

**COMMITTEE OF THE WHOLE MARCH 1, 2004**

**ZONING BY-LAW AMENDMENT FILE Z.03.029  
SITE DEVELOPMENT FILE DA.03.023  
ROYAL MARTINGROVE-STEELES PROPERTY LIMITED  
REPORT #P.2003.37**

**Recommendation**

The Commissioner of Planning recommends:

1. THAT Zoning By-law Amendment Application Z.03.029 (Royal Martingrove-Steeles Property Limited) BE APPROVED, to permit the enclosure of the existing outdoor storage area with tent structures, and exceptions to the parking and loading space requirements.
2. THAT Site Development Application DA.03.023 (Royal Martingrove-Steeles Property Limited) BE APPROVED, subject to the following conditions:
  - a) That prior to the execution of the site plan agreement:
    - i) the final site plan and tent elevations shall be approved by the Community Planning and Urban Design Departments.

**Purpose**

On April 3, 2003, the Applicant submitted a Zoning Amendment application to amend the site-specific exception provision of the by-law, which permits open storage of patio furniture and products in a designated area within the PB1S Parkway Belt Linear Facilities Zone. The application proposes to enclose the open storage area with 9 plastic fabric tent structures, whereas the By-law does not permit any structures on the subject lands. A related Site Plan application was also submitted.

**Background - Analysis and Options**

The subject lands are located along the westerly (rear) property line of 7200 and 7250 Martin Grove Road, on the north side of Highway #407, being Parts 1, 2, 3, 4 and 5 on Plan 65R-24699, in Part of Lot 2, Concession 8, City of Vaughan.

The subject lands are accessed from the entrances on 7200 and 7250 Martin Grove Road, and are visible from Martin Grove Road, Highway #27, and Highway #407. The Applicant has entered into a lease agreement with Hydro One for the use of 6.06 ha, of which 5.6 ha is paved with a hard surface material and used as storage, and proposed to be covered by the tent structures. The remaining 0.46 ha is used for stormwater management pond purposes.

The site is designated "Public Use Area (Electric Power Facility)" by the Parkway Belt West Plan and zoned PB1S Parkway Belt Linear Facilities Zone by By-law 1-88, subject to Exception 9(1111). The surrounding land uses are:

- North - public use areas (Electric Power Facility) (PB1S Parkway Belt Linear Facilities Zone)
- South - Highway #407
- East - employment (EM1 Prestige Employment Area Zone)
- West - hydro corridor, valley lands (PB1S Zone)

On April 28, 2003, a notice of public hearing was circulated to all property owners within 120m of the subject lands. To date, no comments have been received. The recommendation of Committee of the Whole on May 20, 2003, to receive the public hearing and forward a technical report to a future Committee of the Whole meeting was ratified by Council on May 26, 2003.

### Planning Considerations

#### Official Plan

The Ministry of Municipal Affairs and Housing (MMAH) has confirmed that the proposed use of the subject lands conforms with the "Public Use Area (Electric Power Facility)" designation and policies of the Provincial Parkway Belt West Plan, which has been incorporated into Vaughan's Official Plan.

The MMAH has no objection with the proposal, provided that the lands subject to the amendment correspond to the lands outlined in the lease agreement between Hydro One Networks Inc. and the applicant. They also advise that the amending by-law should include wording that addresses the temporary nature of the structure, as anything with a foundation would not be permitted by the Parkway Belt West Plan.

#### Zoning

The subject lands are zoned PB1S Parkway Belt Linear Facilities Zone by By-law 1-88, subject to Exception 9(1111), which permits the outside storage of patio furniture and products within a defined area of the PB1S Zone.

The proposal to enclose the storage area with temporary tent structures is not permitted by the site-specific exceptions. The proposal will also require exceptions to exempt the parking and loading spaces typically required for the structures.

The Ministry of Transportation (MTO) has no objection to the proposed by-law amendment, provided that all structures are set back a minimum distance of 14m from the Highway #407 property limits. The minimum setback in the PB1S Zone is 15m, which is more restrictive than the MTO standard, and the closest structure is proposed to be 19m from the highway right-of-way.

#### Site Design

The proposed tent structures are located within the hydro corridor on lands owned by Hydro One Networks Inc., which the applicant has leased. Hydro One has no objection to the proposed tent structures, which are to be setback at least 25m from the easterly overhead conductors and 10m from the wooden pole line. All working areas are to be kept 15m from the base of the hydro towers, all in accordance with the license between the two parties.

The existing outside storage area consists of 5.6 ha of paved area within the hydro corridor, for the storage of vinyl garden furniture and containers associated with the applicant's employment use on the adjacent easterly lands. The remaining 0.46 ha of the subject lands is devoted to the stormwater management facilities at the westerly limit of the site. The stored goods are proposed to be sheltered by 9 tent structures, which are 21.34 m in width and of varying lengths, with a maximum height of 8.4m. The tent structures will be constructed of a high tenacity polyester coated fabric that is white in colour.

The existing landscaping, which was intensified along the periphery of the subject lands to minimize the visual impact of the storage during the original application review, will be maintained. The lease agreement with Hydro One restricts the provision of additional landscaping within the storage area, which would interfere with the maintenance and permanent use of the lands as a hydro corridor.

#### Parking/Loading

The site will operate in conjunction with the employment use on the adjacent lands. By-law 1-88 would require 260 parking spaces to be provided for the tent structures. Due to the nature of the use not generating a need for additional parking, the site-specific exception would need to include a provision to exempt parking for the tent structures.

Similarly, the requirement to provide 3 loading spaces would be exempted, as the stored materials are brought directly from the adjacent industrial building to the tent structures.

#### Relationship to Vaughan Vision 2007

This staff report is consistent with Vaughan Vision 2007, which encourages managed growth through the implementation of the Official Plan.

#### Conclusion

Staff have reviewed the Zoning By-law Amendment and Site Plan applications and can support the proposal to permit 9 tent structures that will enclose the permitted open storage area. Zoning exceptions will be required to eliminate the requirement for parking and loading spaces associated with the structures. Therefore, Staff recommends approval of the Zoning Amendment and Site Plan applications, subject to conditions. Should the Committee concur, the recommendation in this report can be adopted.

#### Attachments

1. Location Map
2. Site Plan
3. Cross-Section of Tented Structure

#### Report prepared by:

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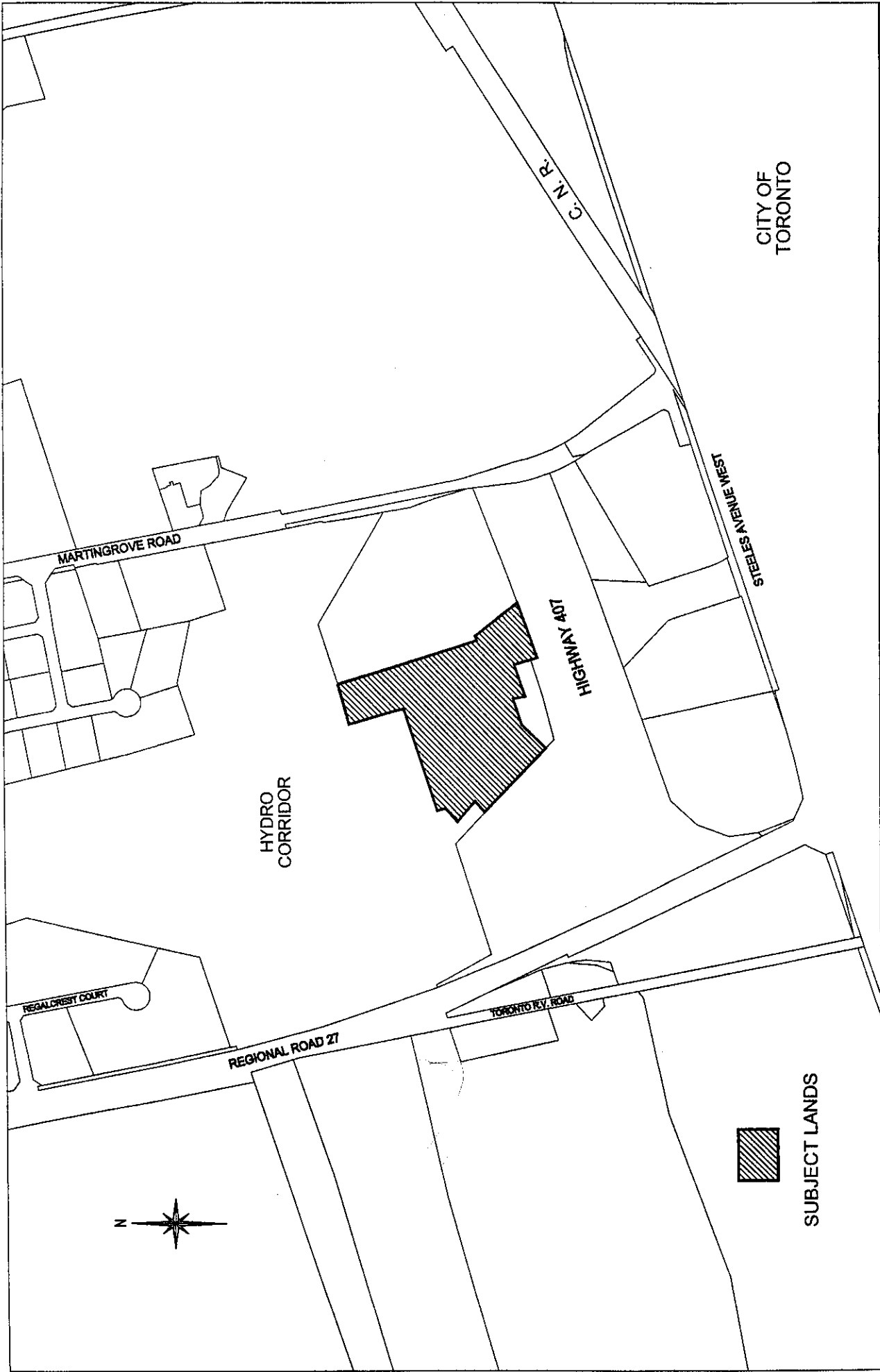
Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

MARCO RAMUNNO  
Manager of Development Planning

/LG

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# Location Map

Part of Lot 2,  
Concession 8  
**APPLICANT:**  
**ROYAL MARTINGROVE-STEELES**  
**PROPERTY LIMITED**

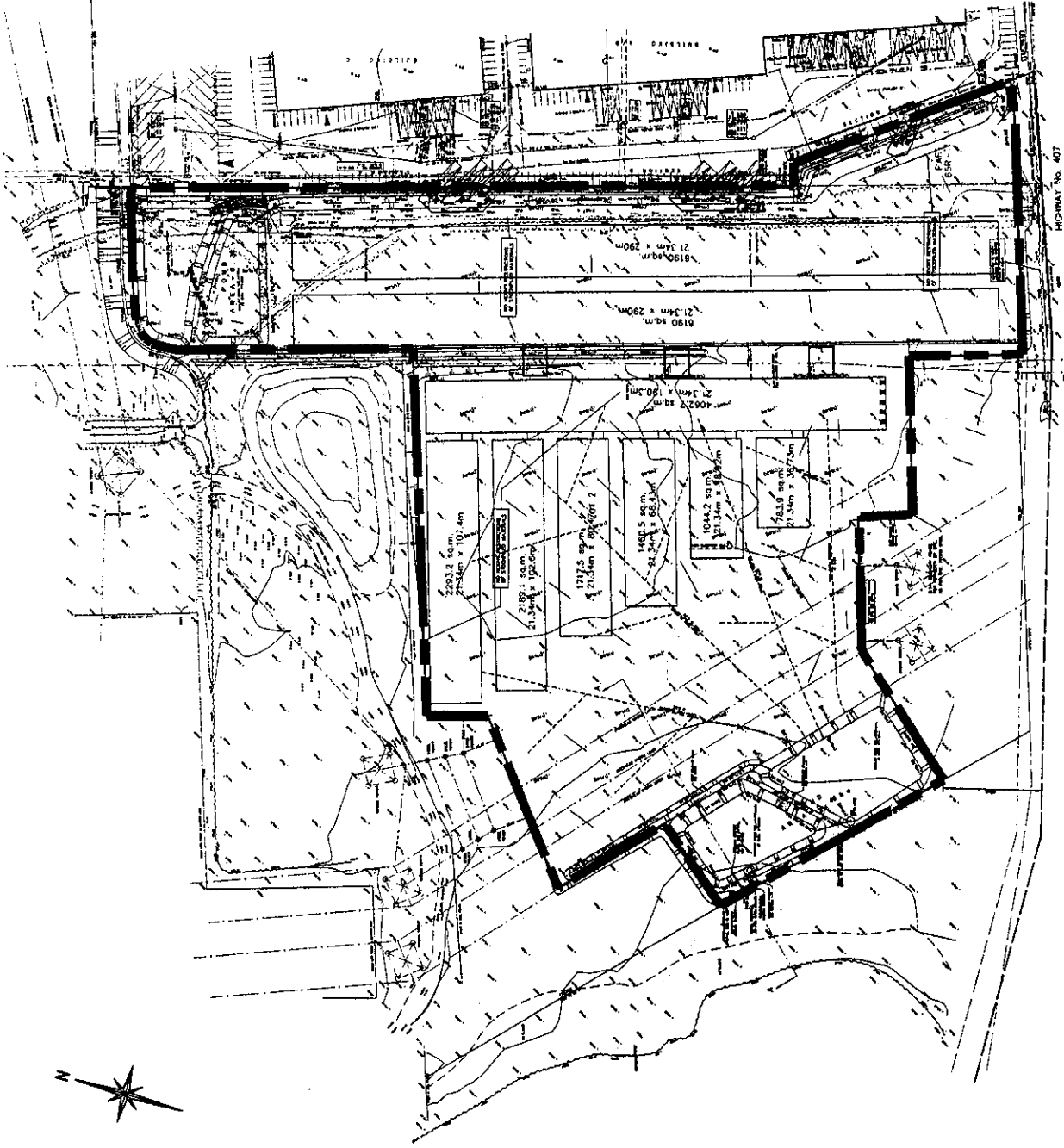


Community Planning Department

# Attachment



FILE No.:  
 DA.03.023 &  
 Z.03.029  
 April 22, 2003  
 Not to Scale



SUMMARY TABLE

SITE AREA SUMMARY	AREA (sq.m.)
TOTAL SITE AREA	64665.7
TOTAL STRUCTURE AREA	25931.7
TOTAL SWM FACILITY AREA	6162.5
COVERAGE (%)	40.1 %

SUBJECT LANDS



# Site Plan

Part of Lot 2,  
Concession 8

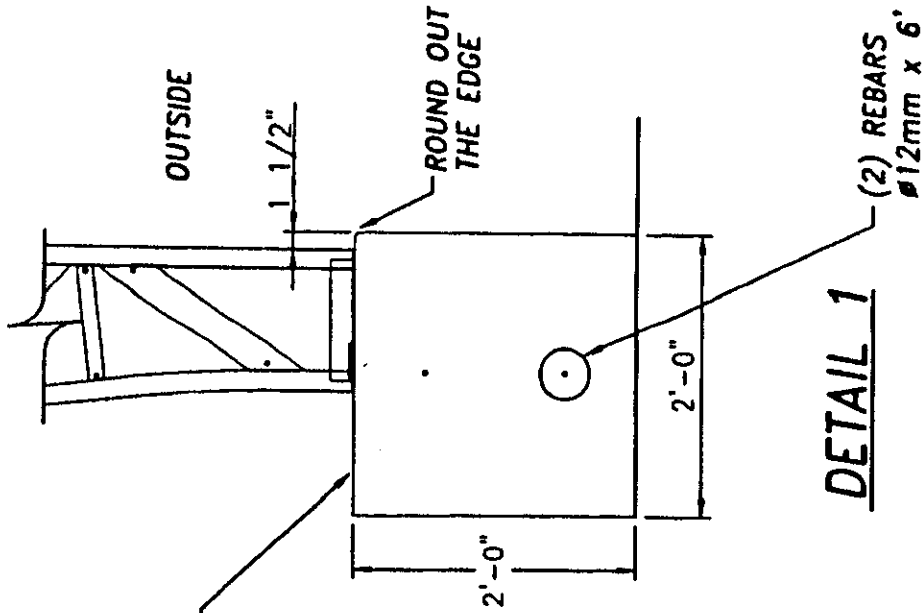
APPLICANT:  
ROYAL MARTINGROVE-STEELES  
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City of  
**Vaughan**

Community Planning Department

# Attachment 2

FILE No.:  
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GRADE BEAM  
20 MP2 CONCRETE  
STONE 20mm

TRUSS SYSTEM  
TRUSSES @ 8'-0" C/C

SEE DETAIL 1

**CROSS SECTION**

**DETAIL 1**

(2) REBARS  
#12mm x 6'

**Cross Section**

Part of Lot 2,  
Concession 8  
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**Attachment 3**  
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