

COMMITTEE OF THE WHOLE APRIL 8, 2002

SITE DEVELOPMENT FILE DA.01.075
DAN TRAN AND DIEP KIM DO

Recommendation

The Commissioner of Planning recommends:

THAT Site Development Application DA.01.075 (Dan Tran and Diep Kim Do) BE APPROVED, subject to the following conditions:

- a) That prior to the execution of the site plan agreement:
 - i) the final site plan and building elevations including signage, shall be approved by the Community Planning and Urban Design Departments;
 - ii) the final landscape plan and detailed landscape cost estimate shall be approved by the Urban Design Department;
 - iii) the final site grading and servicing plans, stormwater management report, parking and on-site circulation shall be approved by the Engineering Department;
 - iv) all hydro requirements shall be to the satisfaction of Hydro Vaughan Distribution Inc.; and,
 - v) access and road widening shall be to the satisfaction of the Region of York Transportation and Works Department; and,
- b) That the site plan agreement contain the following provision:
 - i) The Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with Section 42 of the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division and the approved appraisal shall form the basis of the cash-in-lieu payment.

Purpose

On September 20, 2001, the Owner submitted a Site Development Application for the conversion of the one-storey, 157.5m² residence to a business and professional office. The application includes the addition of a 58m² two-car garage and 7 external parking spaces.

Background - Analysis and Options

On February 22, 2000, the previous Owner (Amnon Levmor) submitted applications to amend the Official Plan and Zoning By-law (Files OP.00.004 and Z.00.011), to redesignate and rezone the subject lands to "General Commercial" and C1 Restricted Commercial Zone respectively, to facilitate an 800m², 2-storey office building at the southeast corner of the property, with 39 parking spaces. Council approved the applications on September 11, 2000 and OPA #541 was adopted by Council on August 27, 2001. The implementing zoning by-law was to be enacted upon approval of the site plan application.

Subsequently the subject lands were sold, and the present Owners have submitted the subject Site Plan Application to convert the residence to an office.

The site is located on the north side of Centre Street, west of Vaughan Boulevard, being Part of Lot 90 on Registered Plan 3541, and designated as Part 1 on Reference Plan 65R-20509 (1206 Centre Street), in Lot 6, Concession 2, City of Vaughan. The rectangular-shaped, 0.21 ha lot has 30.48m frontage on Centre Street and a depth of 71.63m. The surrounding land uses are:

- North - detached residential on Lawrie Road (R3 Residential Zone)
- South - Centre Street; detached residential (R3 and R4 Residential Zones)
- East - office (C1 Restricted Commercial Zone)
- West - detached residential (R3 Residential Zone)

Official Plan

The site is designated "General Commercial" by OPA #210 (Vaughan-Thornhill Community Plan), as amended by site-specific OPA #541, which permits business and professional office uses only. The proposed development conforms to the Official Plan.

Zoning

The site is zoned R3 Residential Zone by By-law 1-88, which does not permit business or professional office uses.

On September 11, 2000, Council approved Zoning Amendment Application Z.00.011 to rezone the subject lands to C1 Restricted Commercial Zone, to permit business and professional office uses only. The implementing by-law will be based on the approved site plan, and is to include the following exceptions:

	<u>Required</u>	<u>Proposed</u>
Min. Setback from an R Zone (existing)	9.0m	0.0m (west)
Min. Landscape Strip Width abutting a Street	6.0m	2.4m (south)
Min. Landscape Strip Width abutting an R Zone	2.4m	0.2m (west)
Min. Driveway Aisle Width	6.0m	5.12m (south)

Site Design

The existing building and proposed double car garage are situated on the southern half of the lot. The dwelling is located close to the westerly lot line, with the eaves encroaching over into the adjacent property to the west. The northern half of the lot will remain as a grassed area.

The site is served by a 7.5m wide driveway access on Centre Street, which leads to a minimum 5.12m wide parking aisle. Seven of the 9 parking spaces are located adjacent to the 2.4m wide landscape strip abutting the south property line. The asphalt driveway extends around the east and north sides of the building to serve the 2 parking spaces within the detached garage at the rear of the building.

Building Elevations

The existing building has a brick façade with clear windows. A small company logo is provided on the south wall only. The building height to the top of the asphalt shingled roof will be maintained at a maximum of 3.68m. The proposed garage elevations will consist of a taupe coloured facade.

Landscaping

The existing landscaping is to be maintained and enhanced with additional planting along the front and interior side lot lines. Shrub planting is proposed along the front lot line and front half of the side lot lines with coniferous and deciduous trees placed in strategic spots along the perimeter of the south half of the lot. The trees in the north half of the site will be preserved. A wood privacy fence is proposed along the property lines on the rear yard. A 1.2m high modular metal fence is proposed along the front portion of the side lot lines. The final landscape plan shall be approved to the satisfaction of the Urban Design Department.

Access

The site plan shows a 7.5m wide full-movement driveway access in the westerly portion of the site on Centre Street. The access must be approved by the Region of York Transportation and Works Department.

The Region may require a road widening along Centre Street, consistent with the conveyance on the site to the east. The Region's conditions of approval will be included in the tri-party site plan agreement.

Parking

The site plan provides a total of 9 parking spaces, 7 of which are located at the front of the building and 2 in the double-car garage. Based on the By-law 1-88 requirement of 3.5 parking spaces per 100m² GFA devoted to business and professional office uses, the site requires a total of 6 spaces.

Servicing

The site has access to municipal services, including sanitary and storm sewers and water. There are no proposed changes to the existing site services. The final site servicing and grading plans, stormwater management report, noise report, parking and on-site circulation, must be approved by the Engineering Department. The Owner will need to apply to change the hydro metering rates to commercial, to the satisfaction of Hydro Vaughan Distribution Inc.

Conclusion

Staff has reviewed the site plan application in accordance with the policies of the Official Plan and the requirements of the Zoning By-law, and recommends approval of the application, subject to conditions. The proposed development is in keeping with similar sites on the north side of Centre Street, which have changed from residential to business and professional offices, while maintaining a residential appearance. Upon approval of the subject application, the implementing zoning by-law can be enacted to rezone the property to C1 Zone with the appropriate exceptions, to facilitate the business and professional office uses. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Elevations

Report prepared by:

Arminé Hassakourians, Planner, ext.8368
Grant A. Uyeyama, Senior Planner, ext. 8635

Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

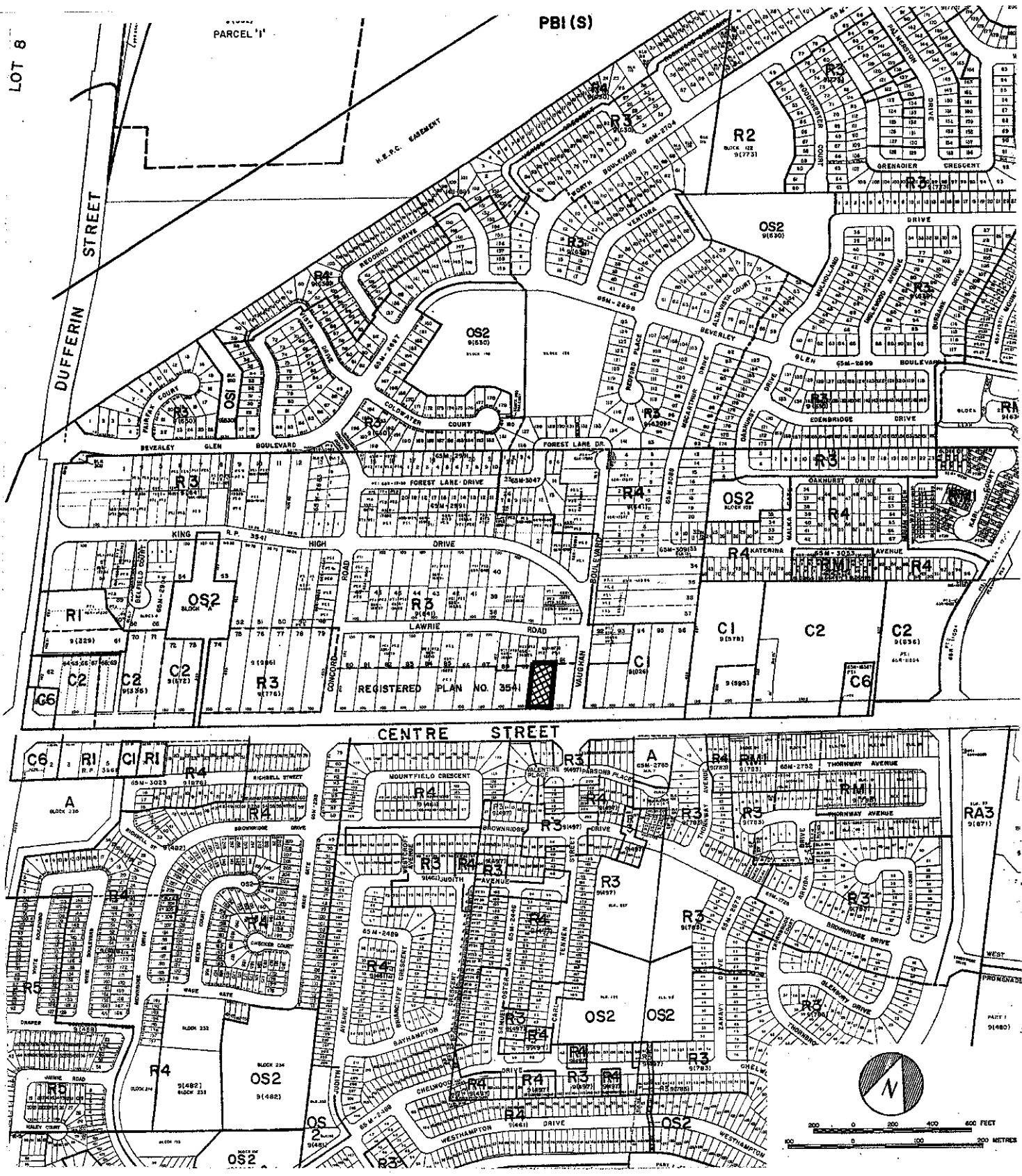
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LOT 6

PARCEL '1'

PBI(S)



SUBJECT LANDS

ATTACHMENT '1'
LOCATION MAP

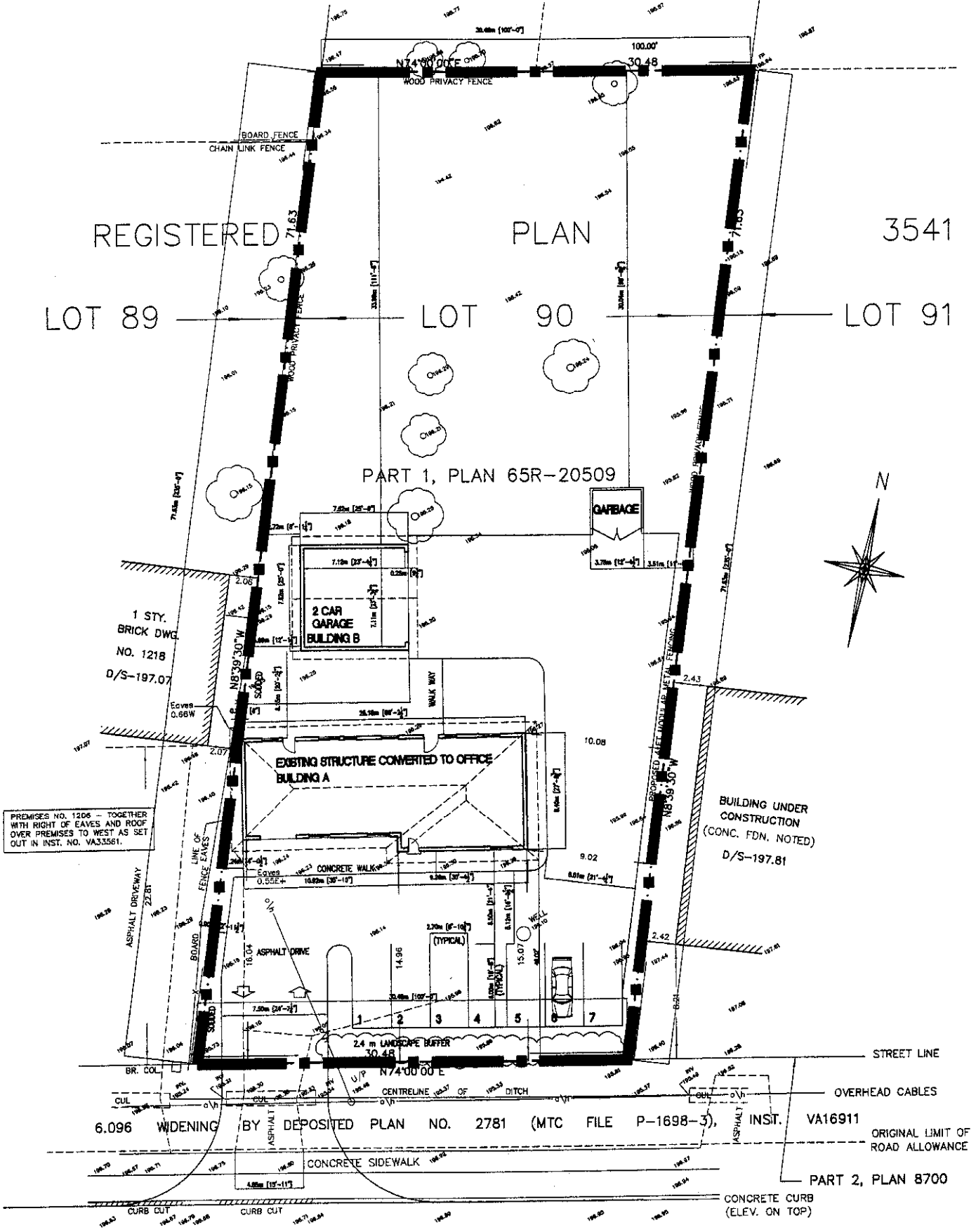
FILE #:	REPORT #:
DA.01.075	LOCATION: LOT 6 CONC. 2

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:	DATE: 09/27/2001
DAN TRAN & DIEP KIM DO	SCALE: NOT TO SCALE


REGISTERED PLAN 3541
 LOT 89 LOT 90 LOT 91

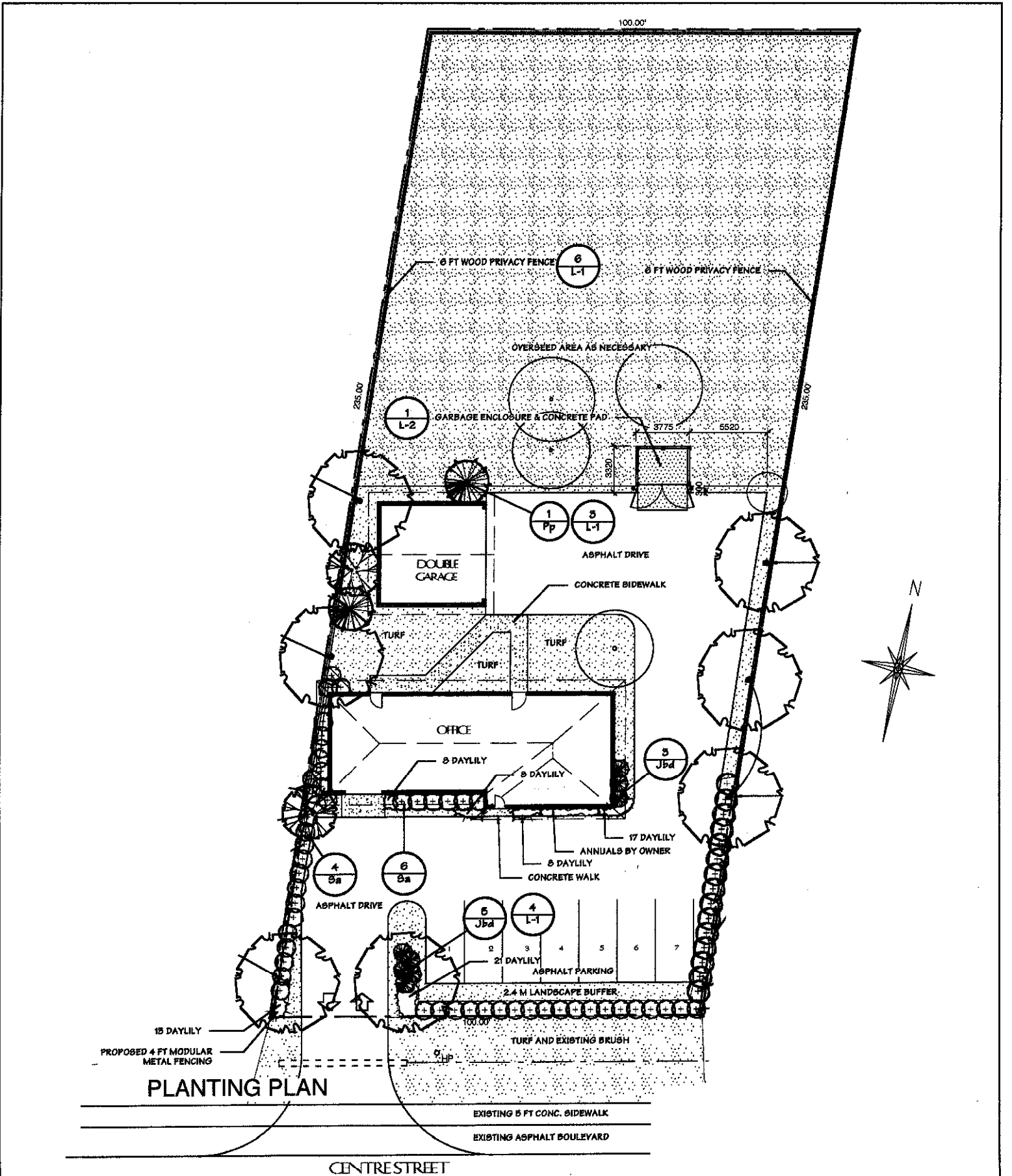
PART 1, PLAN 65R-20509



CENTRE STREET
 (ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 2)

ATTACHMENT '2'
 SITE PLAN

FILE #: DA.01.075	REPORT #: LOCATION: LOT 6 CONC. 2	 SUBJECT LANDS	DATE: 03/19/2002
CITY OF VAUGHAN PLANNING DEPARTMENT			APPLICANT: DAN TRAN & DIEP KIM DO



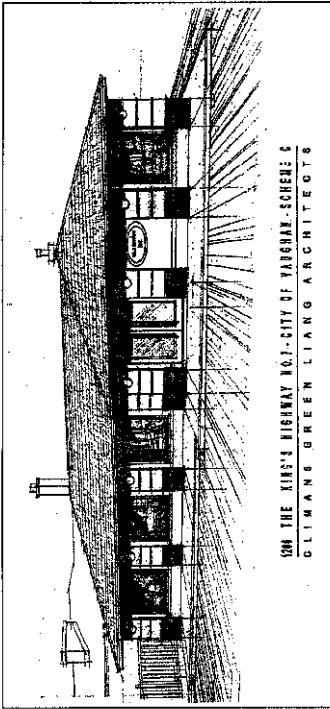
PLANTING PLAN

15 DAYLILY
PROPOSED 4 FT MODULAR METAL FENCING

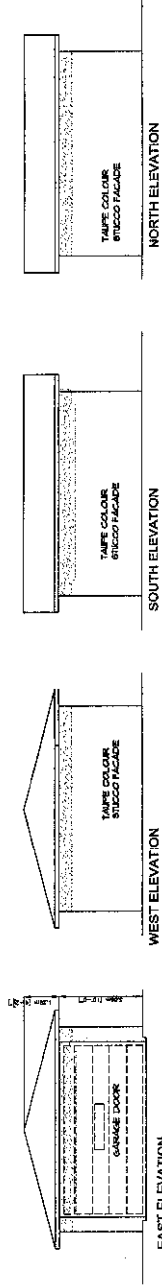
EXISTING 5 FT CONC. SIDEWALK
EXISTING ASPHALT BOULEVARD

CENTRE STREET

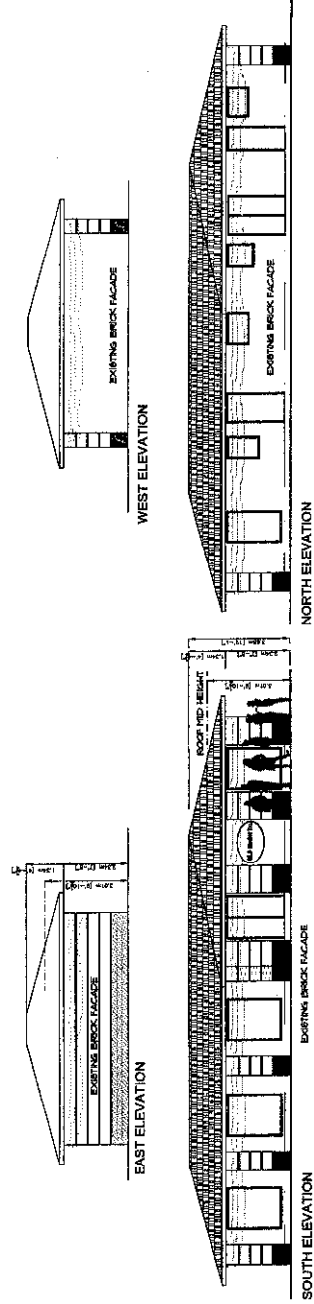
ATTACHMENT '3' LANDSCAPE PLAN	FILE #:	REPORT #:	DATE: 03/19/2002
	DA.01.075	LOCATION: LOT 6 CONC. 2	SCALE: NOT TO SCALE
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: DAN TRAN & DIEP KIM DO	



BUILDING A - PERSPECTIVE



BUILDING B



BUILDING A

ATTACHMENT '4' ELEVATIONS

FILE #:

DA-01.075

REPORT #:

LOCATION:
LOT 6, CONC. 2

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:

DAN TRAN & DIEP KIM DO

DATE: 03/19/2002

SCALE: NOT TO SCALE