

## **COMMITTEE OF THE WHOLE MARCH 4, 2002**

### **SITE DEVELOPMENT APPLICATION DA.02.006** **ROYBRIDGE HOLDINGS LIMITED**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT the building elevations for Site Development Application DA.02.006 (Roybridge Holdings Limited) BE APPROVED, subject to additional architectural accent treatment being incorporated on the warehouse portion of the east elevation, to the satisfaction of the Community Planning and Urban Design Departments.

#### **Purpose**

On February 12, 2002, the Owner submitted a Site Development Application for a 2961.71 sq.m, two-storey industrial building on a 0.62 ha parcel within a larger draft approved plan of subdivision (File 19T-89058). The Owner proposes to proceed with construction, prior to registering his subdivision plan, as one building on the entire 81.33 ha property.

#### **Background - Analysis and Options**

The site is located on the west side of Regional Road 27, north of Regional Road 7, being Block 13 within Draft Approved Plan of Subdivision 19T-89058, in Lots 7 and 8, Concession 9, City of Vaughan.

The subject lands are designated "Employment Area General" by OPA #450, and zoned A Agricultural Zone by By-law 1-88. By-law 37-2002, for which the appeal period ends on February 25, 2002, would implement the zoning for the subdivision plan and in particular, rezone the future lot (Block 13) to EM2 General Employment Area Zone.

#### **Building Design**

The two-storey, rectangular-shaped building will be located on a future corner lot. The main entrance is centrally located on the south elevation, facing a future east-west collector road within the subdivision. The double glass doors of the main entrance are slightly recessed and are framed by a band of light gray architectural precast panels, which extend vertically to a flat-roof. The remainder of the elevation is treated with horizontal bands of spandrel glass and curtain wall glazing (vision glass), together with architectural panels in a square-shaped design at the front corners of the building.

The materials on the front elevation wrap around to the front-half of the side elevations (east and west), representing the office portion of the building. Light gray, vertically ribbed plastic panels are proposed on the east, west and north elevations, which represents the warehouse portion of the building. Two loading doors and one drive-in door are located on the north elevation.

The east elevation will flank a north-south local road. Given the visual exposure of this building wall, it is recommended that the vertically ribbed panels be enhanced with additional architectural accent treatment, such as banding and/or glazing. This treatment can also be extended to the other walls of the warehouse component.

## **Conclusion**

Staff are generally satisfied with the proposed building elevations, but recommend that additional architectural accent treatment be incorporated on the warehouse portion of the building, particularly the east elevation, given its visual exposure and proximity to the intersection of a future local and collector road. Should the Committee concur, the recommendation in this report can be adopted.

## **Attachments**

1. Location Map
2. Site Plan
3. Elevations

## **Report prepared by:**

Duncan MacAskill, Planner ext. 8017  
Grant A. Uyeyama, Senior Planner, ext. 8635

Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

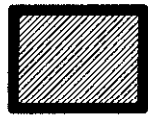
JOANNE R. ARBOUR  
Director of Community Planning

/CM

R:\SER\WORKING\MACASKID\Mar4RoybridgeCW.dot



SUBJECT LANDS



DEVELOPMENT SITE  
(FUTURE BLOCK)



NOT TO SCALE

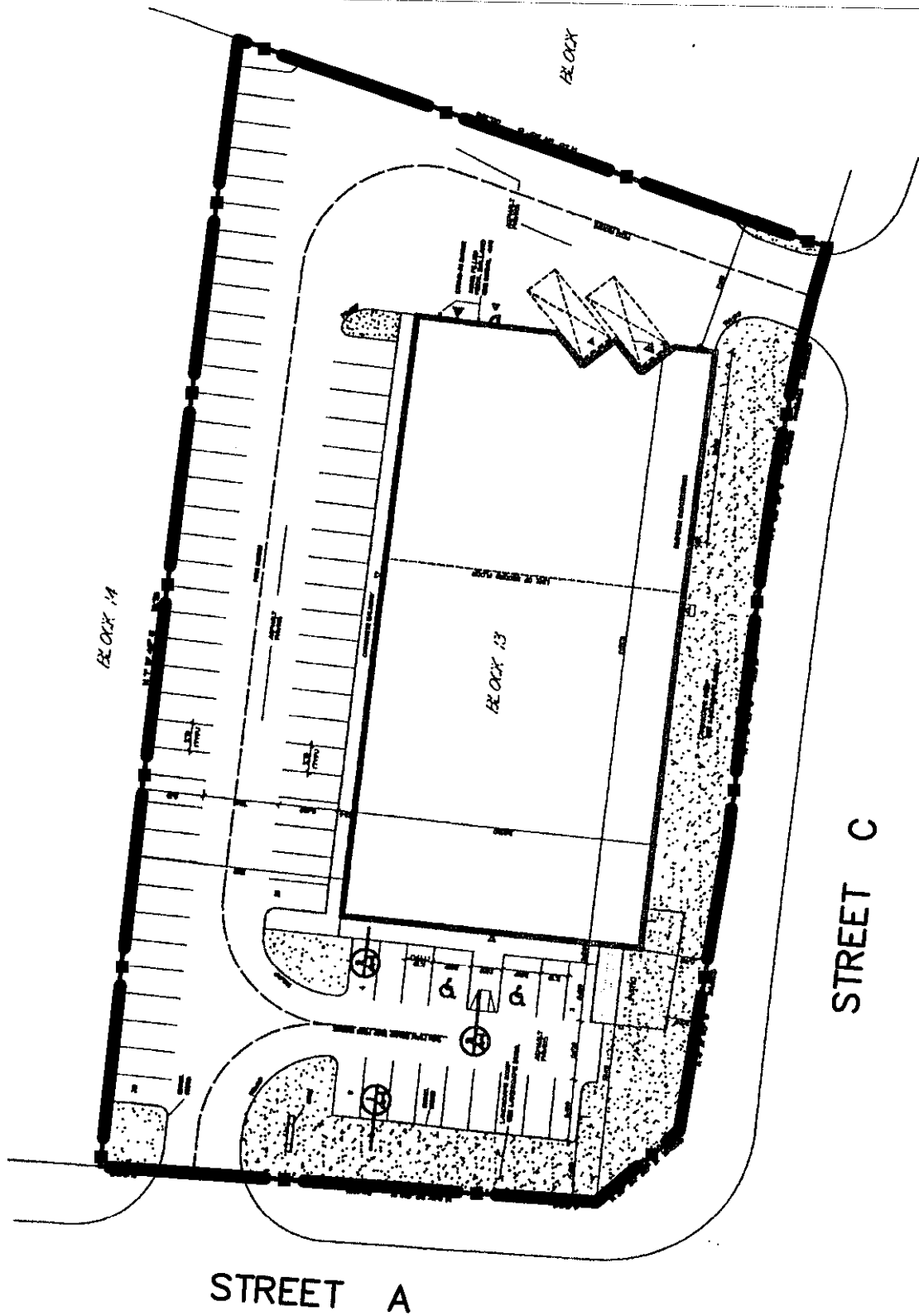
ATTACHMENT '1'  
LOCATION MAP

FILE #:	REPORT #:
DA.02.006	Part Lot 7 & 8, Con. 9

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
ROYBRIDGE HOLDINGS LIMITED

DATE:	02/18/2002
SCALE:	NOT TO SCALE



SUBJECT LANDS



NOT TO SCALE

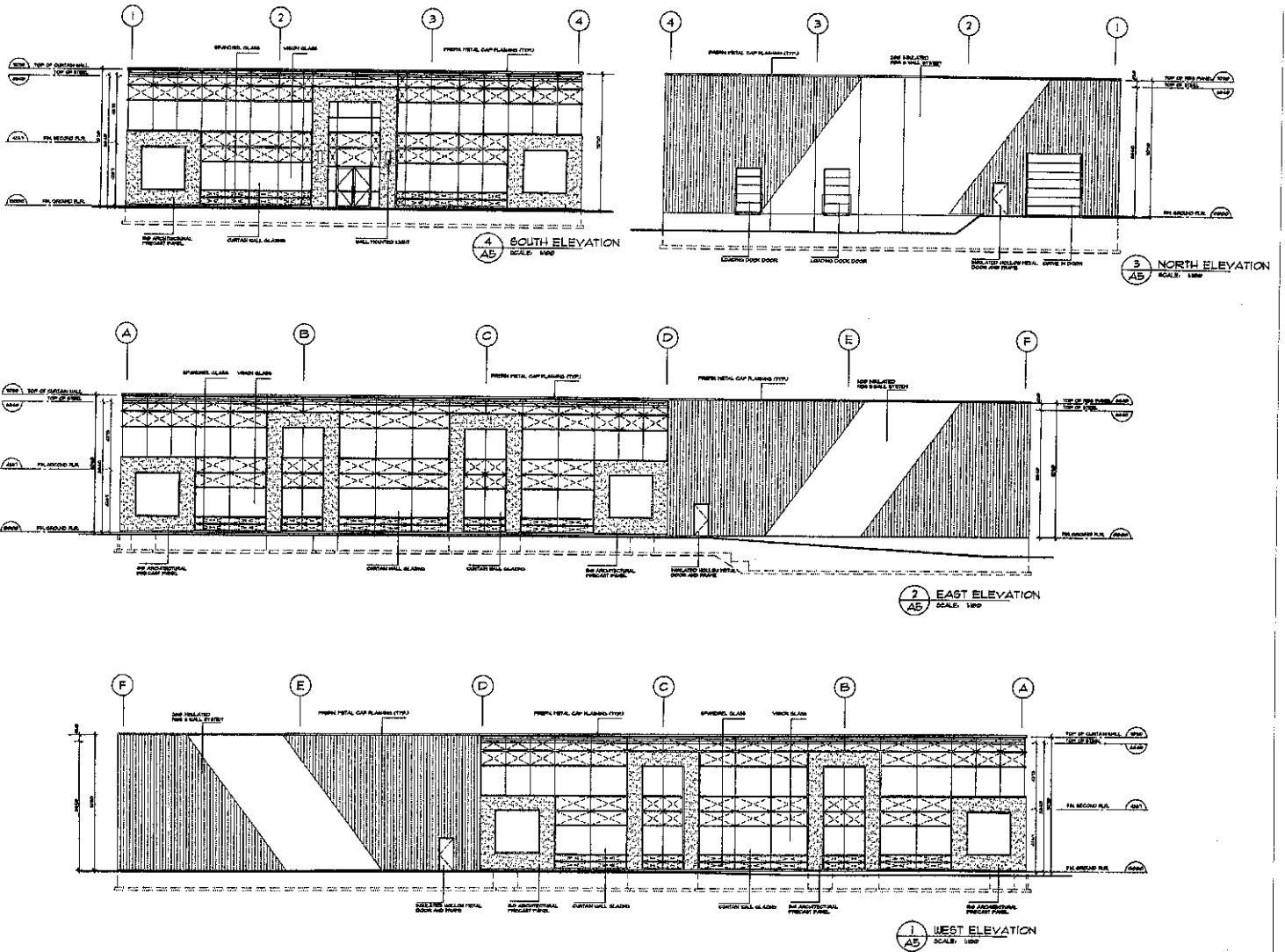
ATTACHMENT '2'  
SITE PLAN

FILE #:	REPORT #:
DA.02.006	Part Lot 7 & 8, Con. 9

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
ROYBRIDGE HOLDINGS LIMITED

DATE:	02/18/2002
SCALE:	NOT TO SCALE



# ATTACHMENT '3' ELEVATIONS

FILE #:	REPORT #:
DA.02.006	Part Lot 7 & 8, Con. 9

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
ROYBRIDGE HOLDINGS LIMITED

DATE:	02/18/2002
SCALE:	NOT TO SCALE