north, and a glass enclosed garden centre to the south.

The rear (west) elevation adjacent to Dufferin Street provides for the company signage and logo on white precast concrete panels, centrally located on the wall. The remainder of the wall consists of grey ribbed precast concrete panels with a red horizontal accent band in the centre. The Applicant will be revising the elevation plan to extend the height of the loading screen wall at the north end from 2.4m to 3.4m. The screen wall material

must be revised to match the grey ribbed precast used on the main building, rather than the proposed grey split-face concrete block.

The outdoor garden centre is enclosed by 3m high black metal fencing on the east, west and south elevations. The rear of the enclosed portion of the garden centre can be seen from Dufferin Street and comprises glass windows along the bottom and white metal siding on the upper portion. This must be revised to glass or precast concrete material, given the high visibility of the building from the street.

A 6.2m high seasonal frost shader house (enclosed greenhouse) is centrally located within the outdoor garden centre. This structure will be constructed with a clear vinyl material on a metal frame, with the vinyl covering to be removed during the winter months.

The north elevation faces Caraway Drive and is comprised of grey ribbed precast concrete panels with a red horizontal accent band in the centre. A 2.4m high wood fence to screen the outdoor storage and garbage enclosures must be revised from white plywood to board-on-board cedar and stained to match the building colour. Two loading docks are proposed at the northwest corner of the building.

Conclusion

Staff has reviewed the zoning by-law amendment and site plan applications in accordance with the site-specific development policies in OPA #515 and OPA #552, and the requirements of By-law 1-88. Staff are satisfied that the proposed commercial development is in keeping with the objectives of these documents, with the inclusion of the proposed exceptions to the by-law.

Revisions to the site plan and landscaping are to be addressed by the Applicant, as a condition of site plan approval. In addition, final approval of the site plan will be conditional upon the MTO confirming the access on Caraway Drive to be either full-movement or right-in/right-out movement.

For these reasons, Staff recommend approval of the Zoning By-law Amendment and Site Plan applications, subject to conditions. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Building Elevations

Respectfully submitted,

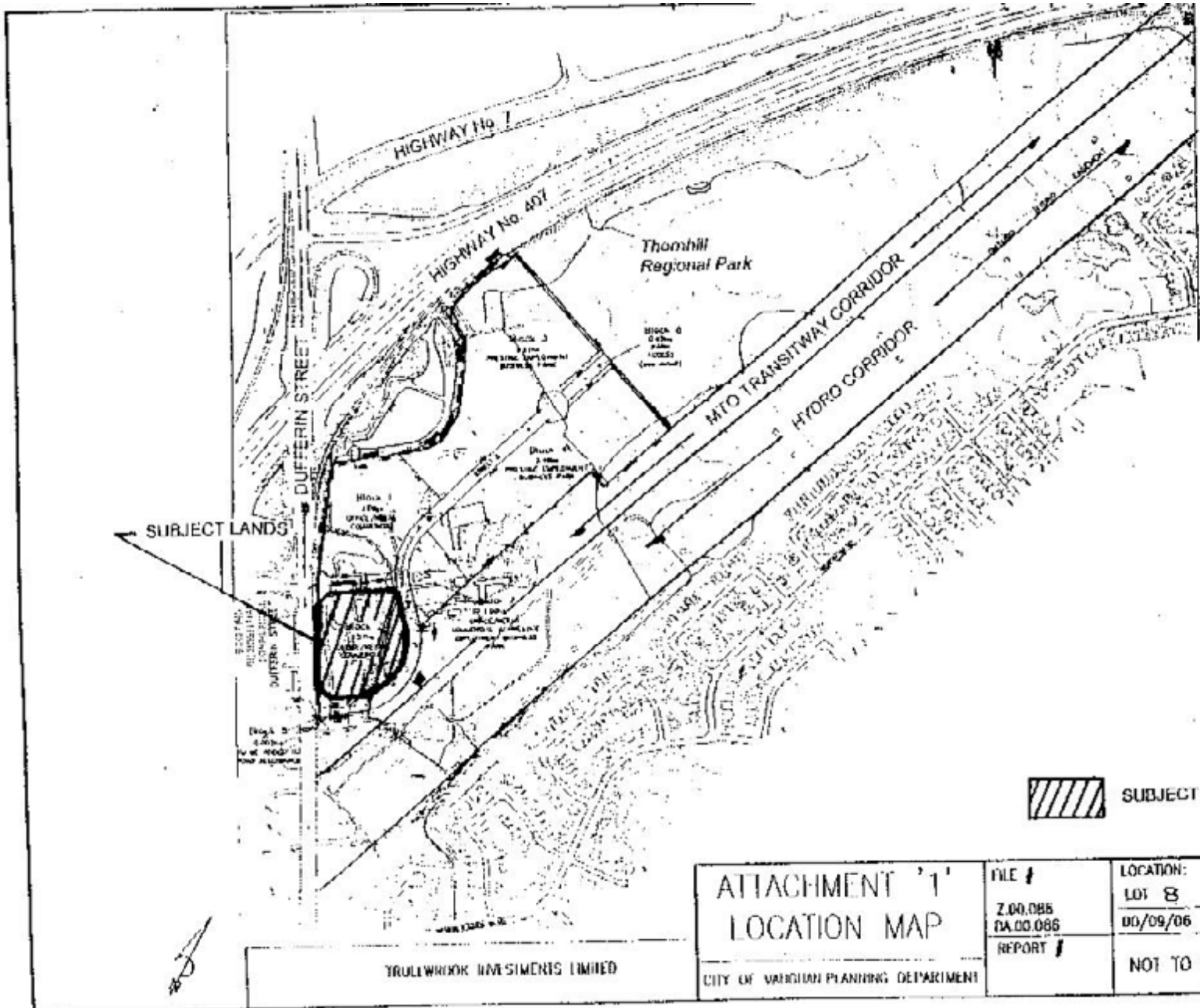
MICHAEL DeANGELIS
Commissioner of Planning & Urban Design


JOANNE R. ARBOUR
Director of Community Planning

Report prepared by: Grant A. Uyeyama, Senior Planner, Development, ext. 8635
Bianca M.V. Bielski, Manager, Development, ext. 8485

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 SUBJECT LANDS

ATTACHMENT '1'
LOCATION MAP

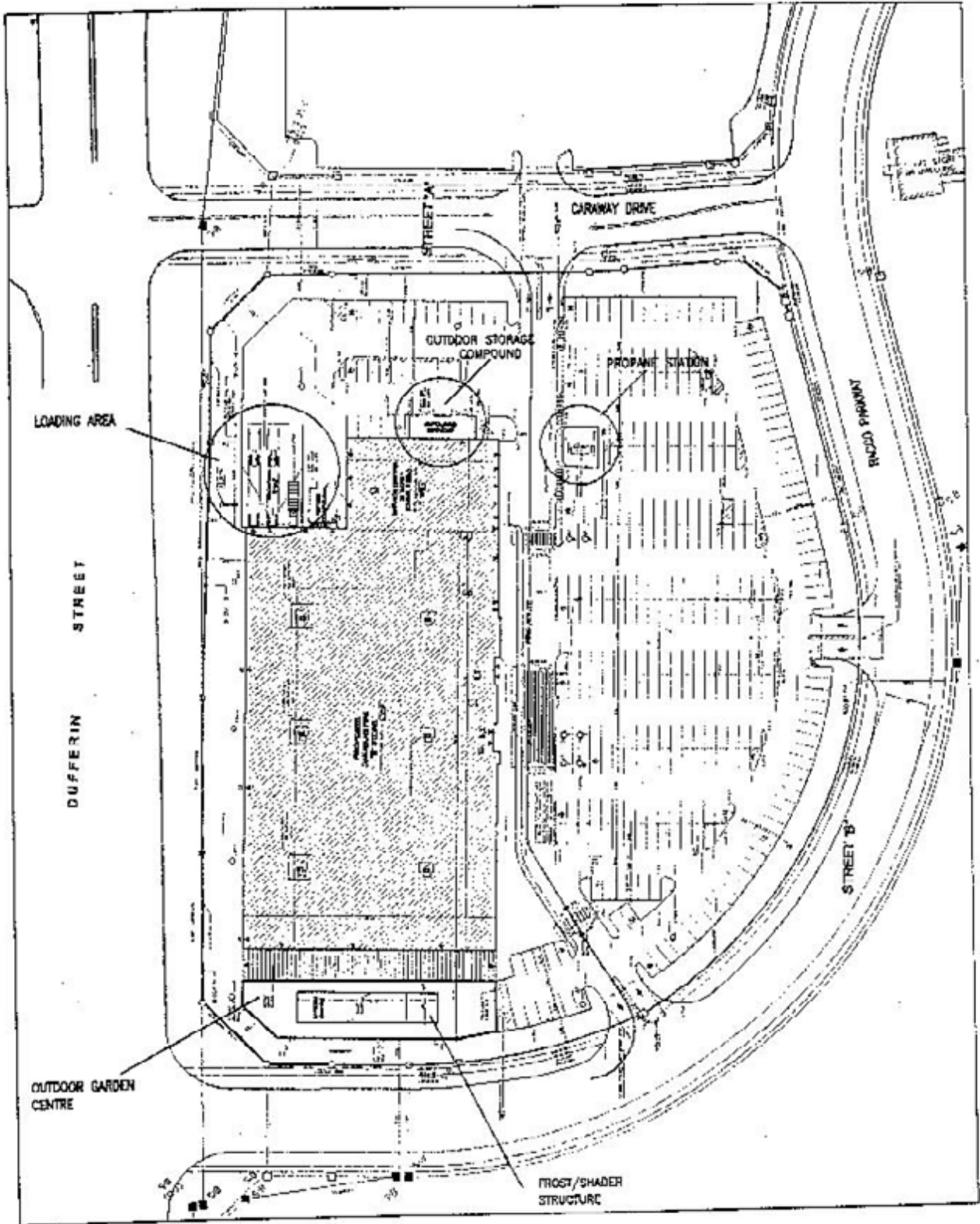
FILE #
Z.00.085
PA.00.086
REPORT #

LOCATION:
LOT 8 CONC. 2
00/09/06

TRULLEWICK INVESTMENTS LIMITED

CITY OF VANCOUVER PLANNING DEPARTMENT

NOT TO SCALE



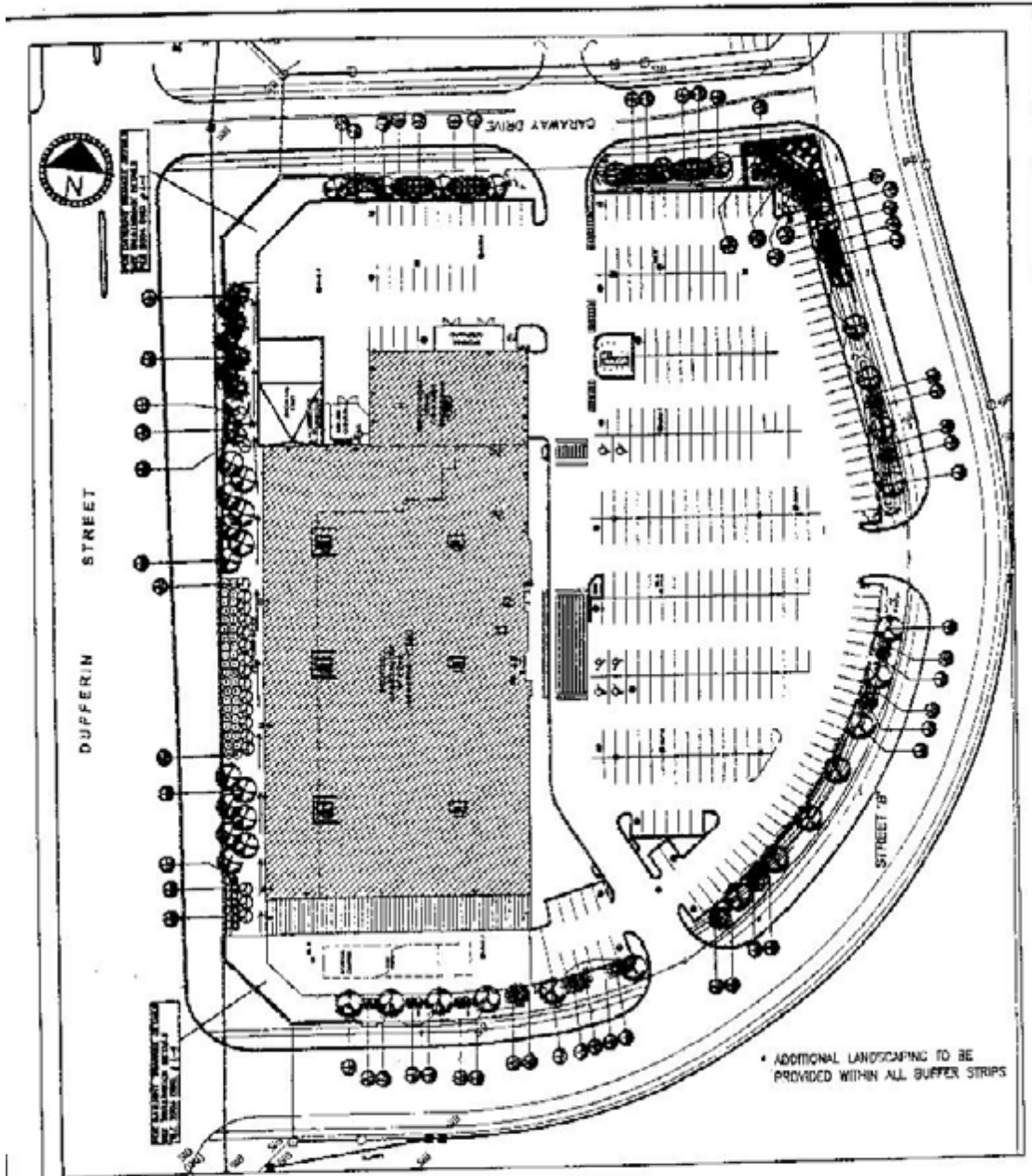
ATTACHMENT '2'
SITE PLAN

FILE #:	REPORT #:
DA.00.086	LOCATION:
Z.00.086	LOT 8, CONC. 2

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:
TRULLBROOK INVESTMENTS LIMITED

DATE: 01/03/26
SCALE: NOT TO SCALE



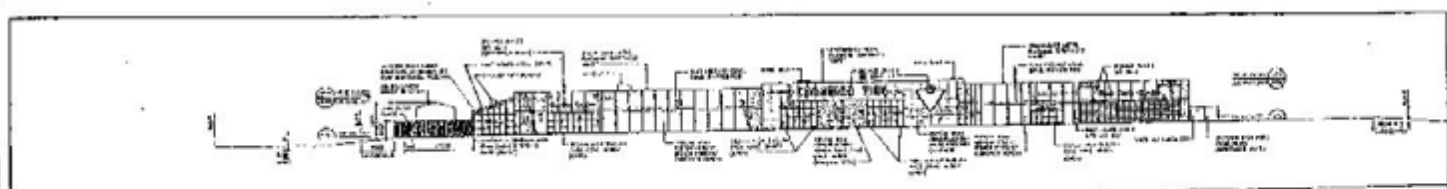
ATTACHMENT '3'
LANDSCAPE PLAN

FILE #	REPORT #
DA.00.086 Z.00.086	LOCATION: LOT 8, CONC 2

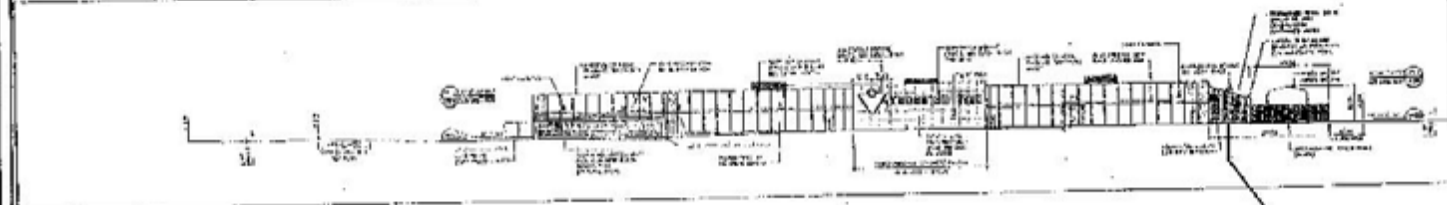
CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:
TRULLBROOK

DATE: 01/03/26
SCALE: NOT TO SCALE
INVESTMENTS LIMITED



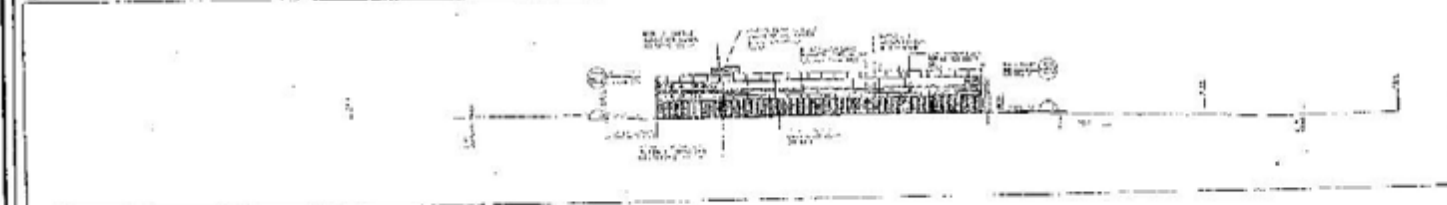
EAST ELEVATION
2-1



WEST ELEVATION
2-2



NORTH ELEVATION
2-3



SOUTH ELEVATION
2-4



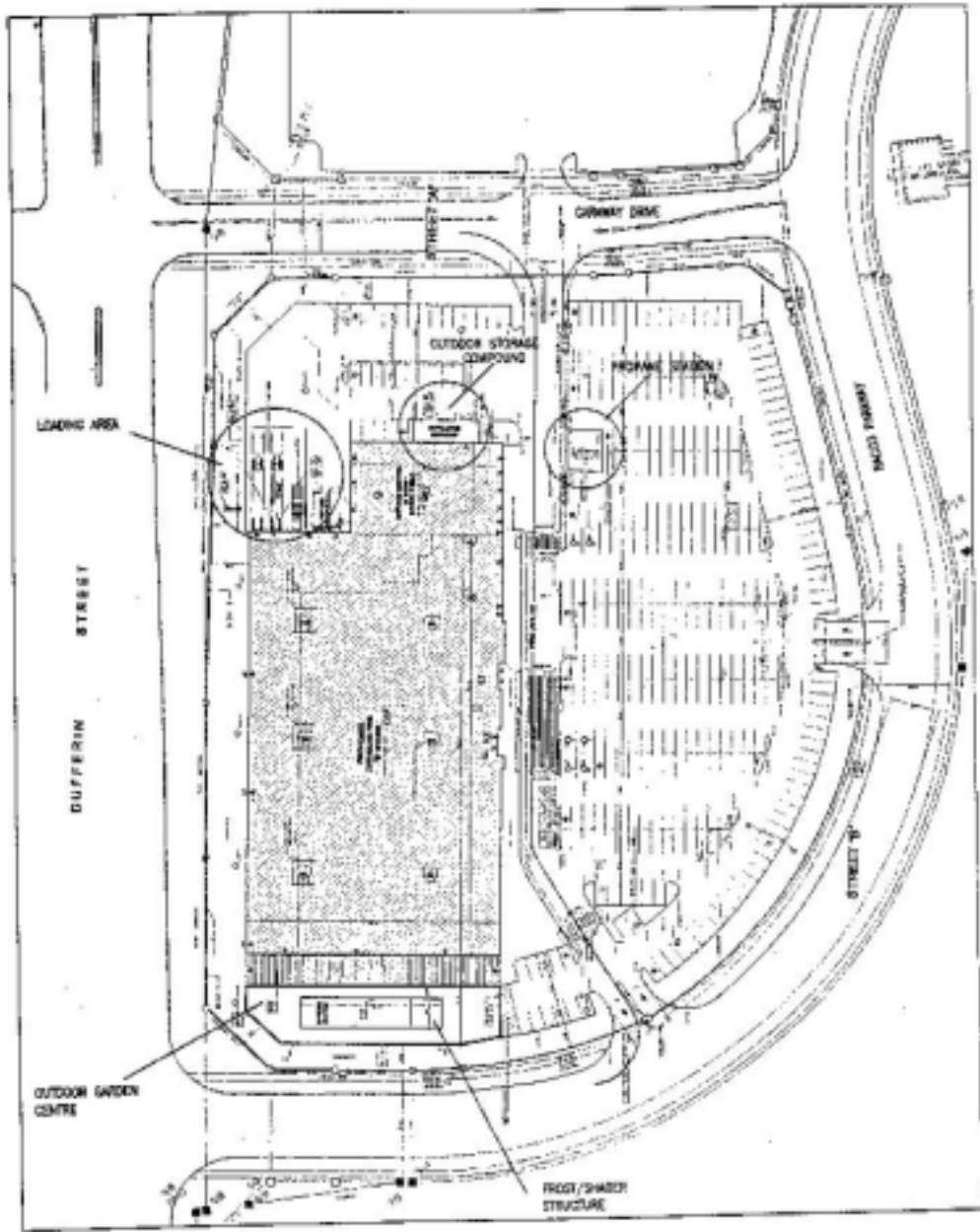
ATTACHMENT '4'
ELEVATION

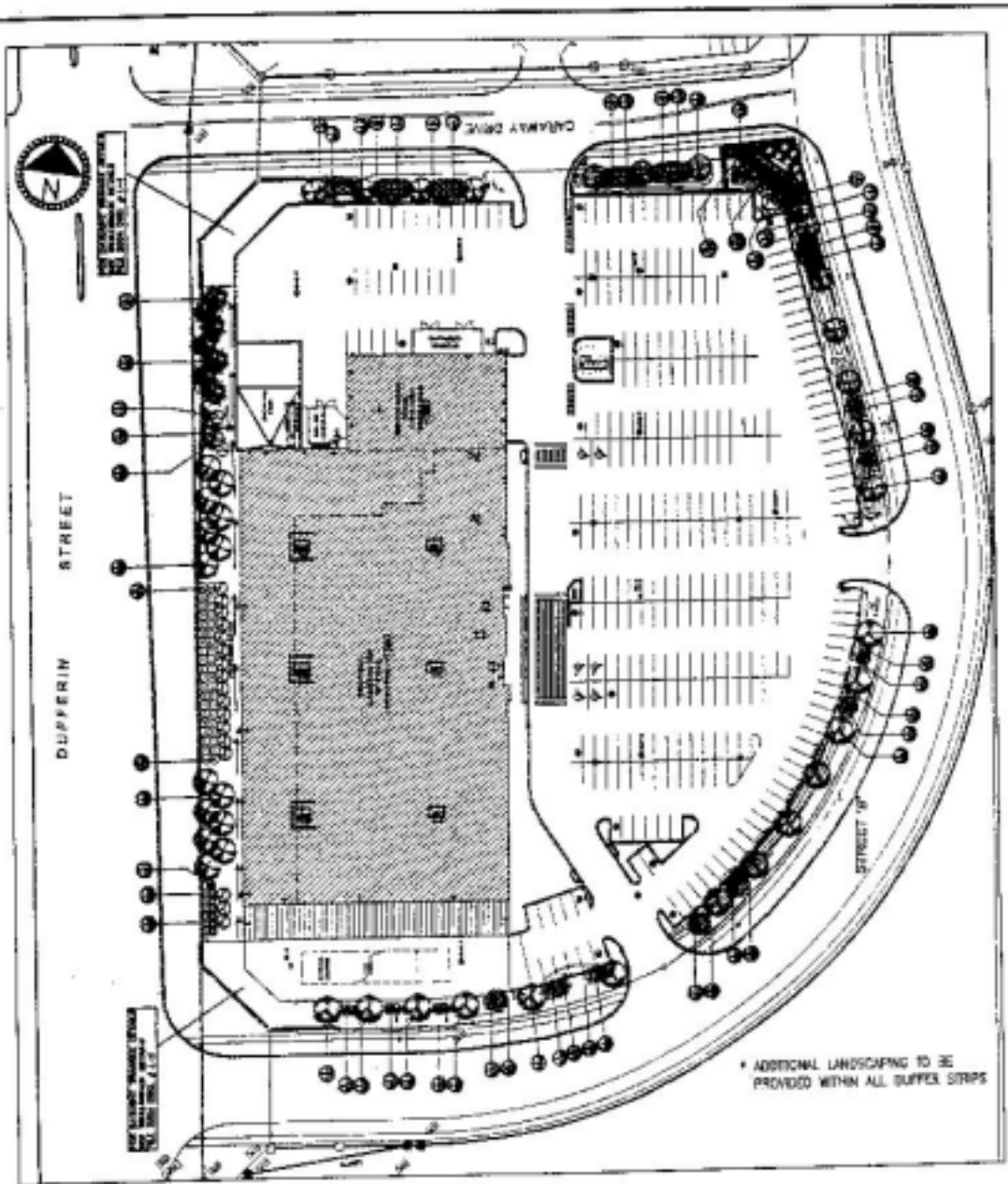
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DA 00.006 Z.00.006	LOCATION: LOT 8, CONC. 2

CITY OF VAUGHAN
PLANNING DEPARTMENT

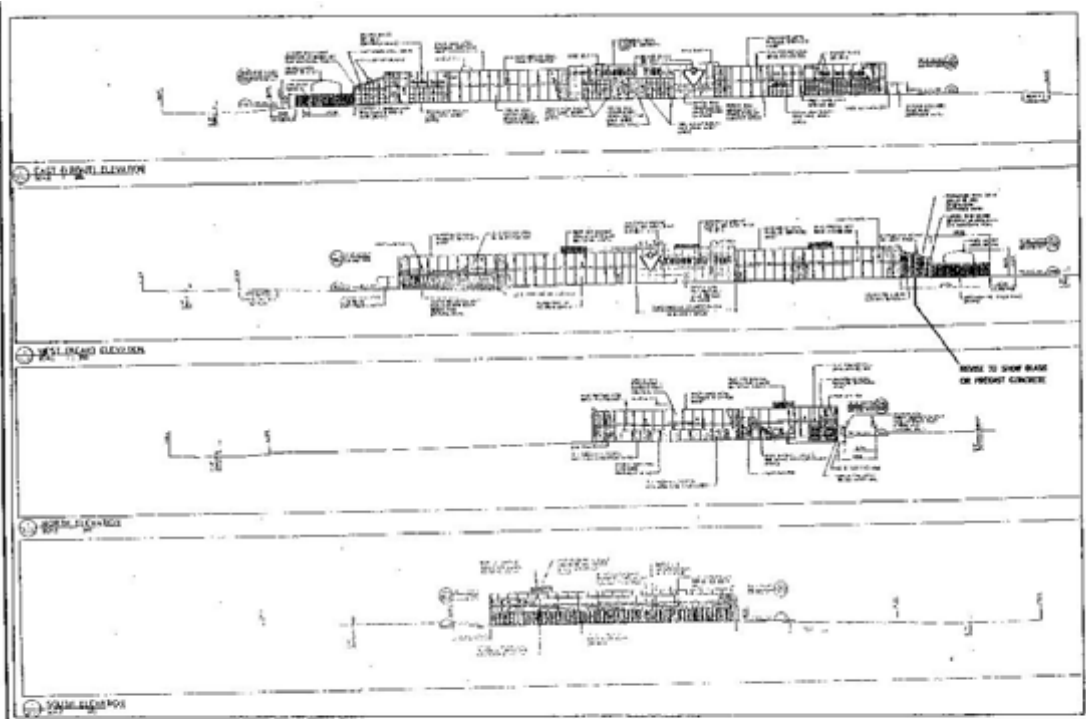
DATE:	SCALE:
01/03/20	NOT TO SCALE

APPROVED:
TRULLBROOK INVESTMENTS LIMITED





* ADDITIONAL LANDSCAPING TO BE PROVIDED WITHIN ALL BUFFER STRIPS



ATTACHMENT '4'
ELEVATION

FILE #	REPORT #
0400286	100000
200286	LOT 8, ENC. 2

CITY OF VANDERBILT
PLANNING DEPARTMENT

PROJECT: TRAILBLAZER
INVESTMENTS LIMITED

DATE: 01/03/24
SCALE: N/A TO SCALE