

## COMMITTEE OF THE WHOLE MEETING - MAY 7, 2001

### **SITE DEVELOPMENT APPLICATION PETRO-CANADA (YONGE/CRESTWOOD)**

#### **FILE: DA.98.022**

(Referred from Council meeting of April 30, 2001)

#### Recommendation

The Commissioner of Planning & Urban Design recommends:

THAT Site Development Application DA.98.022 (Petro-Canada) BE APPROVED, subject to the following conditions:

- a) that prior to the execution of the site plan agreement:
  - i) the final site plan and elevation drawings shall be approved by the Community Planning Department;
  - ii) the final landscape plan shall be approved by the Urban Design Department;
  - iii) the final site servicing and grading plans and stormwater management report shall be approved by the Engineering Department;
  - iv) access and on-site vehicular circulation shall be approved by the Engineering Department and the Region of York Transportation and Works Department;
  - v) all requirements of Hydro Vaughan Distribution Inc. shall be satisfied; and,
  - vi) the required variances shall be obtained from the Committee of Adjustment, and shall be final and binding.
  
- b) that the site plan agreement contain the following provisions:
  - i) the Owner shall dedicate any required road widenings, daylight triangles and 0.3m reserves, free of all costs and encumbrances, to the appropriate agency or authority as required; and,
  - ii) the Owner pay cash-in-lieu of the parkland equivalent to 2% of the value of the subject lands in accordance with the Planning Act, prior to the issuance of a building permit. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

#### Background

##### Location

- Southwest corner of Yonge Street and Crestwood Road (7092 Yonge Street)
- Part of Lots 82 and 83 on Registered Plan 3205
- Part of Lot 26, Concession 1, City of Vaughan

##### Proposal

On November 13, 2000, the Owner submitted a revised Site Plan to permit the redevelopment of the existing service station site for an automobile gar bar, consisting of a 103m<sup>2</sup> customer service kiosk and four self-serve fuelling stations with canopy cover, and 10 parking spaces.

### Land Use Status

- Designation - "Service Station" by OPA #210 (Thornhill-Vaughan Community Plan), and subject to OPA #424 (Service Station Policy)
- Zoning - C6 Highway Commercial Zone by By-law 1-88

### Site Description

- a 0.23 ha site, with 22.8m frontage on Yonge St. and 68.1m flankage on Crestwood Rd.
- developed with a service station building, which is to be demolished
- the surrounding land uses are:

North - Crestwood Road; commercial (C2 General Commercial Zone)

South - vacant commercial (C1 Restricted Commercial Zone)

East - Yonge Street; commercial (Town of Markham)

West - vacant commercial (C1 Restricted Commercial Zone)

### Official Plan

The "Service Station" designation of OPA #210 and the OPA #424 Service Station Policy permit the proposed service station use.

### Zoning

The C6 Highway Commercial Zone permits the automobile gas bar use; however, the following variances are required to the zoning standards:

- 3m landscape strip along Crestwood Road, whereas 6m is required;
- 4m exterior side yard (north), whereas 15m is required;
- a kiosk size of 103m<sup>2</sup>, whereas 50m<sup>2</sup> is the maximum permitted; and,
- a 4m interior side yard (south), whereas 10m is required.

Staff are satisfied the proposed exceptions to the by-law are minor in nature and can proceed to the Committee of the Adjustment.

### Site Plan

The site plan shows a customer service kiosk situated in the rear portion of the site, with the main entrance facing east towards Yonge Street. A 5.4m high canopy connects the kiosk and fuelling stations. A total of 10 parking spaces are provided in front and behind the kiosk. The existing propane tank is to be removed, and will not be replaced in the new development.

A garbage pick-up area is located at the southwest corner of the site and will be screened by a wood panelled enclosure on three sides, with access doors facing the parking lot. The underground fuel storage tanks are at the southeast corner of the site, abutting the full access on Yonge Street, providing the refuelling trucks with direct access. A 7.7m high pylon sign is located at the northeast corner of the site.

The current access to the site, from full-movement driveways on Yonge Street and on Crestwood Road, will be maintained. Illuminated direction arrows and light boxes are provided at both vehicle access points.

### Building Elevations

The 103m<sup>2</sup> customer service kiosk consists of a white aluminium-clad facade with red trim along the roof line on all four sides, and wall-mounted light fixtures. The front elevation includes tempered glass customer access doors.

The customer service kiosk, canopy cover and fuelling stations include red, white and black illuminated corporate signage detail. The rooftop mechanical unit is screened by the same white aluminium cladding as found on the kiosk.

### Parking

By-law 1-88 requires a minimum of 6 parking spaces (103m<sup>2</sup> x 5.5 spaces/100m<sup>2</sup> GFA), whereas 10 spaces have been provided, including 1 space for the physically challenged.

### Landscaping

The landscape plan shows deciduous and coniferous trees, shrubs, bushes and planting around the perimeter of the site, and around the garbage enclosure, and the illuminated sign. The site will be screened from the commercial lands to the south and west by a 1.8m high board-on-board wood fence.

The landscape plan is acceptable to the Urban Design Department. The Owner must pay 2 % cash-in-lieu of parkland in accordance with the Planning Act.

### Servicing

The Engineering Department advises that the subject lands have access to municipal services, including sanitary and storm sewers and water. The Owner has submitted revised engineering drawings to address minor servicing details, which must be approved by the Engineering Department.

All hydro requirements must be addressed to the satisfaction of Hydro Vaughan Distribution Inc.

The Region of York has advised that they have no objection to the approval of the site plan, subject to conditions which will be appended to the site plan agreement. The Owner will be dedicating a road widening along Yonge Street to the Region.

### Conclusion

Staff have reviewed the site plan in accordance with OPA #210 (Thornhill-Vaughan Community Plan), OPA #424 and By-law 1-88, and are satisfied that the proposed commercial development is appropriate. Exceptions to the by-law are required and must be approved by the Committee of Adjustment, prior to entering into a site plan agreement.

Therefore, Staff recommend approval of the Site Development Application to facilitate the proposed redevelopment of the service station site, subject to conditions. Should the Committee concur, the Recommendation in this report can be adopted.

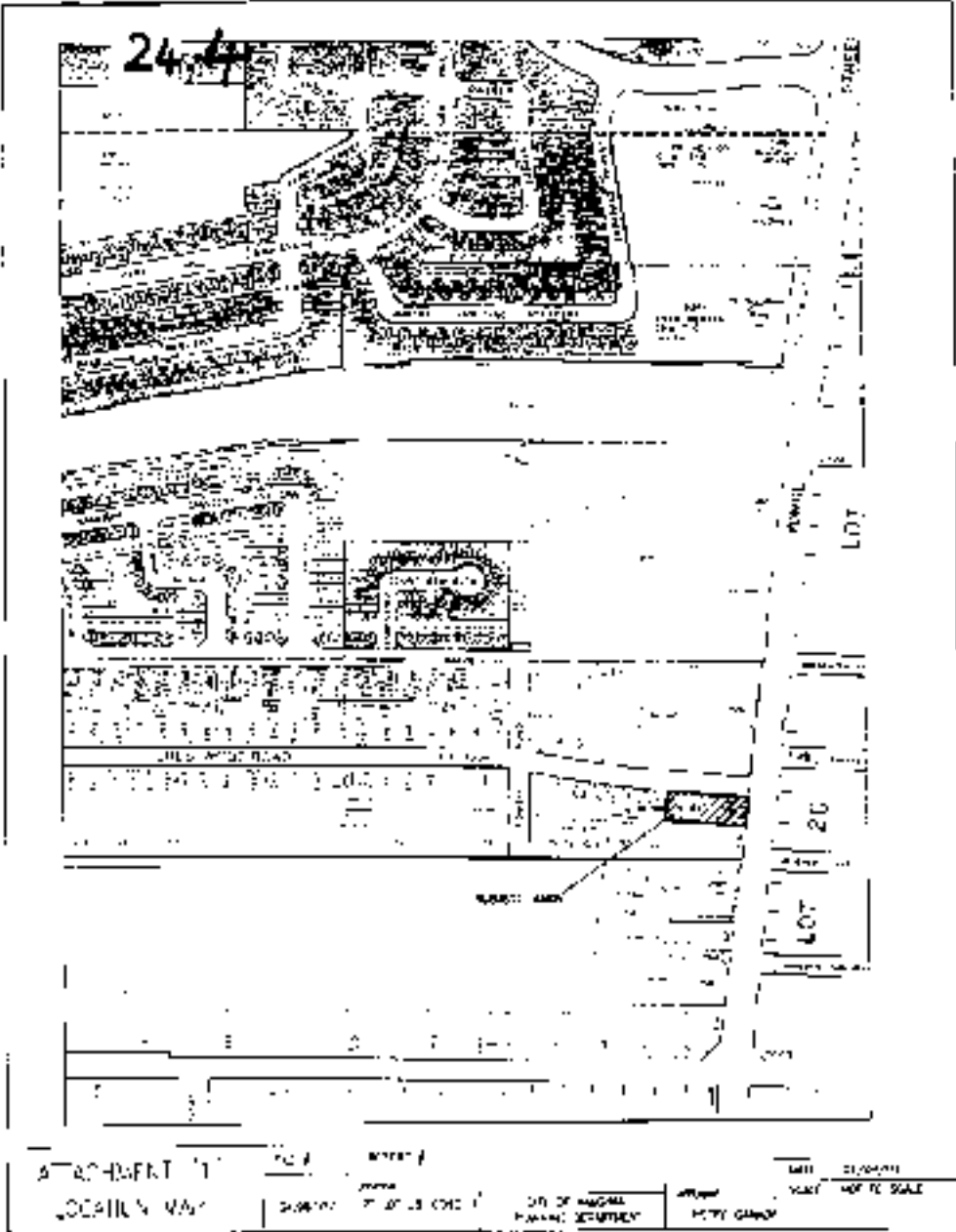
### Attachments

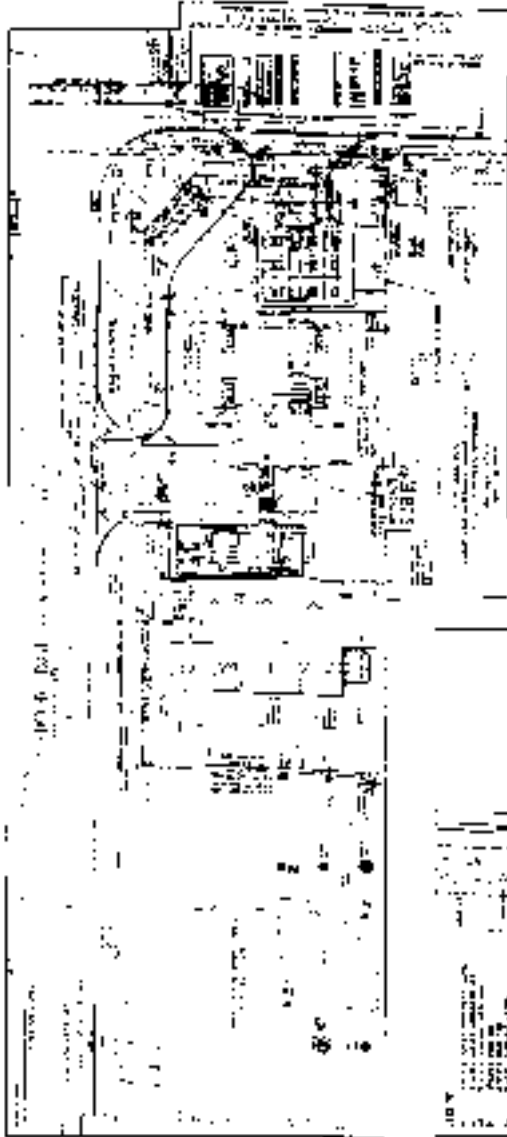
1. Location Map
2. Site Plan
3. Elevations
4. Landscape Plan
5. Council Extract, Item 12, Report No. 32 of the Committee of the Whole

Report prepared by: Jason Sheldon, Planner 1, ext. 8320  
Grant A. Uyeyama, Senior Planner, ext. 8635  
Bianca M.V. Bielski, Manager, Development Planning, ext. 8485

/LG

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24.5

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE DEVELOPER SHALL MAINTAIN ALL UTILITIES AND SERVICES IN PLACE AND IN GOOD WORKING ORDER.

5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPING.

6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING ROADS AND DRIVEWAYS.

7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.

8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING STRUCTURES AND BUILDINGS.

9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND WALLS.

10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE AND MARKINGS.

11. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.

12. THE DEVELOPER SHALL MAINTAIN ALL EXISTING STRUCTURES AND BUILDINGS.

13. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND WALLS.

14. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE AND MARKINGS.

15. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.

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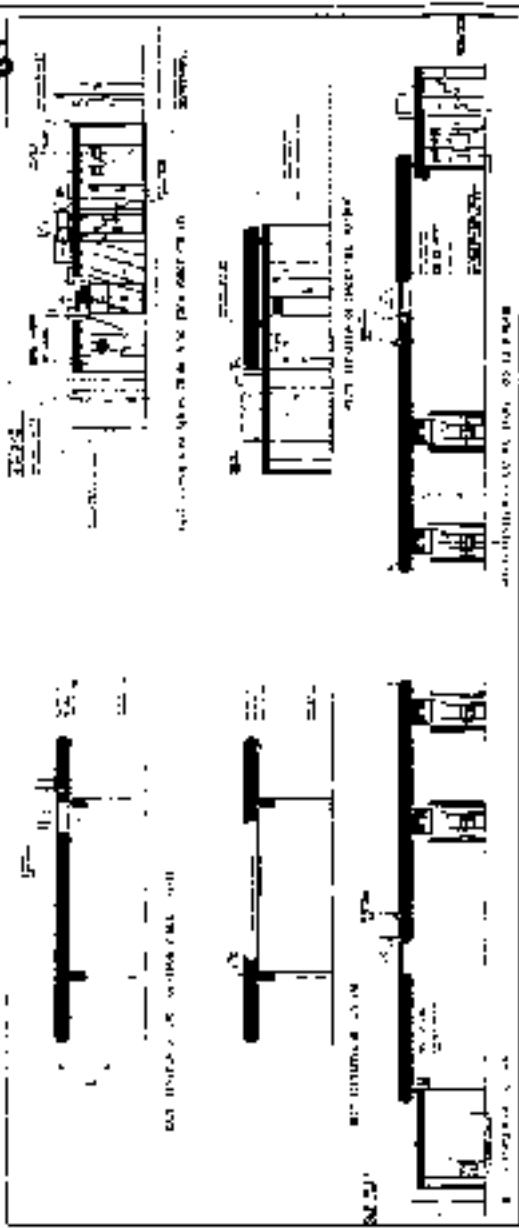
ATTACHMENT 1  
SITE PLAN

Page # 11 of 26  
Section 24.5(2)

City of Waterloo  
1100 Wellington Street West  
Waterloo, Ontario

Date: 11/20/2018  
Scale: 1:500

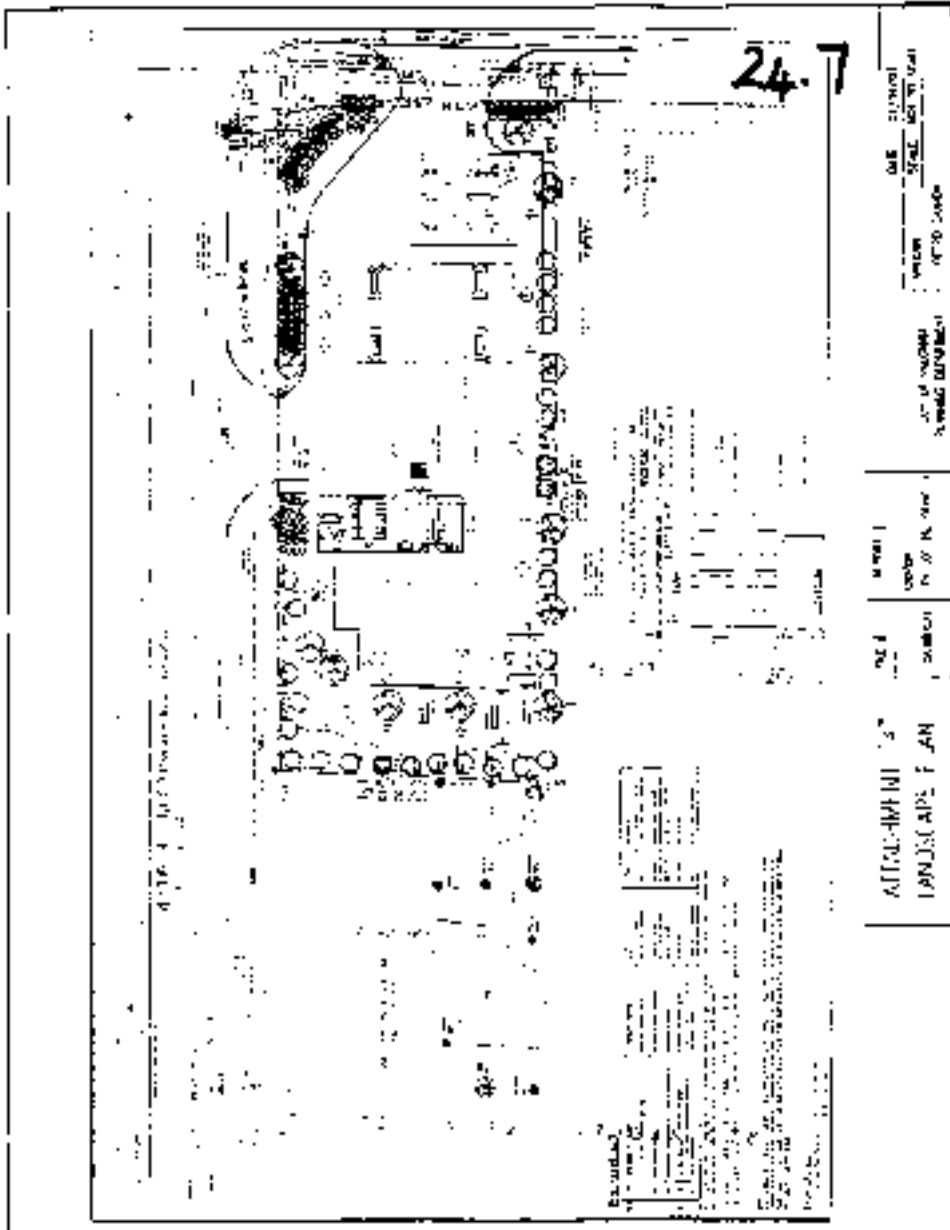
24.6



ATTACHMENT 3  
 FLEVA/DMC

DATE: 01/14/04  
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SCALE: 1/4" = 1'-0"  
 SHEET NO: 24.6



24.7

DATE: 11/10/2010  
SCALE: 1/8" = 1'-0"  
VIEW: 3D  
PROJECT: 10-20-10-001

LANDSCAPE PLAN  
SHEET 1 OF 1  
DATE: 11/10/2010

DATE: 11/10/2010  
SCALE: 1/8" = 1'-0"  
VIEW: 3D  
PROJECT: 10-20-10-001



24.8

CITY OF VAUGHAN

EXHIBIT FROM COUNCIL MEETING MINUTES ON APRIL 30, 2001

Item 10: Report No. 72 of the Committee of the Whole, which was adopted as amended, by the Council of the City of Vaughan on April 30, 2001, as follows:

*By referring this matter to the Committee of the Whole meeting of May 7, 2001*

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12. SITE DEVELOPMENT APPLICATION  
PETRO-CANADA (YONGE/CRESTWOOD)  
FILE #A 98 022

The Committee of the Whole recommends:

- 1) That this matter be referred to the Council meeting of April 30, 2001, and
- 2) That the coloured elevation drawing submitted by the applicant, be received

Recommendation

The Commission of Planning & Urban Design recommends:

That Site Development Application DV 98 022 (Petro-Canada) BE APPROVED, subject to the following conditions:

- i) that prior to the execution of the site plan agreement:
  - ii) the final site plan and elevation drawings shall be approved by the Commission of Planning Department;
  - iii) the final landscape plan shall be approved by the Urban Design Department;
  - iv) the final site servicing and grading plans and wastewater management report shall be approved by the Engineering Department;
  - v) access and on-site vehicular circulation shall be approved by the Engineering Department and the Region of York Transportation and Works Department;
  - vi) all requirements of York Water Distribution Inc. shall be satisfied; and
  - vii) the required warranties shall be obtained from the Committee of Adjustment and shall be final and binding;
- ii) that the site plan agreement contain the following provisions:
  - a) The Owner shall dedicate, and register, the road widening easement, together with all the reserved, free of all costs and encumbrances, to the appropriate agency or authority as required; and
  - b) The Owner pay consideration of five per cent, or, where 2% of the value of the subject lands in accordance with the Planning Act, prior to the issuance of a building permit. The Owner shall submit a supported proposal by its authorized representative approved by the Vaughan Legal Department, filed before Council and the approved amount shall form the basis of the cash price payable.

EXTRACT FROM COUNCIL MEETING MINUTES OF APRIL 24, 2008

Item 12, LW Report No. 32 – Page 2

Location

Location

- Southwest corner of Yonge Street and Greenwood Road (7002 Yonge Street);
- Parcel Lots 82 and 83 on Registered Plan 3395
- Parcel 1 of 26, Commission of the City of Vaughan

Proposal

On November 13, 2008, the Owner submitted a revised Site Plan to permit the redevelopment of the existing parcel at the site of an automobile gas bar, consisting of a 1,100m<sup>2</sup> existing concrete walk and low, self service fueling station with canopy system and 10 parking spaces.

Land Use Status

- Description: Service Station by OPA #210 (Vaughan Community Plan), and subject to OPA #424 (Service Station) and
- Zoning: C3 Highway Commercial Zone by Bylaw 1185

Site Description

- 10.81 ha site with 27.0m frontage on Yonge St. and 68.1m frontage on Greenwood Rd.
- Developed with a concrete walk, fueling station to be demolished.
- The surrounding land uses are:

North	Greenwood Road, Commercial (C3) District Commercial Zone
South	Industrial Commercial (C1) District Commercial Zone
East	Yonge Street, Commercial (C3) District Commercial Zone
West	Urban Commercial (C1) District Commercial Zone

City Plan

The Service Station component of OPA #210 and the OPA #244 Service Station Policy permit the proposed service station use.

Zoning

The C3 Highway Commercial Zone permits the automobile gas bar use, however, the following standards are required in the zoning standards:

- The landscape to be a 3m Greenwood Road, whereas 6m is required, in general side yard front, whereas 15m is required,
- a lot size of 1,000m<sup>2</sup>, whereas 900m<sup>2</sup> is the maximum permitted, and a 3m interior side yard width, whereas 1.0m is required.

Staff are required to propose amendments to the City Plan and the City Zoning Bylaw to the Committee of Adjustment.

24.10

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF APRIL 30, 2003

Item 12.06 Board 5.6.12 - Part 2

Site Plan

The site plan shows a customer service kiosk located in the rear portion of the site, with the main entrance facing east towards Yonge Street. A 6.0 m high canopy covers the kiosk and waiting stations. A total of 19 parking spaces are provided in front and behind the kiosk. The existing premium kiosk is to be removed, and will not be replaced in this new development.

A ramp for the up lift is located at the southwest corner of the site and will be screened by a wood-paneled enclosure on three sides, with access doors facing the parking lot. The underground fuel storage tanks are at the southeast corner of the site, creating the full access on Yonge Street providing the waiting kiosk with direct access. A 7.0 m high pylon sign is located at the northeast corner of the site.

The current access to the site from the west end driveway on Yonge Street and on Devonshire Road will be maintained. Illuminated direction signs and light signs are included at both vehicle access points.

Exterior Elevations

The 100m<sup>2</sup> customer service kiosk consists of a white aluminum clad facade with red trim along the roofline on all four sides, and a transparent lift entrance. The front elevation includes transparent glass entrance doors.

The customer service kiosk canopy doors and waiting stations include red, white and black finished composite vinyl siding. The metal mechanical units are screened by the aluminum cladding as found on the kiosk.

Parking

The new lot requires a minimum of 5 parking spaces (0.03m<sup>2</sup> x 4.5 spaces = 0.135m<sup>2</sup> GFA), whereas all spaces have been provided including 1 space for the physically challenged.

Landscaping

The landscape plan shows deciduous and coniferous trees, shrubs, bushes and planting around the perimeter of the site, including the grounds enclosure, and the illuminated sign. The site will be screened from the commercial lands to the south and west by a 1.8 m high bamboo-screened wind fence.

The landscape plan is acceptable to the Urban Design Department. The Owner must post a certificate of parking in accordance with the Planning Act.

Services

The Engineering Department advises that the subject lands have access to municipal services, including sanitary and storm sewers and water. The Owner has submitted site soil conditions to address minor servicing details, which must be approved by the Engineering Department.

All hydroponic services must be addressed to the satisfaction of Hydro-Vaughan Distribution Inc.

The Regional Council has advised that they have no objection to the approval of the site plan, subject to conditions which will be appended to the site plan agreement. The Owner will be discussing a road widening along Yonge Street to the Region.

EXTRACT FROM COUNCIL MEETING MINUTES RE APRIL 26, 2001

10-12, 02, Bulletin 02 Page 4

Discussion

Staff have reviewed the site plan in accordance with OPA #24 (Township of Vaughan, Community Plan), OPA #21 and By-law 1 RE and are satisfied that the proposed commercial development is appropriate. Easements in the by-law are required and must be approved by the Committee of Adjustment, prior to entering into a site plan agreement.

The staff also recommend approval of the Site Development Application to facilitate the proposed redevelopment of the entire corner site, subject to conditions. Should the Committee approve, the Recommendation in this report can be adopted.

Attachments

- 1. Location Map
- 2. Site Plan
- 3. Elevations
- 4. Landscape Plan

Report prepared by: Dawn Griefhorst, Planner, ext. 8020  
Paul A. Dwyer, Senior Planner, ext. 8636  
Barry M.V. Beiss, Manager, Development Planning, ext. 8484

JLS

14 copies of the attachments referred to in this report have been provided to each Member of Council and a copy thereof is also on file in the office of the City Clerk.

