### **COMMITTEE OF THE WHOLE MEETING - MAY 7, 2001**

# SITE DEVELOPMENT APPLICATION 1391369 ONTARIO LTD. (DAEWOO)

FILE: DA.00.079

(Referred from Council meeting of April 30, 2001)

### Recommendation

The Commissioner of Planning & Urban Design recommends:

THAT Site Development Application DA.00.079 (1391369 Ontario Ltd.) BE APPROVED, subject to the following conditions:

- a) that prior to the execution of the site plan agreement:
  - i. the final site plan, including the replacement of the painted lines at the base of the east wall and the pedestrian connection with inter-lock paving, and the elevation drawings, shall be approved by the Community Planning Department;
  - ii. the final landscape plan shall be approved by the Urban Design Department;
  - iii. the final site servicing and grading plans and stormwater management report shall be approved by the Engineering Department;
  - iv. access and on-site vehicular circulation shall be approved by the Engineering Department and the Region of York Transportation and Works Department; and,
  - v. all requirements of Hydro Vaughan Distribution Inc. shall be satisfied.
- b) that the site plan agreement include the following provisions:
  - i. the Owner shall dedicate any required road widenings, daylight triangles and 0.3m reserves, free of all costs and encumbrances, to the appropriate agency or authority as required; and,
  - ii. the Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands in accordance with the Planning Act, prior to the issuance of a building permit. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

### Location

- Southwest corner of Yonge Street and Bunker Road (8248 Yonge Street)
- Block C on Registered Plan M-681
- Part of Lot 34, Concession 1, City of Vaughan

#### Background

### **Proposal**

On August 8, 2000, the Owner submitted a Site Development Application to redevelop a 0.28 ha service station site for a 1-storey, 461.1m<sup>2</sup> motor vehicle sales establishment (Daewoo) including a vehicle showroom, service bays, administrative offices and a customer waiting area, with 35 parking spaces.

### Land Use Status

- Designation "Service Station" by OPA #210 (Thornhill-Vaughan Community Plan)
- Zoning C6 Highway Commercial Zone by By-law 1-88

### Site Description

- a 0.28 ha irregular-shaped site, with 41.5 m frontage on Bunker Road and 41.7 m flankage on Yonge Street
- developed with a service station building
- the surrounding land uses are:

North - Bunker Road; residential (R2 Residential Zone)

South - 1-storey commercial building (C1 Restricted Commercial Zone) and Langstaff School (R1V Old Village Residential Zone)

East - Yonge Street; commercial (Town of Markham)

West - residential and park (R1V Old Village Residential Zone)

### Official Plan

The "Service Station" designation permits the sale of petrol, oil and lubricants, and the repair, maintenance and servicing of vehicles. The policies also permit designated service station sites to be developed in accordance with the adjacent land use designation. The "General Commercial" designation to the south permits retail stores for the buying, leasing and exchanging of goods and services, restaurants, banks, and business and professional offices, which would permit a motor vehicle sales establishment use. The proposed use conforms to the policies of the Official Plan.

### Zoning

The C6 Highway Commercial Zone permits an automobile gas bar and service station, car wash, car rental agency, eating establishment including convenience and take-out operated in conjunction with a service station, hotel and motel, and a public garage for the care, repair or equipping of motor vehicles, but not a motor vehicle sales establishment use.

On June 26, 2000, Council approved Zoning Amendment Application Z.00.001 (1391369 Ontario Ltd.) to permit a motor vehicle sales establishment use, with exceptions for a 6.5 m rear yard (south) and a 3 m wide landscape strip along Yonge Street. The implementing by-law was to be enacted upon Council's approval of the site plan application.

### Site Design

The site plan consists of a 1-storey, 461.1 m² building for motor sales use, including a front showroom for 10 cars, 4 service bays accessed from the rear, together with parts, storage, administrative offices and a customer waiting area. A full-movement access is to be provided on Yonge Street and a right-in/right-out driveway on Bunker Road.

### **Building Elevations**

The 1-storey, flat roofed building is centrally located on the site, with the focal point being the 9.2 m high parapet at the northeast corner. The building consists of a salmon-coloured stucco façade and parapet, with dark grey architectural block along the base of the building, and smoked tempered glass on all four sides. A thin line of salmon-coloured accent trim runs along the top edge of the glass, with a thicker accent trim running along the edge of the roofline, as well as below the green metal roof pitch of the parapet.

The front elevation (east) consists of an illuminated identification sign, located directly above the windows and doors along the front wall, and two customer entrance points leading into the vehicle showroom. The windows along this elevation open upwards to allow the cars into the showroom.

The rear of the building (west) consists of four service bay doors, a row of smoked tempered glass windows, a customer entrance leading to the parts and service area, and an employee entrance leading to the service bays.

Staff are satisfied with the proposed building elevations.

### Parking/Access

By-law 1-88 requires a minimum of 14 parking spaces (461.1m² x 3 spaces/100m² GFA), whereas 35 spaces have been provided, including 1 space for the physically challenged. The site meets the minimum parking requirements with a surplus of 21 spaces. A total of 21 parking spaces are located along the west lot line, with the remaining 14 spaces adjacent to the landscaping on Bunker Road and Yonge Street. A 6 m wide driveway aisle provides continuous movement around the building.

The Engineering Department advises that all vehicles exiting the site shall be directed to Yonge Street via a full-access driveway on Yonge Street, and a right-in/right-out driveway on Bunker Road. In addition, as per Engineering's direction, the site plan has been revised to show two metal "No Left Turn" signs at the right-in/right-out driveway to Bunker Road.

Parking and on-site vehicular circulation shall be to the satisfaction of the Engineering Department.

The site plan indicates yellow painted lines along the base of the decorative fence and for the pedestrian walkway connection between the building and sidewalk. Staff recommends that the painted lines be revised to inter-lock paving with colours that match the building, and the Applicant has agreed.

### Landscaping

The site plan indicates a 6 m wide landscape strip along Bunker Road and a 3 m wide landscape strip along Yonge Street, consisting of deciduous trees, shrubs, bushes and planting beds. The landscape strip along Yonge Street also includes a 1.2 m high decorative metal post fence.

Along the west property line, a 1.8 m high wood acoustic privacy fence, together with an existing 1.5 m high hedge within a 2.4 m wide landscape strip, will screen the residential and school properties to the west. A 1.8 m high wood acoustic fence has also been provided along the south lot line to screen the site from the commercial plaza to the south.

The site includes a 6 m high illuminated pylon sign at the southeast corner of the site, and five 5m high pedestrian scale light standards located along the perimeter of the site. The outdoor light standards must direct light inwards and downwards, and away from the adjacent properties.

The landscape plan shall be to the satisfaction of the Urban Design Department. The parkland dedication requirements must be satisfied through a 2% commercial cash-in-lieu payment, prior to the issuance of a Building Permit.

### Servicing

The Engineering Department advises that the subject lands have access to municipal services, including sanitary and storm sewers and water. The Owner has submitted revised engineering

drawings to address minor servicing details, which must be approved by the Engineering Department.

All hydro requirements must be addressed to the satisfaction of Hydro Vaughan Distribution Inc. The Region of York has advised that they have no objection to the site plan, subject to conditions, which will be appended to the site plan agreement.

### Conclusion

Staff have reviewed the proposed site plan in accordance with the policies of the Official Plan and Zoning By-law, and have no objections to the proposed commercial development.

Therefore, Staff recommends approval of the Site Development Application to permit a motor vehicle sales establishment, subject to conditions. This would include the replacement of the painted lines at the base of the east decorative fence and the pedestrian connection with interlock paving. Should the Committee concur, the Recommendation in this report can be adopted.

### Attachments

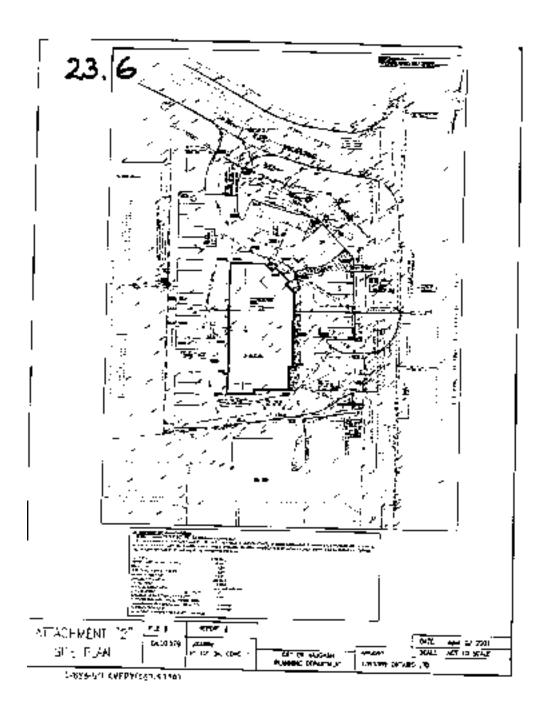
- 1. Location Map
- 2. Site Plan
- 3. Elevations
- 4. Landscape Plan
- 5. Council Extract, Item 9, Report No. 32 of the Committee of the Whole

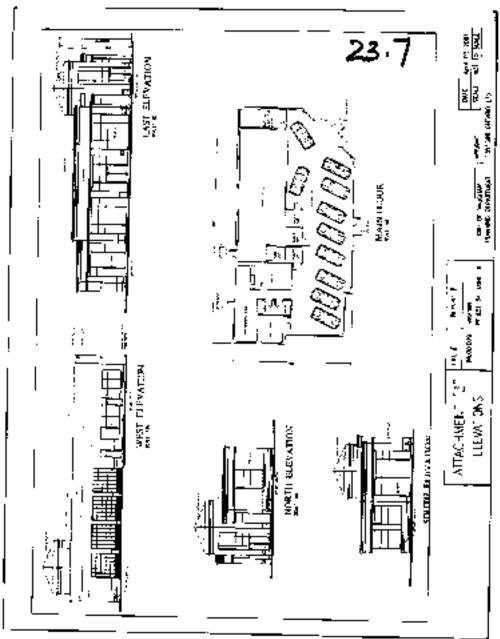
Report prepared by: Jason Sheldon, Planner 1, ext. 8320

Grant A. Uyeyama, Senior Planner, ext. 8635

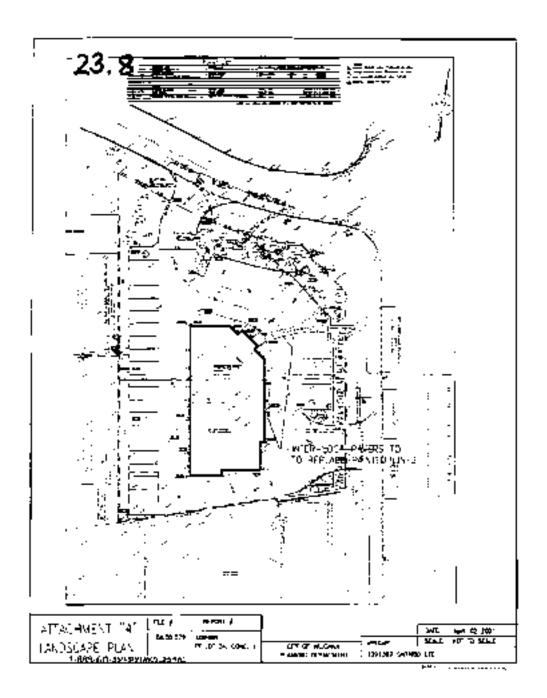
Bianca M.V. Bielski, Manager, Development Planning, ext. 8485

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#### CITY OF VAUGHAN

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#### CITY OF VALGILAN

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### CITY OF VALGRAN

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