

SITE DEVELOPMENT APPLICATION FILE DA.01.088
BRADWICK PROPERTIES LIMITED

Recommendation

The Commissioner of Planning recommends:

THAT the building elevations for Site Development Application DA.01.088 (Bradwick Properties Limited) BE APPROVED.

Purpose

On December 14, 2001, the Owner submitted a Site Development Application for a one-storey, 18 unit, 7,442m² industrial building, on a 1.89 ha lot.

Background - Analysis and Options

The subject lands are located on the southeast corner of Langstaff Road and North Rivermede Road (1681 Langstaff Road), being Lot 21, Registered Plan M-1801, in Lot 10, Concession 3, City of Vaughan.

The irregular-shaped building is proposed to be constructed with a flat roof to a height of 8.9m. A parapet screens the roof-top mechanical equipment from the view of adjacent roads. The building materials consist of beige-coloured architectural precast concrete panels with a medium sandblast finish. Surrounding the main entrances along the north elevation (Langstaff Road), the precast has a smooth acid finish and is accented with vertical rows of tinted glass squares and four rows of champagne-tinted glazed spandrel panels above each door. Star-shaped medallions are provided above the framed entranceways to accent the building along this façade.

The lower half of each unit consists of illuminated sign boxes and windows with glazed spandrel panels along the base. The top half of the building has been accented with two horizontal, smooth-finished bands, and square windows with reflective glazing.

The westerly units facing North Rivermede Road are consistent with the north elevation, but without the elaborate entranceways. There are no entrances on the east elevation, which maintains the accent treatment along the upper portion of the building and windows at the northeast corner. The loading areas are located on the south elevation internal to the site, and are not visible to any street.

Conclusion

Staff are satisfied with the proposed building elevations. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Building Elevations

Report prepared by:

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Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

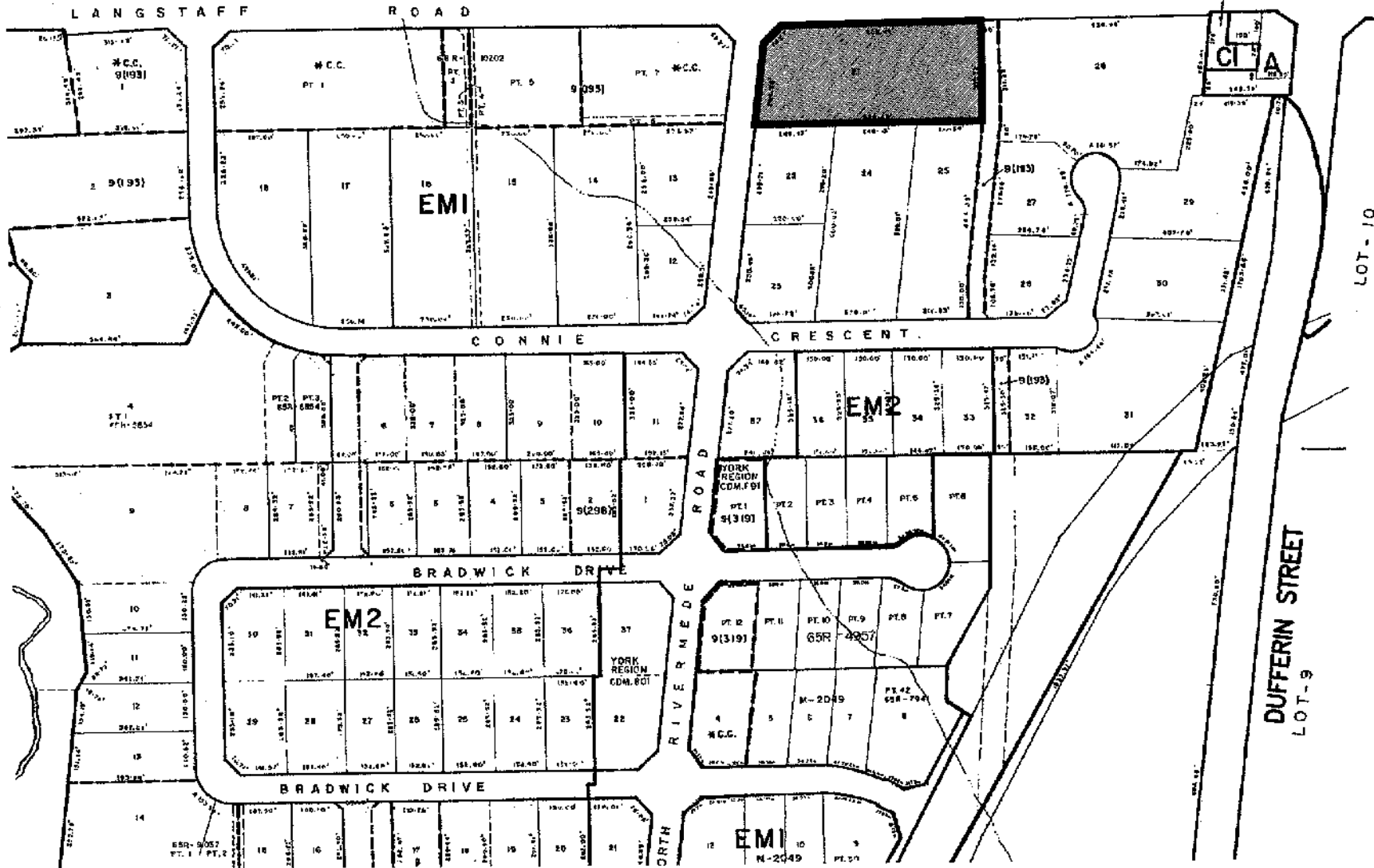
JOANNE R. ARBOUR
Director of Community Planning

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CONCESSION - III

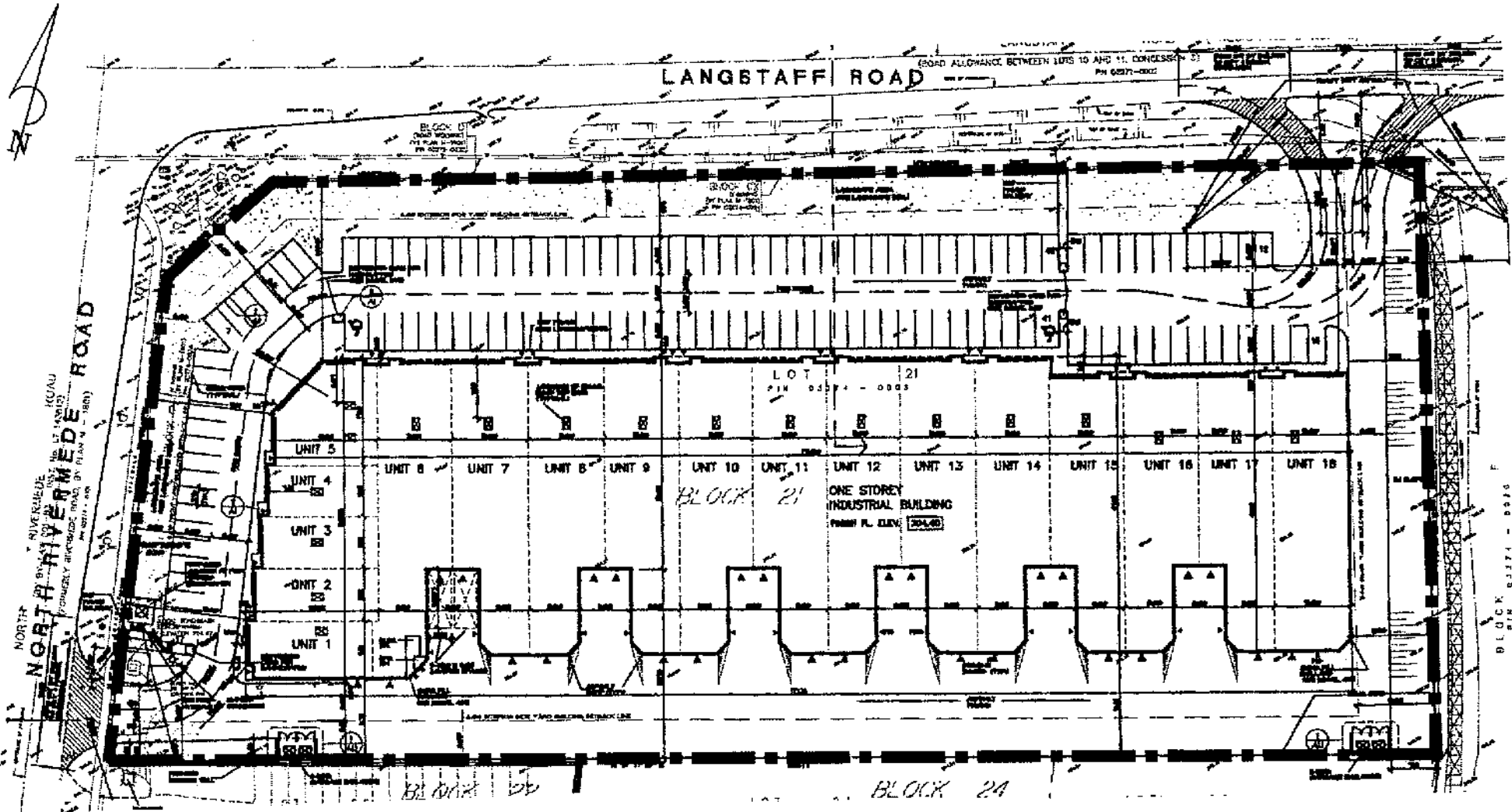
LANGSTAFF ROAD



SUBJECT LANDS

ATTACHMENT '1' LOCATION MAP

FILE #: DA.01.088	REPORT #: PT OF LOT 10, CON 3	CITY OF VAUGHAN PLANNING DEPARTMENT	APPLICANT: BRADWICK PROPERTIES LIMITED	DATE: 12/19/2001	SCALE: NOT TO SCALE
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ATTACHMENT '2'
SITE PLAN

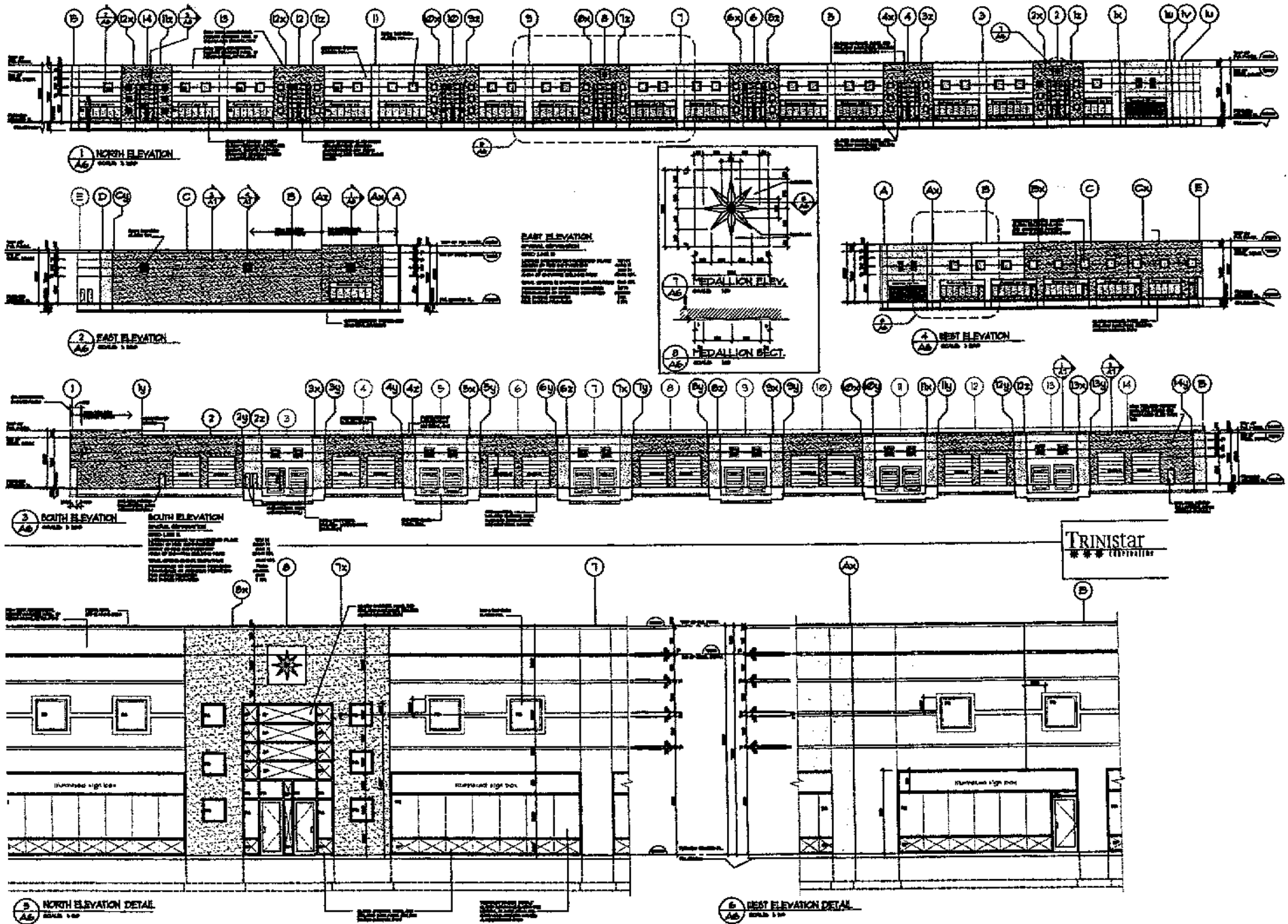
FILE #: DA 01.088
REPORT #: PT OF LOT 10. CON 3

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT: RADWICK PROPERTIES LIMITED

DATE: 12/19/2001
SCALE: NOT TO SCALE

— — — — — SUBJECT LANDS



ATTACHMENT '3'
ELEVATIONS

FILE #:	REPORT #:	DATE:	12/19/2001
DA.01.088	LOCATION: PT OF LOT 10, CON 3	CITY OF VAUGHAN PLANNING DEPARTMENT	APPLICANT: BRADWICK PROPERTIES LIMITED
			SCALE: NOT TO SCALE