

## **COMMITTEE OF THE WHOLE MARCH 4, 2002**

### **SITE DEVELOPMENT APPLICATION FILE DA.01.096 1385329 ONTARIO INC.**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT Site Development Application DA.01.096 (1385329 Ontario Inc.) BE APPROVED, subject to the following conditions:

- a) the final site plan be to the satisfaction of the Community Planning and Building Standards Departments;
- b) the site servicing and grading plan and noise study, if required, be approved by the Engineering Department;
- c) the final landscape plan be to the satisfaction of the Urban Design Department; and
- d) prior to registration of the site plan agreement, any necessary minor variances be final and binding.

#### **Purpose**

On December 27, 2001, the Owner submitted a Site Development Application for a one-storey, 857.70 m<sup>2</sup> addition to a commercial building.

#### **Background - Analysis and Options**

The subject lands are located at the southeast corner of Highway #7 and Woodstream Boulevard, being Lot 2 on Plan 65M-2464 (25 Woodstream Boulevard), in Lot 5, Concession 8, City of Vaughan. The lands are designated "Highway No. 7 Commercial Corridor" by OPA #240 (Woodbridge Community Plan), as amended by OPA #345. The zoning is C7 Service Commercial Zone by By-law 1-88, subject to Exception 9(463).

On October 10, 2000, Council approved Site Development Application DA.00.081 (Royalton Centre Inc.) for two buildings on the site, with a future addition being identified. The first phase of development has been completed and includes a Shoppers Drug Mart (Building 'B' on Attachment #2) and a Tim Horton/Wendy's (Building 'A' on Attachment #2) restaurant.

#### **Official Plan and Zoning By-law**

The lands are designated "Highway No.7 Commercial Corridor" by OPA #240 (Woodbridge Community Plan), as amended by OPA #345. This designation permits retail, personal service, office and restaurant uses.

The lands are zoned C7 Service Commercial Zone by By-law 1-88, subject to exception 9(463). The C7 Service Commercial Zone permits business and professional offices, eating establishments, personal service shops and video stores. Retail stores are not permitted, which conforms to the official plan policies. The proposed development conforms to both the Official Plan and Zoning By-law.

### Site Plan

Buildings 'A' and 'B' are existing, as is the parking and landscaping. Building 'C', which is a one-storey 857.7 m<sup>2</sup> addition to the west side of Building 'B', is the subject of this application.

The rear yard setback is shown as 20.023 m, whereas 22 m is required by the by-law. An application to the Committee of Adjustment will be required to permit this variance.

### Parking

A parking count on the site plan indicates that there are 195 parking spaces, whereas 196 spaces are required. A parallel parking space on the west side of Building 'C' may need to be deleted, as it is in an awkward location. As such, two parking spaces will need to be added, or a variance granted to permit this deficiency.

### Services

The Engineering Department has commented that a Noise Study may be required, depending on the surrounding land uses. Also, grading and servicing plans must be submitted for review.

### Elevations

The front (north) elevation, which faces Highway #7, will be predominantly glass with doors to the individual units. There is red brickwork between the units and along the base of the building. Immediately above the glass will be a band for signage. Above the signage is a light-beige area of pre-finished material that will match the existing finish on Building 'B'. Along the top will be a molded parapet, which will be raised in the middle of the building for added detail.

The west elevation, facing Woodstream Boulevard, will have one section of windows, and the remaining three-quarters will be red brick. There will be a sign band, above which the same beige pre-finished material will continue from the front elevation.

The rear elevation faces an existing industrial building to the south. This elevation will be red brick with service doors to the individual units. The parapet along the roof line will screen the roof-top mechanicals from the north and west. No additional screening is required.

### Conclusion

Staff is satisfied that the site plan and elevations are appropriate for the development of the site. Should the Committee concur, the recommendation of this report can be adopted.

### Attachments

1. Location Map
2. Site Plan
3. Elevations

### Report prepared by:

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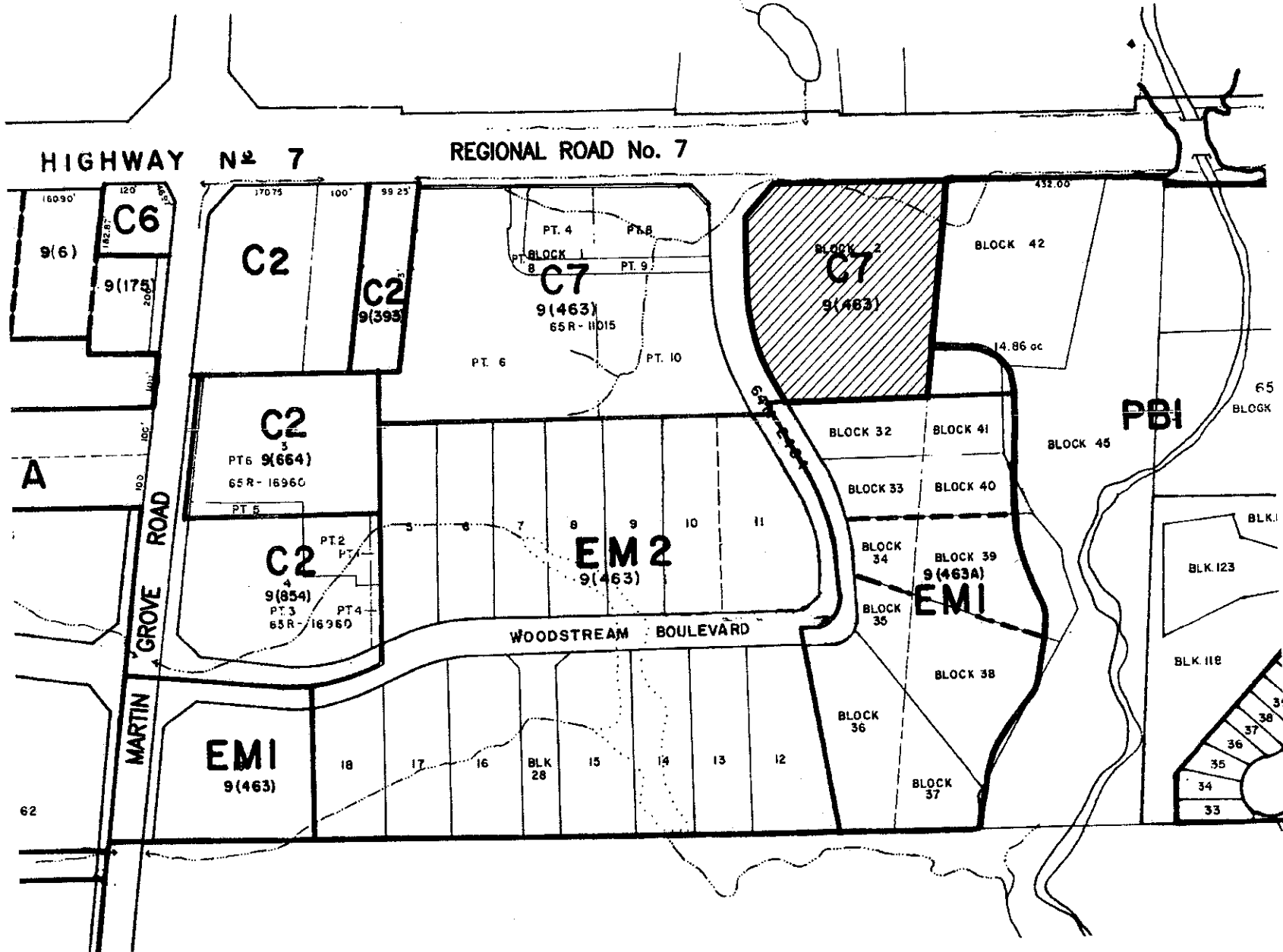
Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

JOANNE R. ARBOUR  
Director of Community Planning

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SUBJECT LANDS

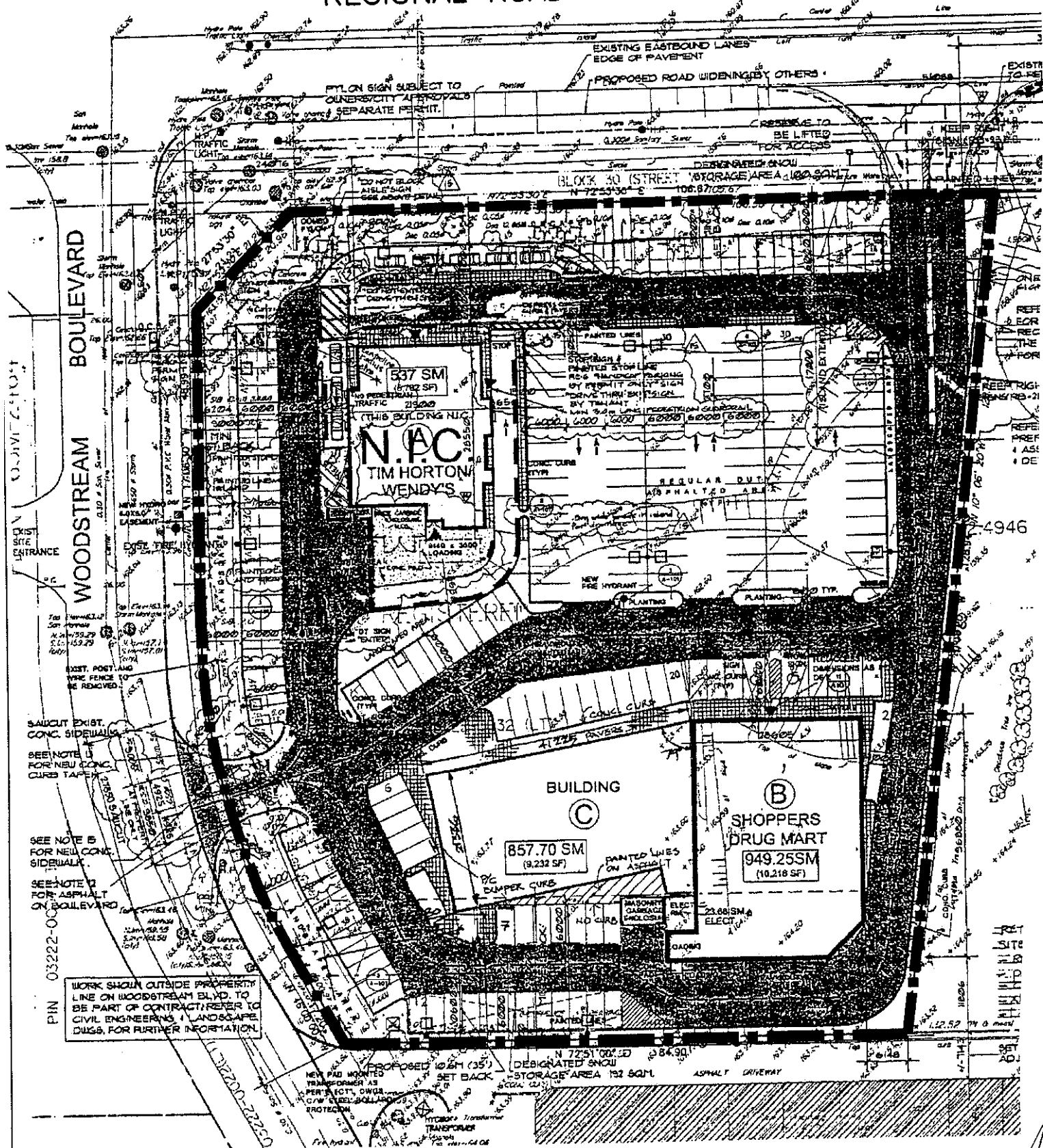
ATTACHMENT '1'  
LOCATION MAP

FILE #:	REPORT #:
DA.01.096	PT. OF LOT 5, CON. 8

CITY OF VAUGHAN  
PLANNING DEPARTMENT

DATE: 01/10/2002
APPLICANT: 1385329 ONTARIO INC.
SCALE: NOT TO SCALE

# REGIONAL ROAD No. 7



SUBJECT LANDS

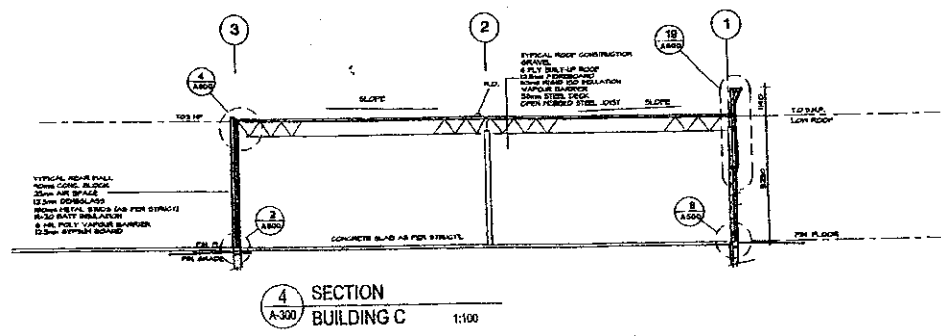
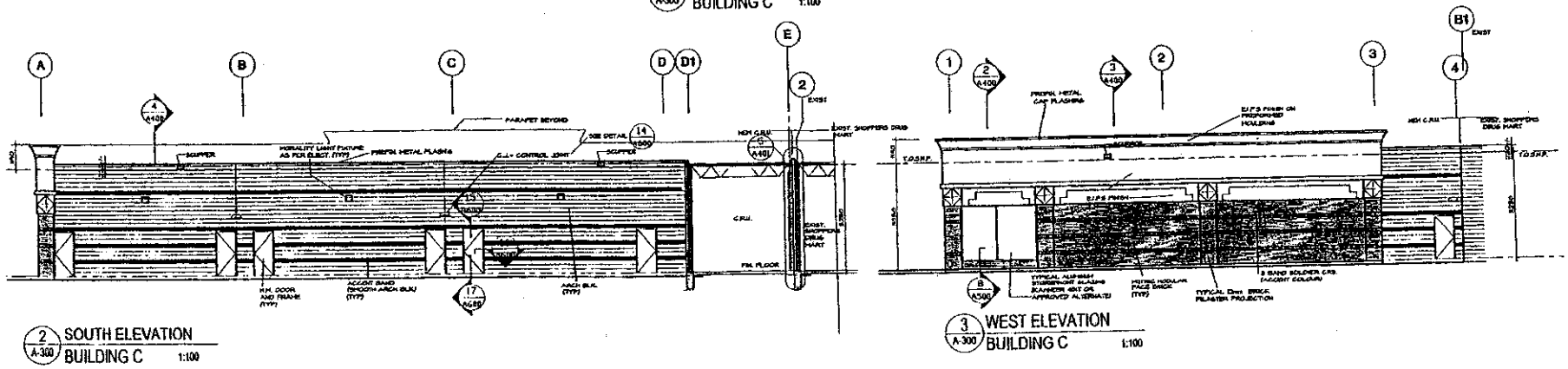
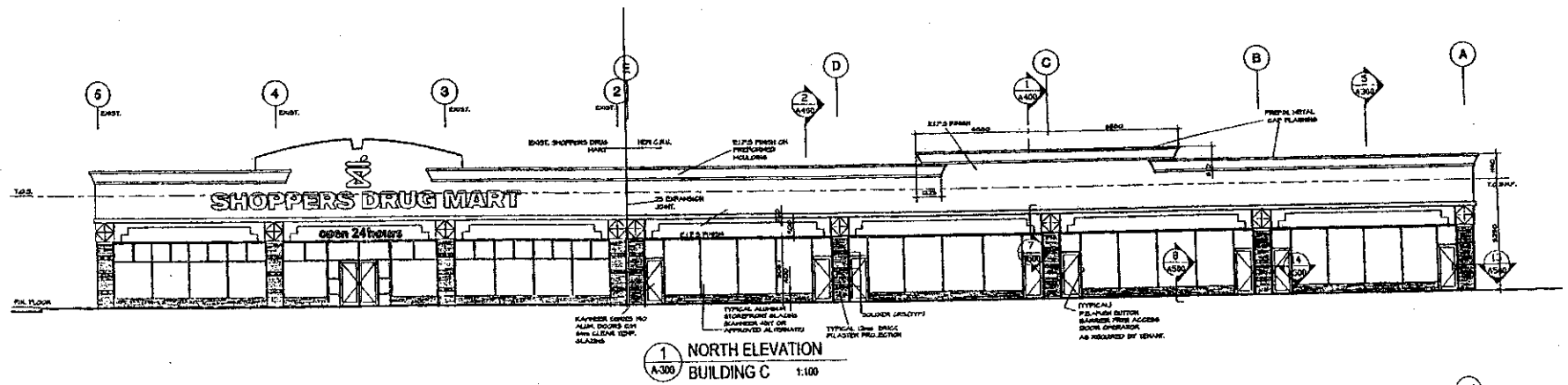
## ATTACHMENT '2' SITE PLAN

FILE #:	REPORT #:
DA.01.096	Part Lot 5, Con. 8

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
1385329 ONTARIO LTD.

DATE: 01/10/2002  
SCALE: NOT TO SCALE



ATTACHMENT '3' ELEVATIONS	FILE #:	REPORT #:	DATE: 01/10/2002
	DA.01.096	PT. OF LOT 5, CON. 8	SCALE: NOT TO SCALE
		CITY OF VAUGHAN PLANNING DEPARTMENT	APPLICANT: 1385329 ONTARIO INC.