

COMMITTEE OF THE WHOLE MARCH 1, 2004

**ZONING BY-LAW AMENDMENT FILE Z.03.065
SITE DEVELOPMENT FILE DA.03.058
BETHRIDGE DEVELOPMENTS INC.
REPORT #P.2003.79**

Recommendation

The Commissioner of Planning recommends:

1. THAT Zoning By-law Amendment Application Z.03.065 (Bethridge Developments Inc.) BE APPROVED, and that the implementing by-law:
 - a) permit the additional uses of a Business and Professional Office and a Bank or Financial Institution with drive-through facility; and
 - b) provide the necessary zoning exceptions to permit the approved site plan.
2. THAT Site Plan Application DA.03.058 (Bethridge Developments Inc.) BE APPROVED, subject to the following conditions:
 - a) That prior to the execution of the site plan agreement:
 - i) the final site plan and elevations be approved by the Community Planning and Urban Design Departments;
 - ii) the final landscape plan and landscape cost estimate be approved by the Urban Design Department;
 - iii) the final site grading and servicing plan and storm water management report be approved by the Engineering Department;
 - iv) parking, access and on-site circulation shall be approved by the Engineering Department;
 - v) all hydro requirements shall be to the satisfaction of Hydro Vaughan Distribution Inc.; and
 - vi) the access points and driveways shall be approved by the Region of York Transportation and Works Department and City of Vaughan.
3. THAT the site plan agreement contain the following provision:
 - a) the Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a building permit, in accordance with Section 42 of the Planning Act. The owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.
4. THAT prior to the execution of the Site Plan Agreement, the "H" Holding Symbol be lifted from the subject lands.

Purpose

On September 5, 2003, the Owner submitted an application to amend Exceptions 9(988) and 9(1052) to By-Law 1-88 to add the following as permitted uses:

- Business and Professional Office, to a maximum of 3,500 ft²; and,
- Bank or Financial Institution with a drive-through facility.

The related Site Plan Application (DA.03.058) was submitted on the same date, proposing a private elementary school and 3500 ft² of business and professional office space for Building "A"; a bank or financial institution with a drive-through facility for Building "B"; and a day nursery with a nun's residence on the second floor for Building "C". The pertinent site statistics are as follows:

GROSS FLOOR AREA

Building "A" (private school)	762.49m ²
(offices)	<u>325.15m²</u>
	1087.64m ²
Building "B" (bank)	464.50m ²
Building "C" (day nursery)	950m ²
(nun's residence)	<u>950m²</u>
	1900m ²
Parking	107 spaces

Background - Analysis and Options

The vacant 1.12ha site is located at the southwest corner of Sonoma Boulevard and Islington Avenue, being Block 129 and Part of Block 157 on Registered Plan 65M-3413, in Lot 17, Concession 7, City of Vaughan.

The site is designated "Medium Density Residential/Commercial" by OPA 600 and zoned RV3 (H) Residential Urban Village Zone Three under By-Law 1-88, subject to Exceptions 9(988) and 9(1052). The surrounding land uses are:

- North - townhouses (RVM1(A) Residential Urban Village Multiple Dwelling Zone)
- East - Islington Avenue; Kortright Centre for Conservation (OS1 Open Space Conservation Zone)
- South - townhouses (RVM1(A) Zone)
- West - townhouses (RVM1(A) Zone), detached and semi-detached units (RV4 Residential Urban Village Zone Four)

On November 14, 2003 a notice of public hearing was circulated to all property owners within 120m of the subject lands and the Sonoma Heights Ratepayers' Association. Comments have been received from area residents, expressing the following concerns, in summary:

- business and professional office uses, including a bank or financial institution with a drive-through facility, are not appropriate uses for the subject lands since the Block Plan designates the site a "Community Amenity" area.

The recommendation of the Committee of the Whole on December 8, 2003, to receive the public hearing and forward a technical report to a future Committee meeting, was ratified by Council on December 15, 2003.

Official Plan

The site is designated "Medium Density Residential/Commercial" by OPA 600. The designation permits a mix of residential, and limited commercial uses, provided that they are at grade level along transit routes to encourage pedestrian movement. Small-scale retail and office commercial uses are permitted, provided that such uses face on a primary street or arterial road. The proposed uses conform to the Official Plan.

Zoning

The site is zoned RV3(H) Residential Urban Village Zone Three by By-law 1-88. The site is subject to site specific zoning Exceptions 9(988) and 9(1052), which restrict the permitted uses to church, public library, police station/fire hall, day nursery/day care center, community center, seniors residence/home for the aged, and park.

Staff have reviewed the proposed uses in context of the Official Plan policies and the surrounding land uses, and are of the opinion that the addition of Business and Professional Office uses, to a maximum of 3,500 ft² and a Bank or financial institution with a drive-through facility, are appropriate for the site. They are compatible and consistent with the site specific uses permitted on the site and with the neighbourhood uses.

The following exceptions to the RV3 Zone standards required to implement the site plan have also been identified:

- minimum landscape strip of 3m along Clarence Street and 4.68m along Sonoma Boulevard, rather than 6m;
- Building "A": minimum exterior side yard of 3m, rather than 15m; and
- Building "C": minimum interior side yard of 7.5m, rather than 15m; maximum lot coverage of 26.08%, rather than 20%.

Any other exceptions required to implement the approved site plan will be included in the implementing by-law. The "H" Holding symbol on the subject lands will be lifted upon Council's approval of the site plan.

Site Description

The development proposes three buildings. Building "A" is at the northwest corner of the site, with proposed business and professional office uses occupying the northerly half of the building, and a private elementary school with fenced play area in the southerly half. The proposed bank or financial institution with associated drive-through facility would occupy Building "B" at the northeast corner of the site. Building "C" is at the southeast corner of the site, with a day nursery on the ground floor with a fenced play area, and a nun's residence on the second floor.

The site plan proposes four access points, two full-movement accesses from Clarence Street and right-in/right-out accesses from Sonoma Boulevard and Islington Avenue. A sidewalk surrounds the perimeter of the site and internal pedestrian walkways connect all three buildings.

Elevations

The buildings are similar in design and will be constructed of the same materials. They consist of spandrel glass windows and alternating bands of smooth cream stucco and beige stucco, finished with a smooth cream cornice along the roofline.

The main entrance for Building "A" is on the east elevation, facing Building "B". It consists of two glass doors, surrounded by glass panels, with a canopy above. Alternating one and two storey windows surround the building, with one man door on the north elevation and one on the west elevation.

The primary façade for Building "B" is on the west elevation, with a glass double door entry, facing Building "A". Two storey windows and a canopy wrap the northeast facades. The drive-through entry is shown on the west elevation, with a pre-finished metal tower feature facing south.

The main entrance for Building "C" is on the west elevation facing Clarence Street, consisting of two glass doors surrounded by glass panels, with a canopy. The remaining elevations are of the same design with both first and second floor windows, and an entry/exit on the south elevation.

Landscaping

The landscape plan proposes a variety of deciduous and coniferous trees and shrubbery surrounding the periphery of the site. Both play areas are enclosed with a row of trees and a chain link fence. All parking islands are sodded and treed. Along Islington Avenue and Clarence Street are 6m and 3m landscaping strips respectively, with shrubs at both the northeast and northwest corners of the site. A 2.4m landscape strip is provided along the southerly property line where the site abuts townhouses. Pedestrian walkways, constructed of concrete unit pavers, provide a connection between the three buildings and the sidewalk surrounding the perimeter of the site.

Servicing/Utilities

The site has access to municipal services, including water and sanitary and storm sewers. The development is in an unassumed subdivision and requires certification from Subdivision Engineers for lot grades and storm water management conclusions with respect to the approved overall subdivision plans.

The applicant is required to provide a noise study and exterior lighting plan. The Engineering Department will review the study and plans to confirm that they adequately address noise and lighting issues related to the proposed development. All recommendations of the approved noise study and exterior lighting plan must be implemented through the site plan agreement. The final site servicing and grading plan, storm water management report, parking, access and onsite circulation must be to the satisfaction of the Engineering Department.

Access

The site proposes four access points; two full-movement accesses from Clarence Street and a right-in/right-out access from both Sonoma Boulevard and Islington Avenue. The Engineering Department recommends relocating the northerly Clarence Street access north to directly align with Decorso Drive. The current location is not acceptable as there would be potential vehicular conflicts between left-turning vehicles at the access location and Decorso Drive. York Region is to approve proposed access and operations onto

Islington Avenue and Sonoma Boulevard. The final plans will be circulated to the Region for final approval.

Islington Avenue

The Region anticipates the widening of Islington Avenue adjacent to the subject lands in 2004, to a five-lane urban cross section. The Region has, in principle, approved the Islington Avenue access point, subject to the following conditions:

- right-in/right-out only access from the site to Islington Avenue; and,
- the costs of the access shall be paid by the developer.

Construction of the Islington Avenue access, including the right turn taper by the Region on behalf of the Owner, requires the following:

- written acknowledgement by the Owner to participate in the Islington Avenue project;
- submission of the necessary security to permit the Region to construct the access on the Owner's behalf.

Prior to the Region committing the access design to the Islington Avenue engineering drawings, the access work must be secured by an amount based on a detailed cost estimate prepared by the Owner's engineering consultant and approved by the Region. Upon receipt of tender prices for the Islington Avenue project, the actual cost of the access work will be billed to the Owner.

Relationship to Vaughan Vision 2007

This staff report is consistent with Vaughan Vision 2007, which encourages managed growth through the implementation of the Official Plan.

Conclusion

OPA 600 designates the site "Medium Density Residential/Commercial", which permits the proposed uses. The proposed business and professional office uses and bank or financial institution with a drive-through facility, would conform to OPA 600. Staff can support the development of the proposed additional uses, along with the permitted private elementary school and day nursery with nun's residence, as it conforms to the Official Plan, and is appropriate for the site and compatible with the existing uses in the area.

Staff have no objection to the proposed applications, subject to the conditions outlined in this report. Should the Committee concur, the recommendation of this report can be adopted.

Attachments

1. Location Map
2. Site Plan
- 3.a) Elevation Building "A"
- 3.b) Elevation Building "B"
- 3.c) Elevation Building "C"

Report prepared by:

Christina Napoli, Planner I, ext.8791
Grant Uyeyama, Senior Planner, ext.8635

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Manger of Development Planning

/LG

R:\WORKING\NAPOLIC\BETHRIDGEREVISIED.CW



Location Map

Part of Lot 17,
Concession 7

APPLICANT:
BETHRIDGE DEVELOPMENTS INC.

N:\OPT\1 ATTACHMENTS\DA\06.03.058



Community Planning Department

Attachment



FILE No.:
DA.03.058
RELATED FILE No.:
Z.03.065
February 16, 2004



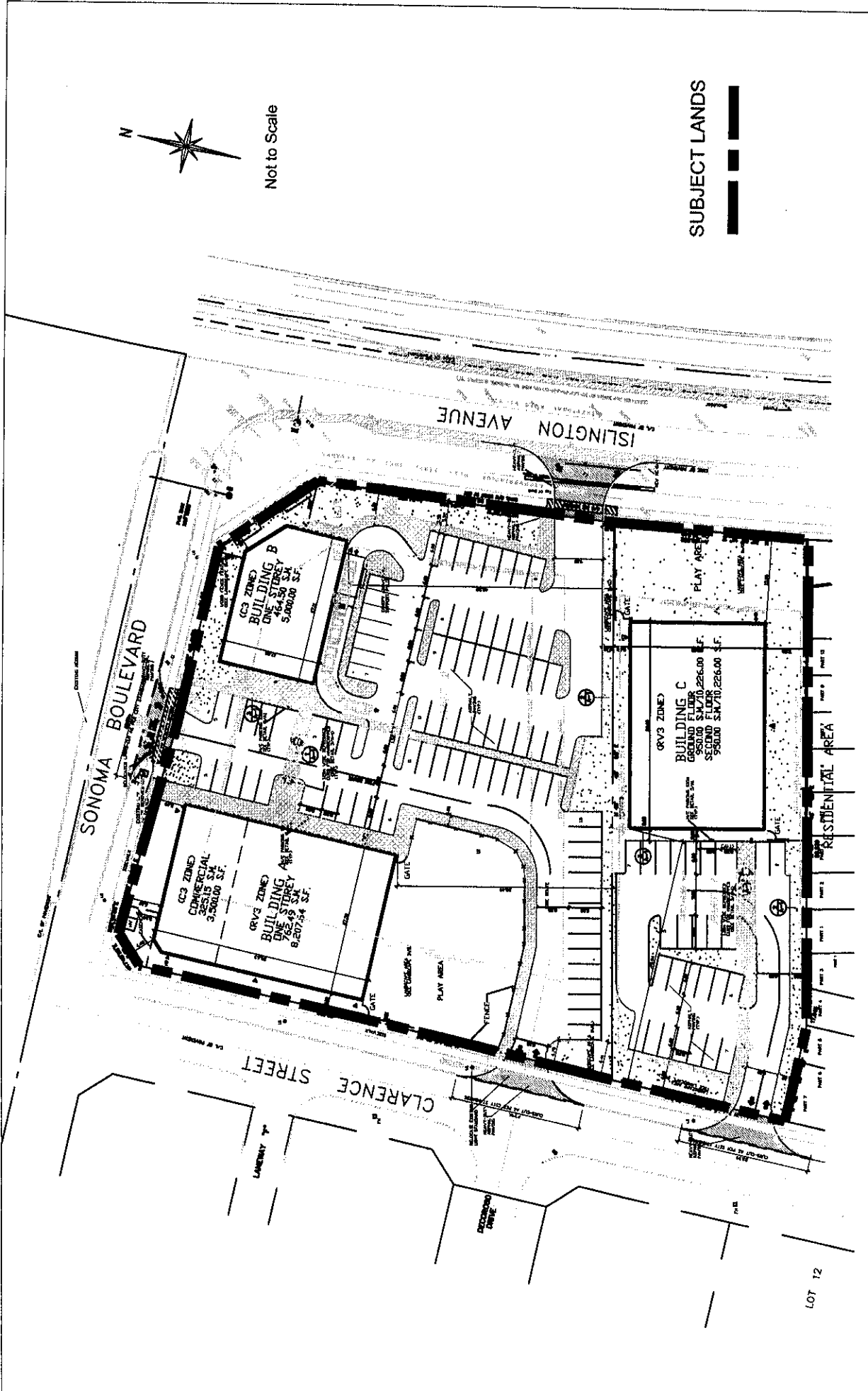
Not to Scale

SUBJECT LANDS



Attachment 2

FILE No.: DA.03.058
RELATED FILE No.: Z.03.065
February 16, 2004

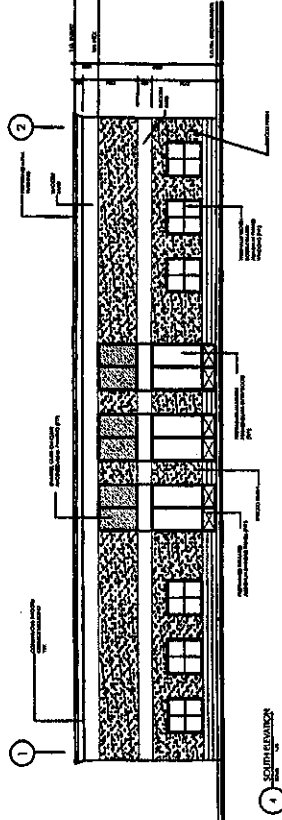
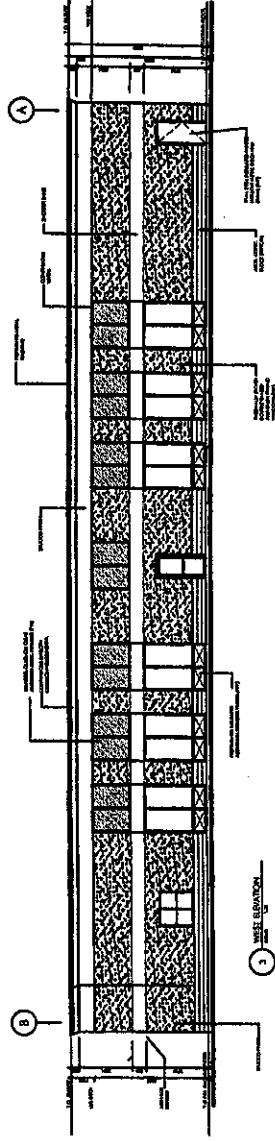
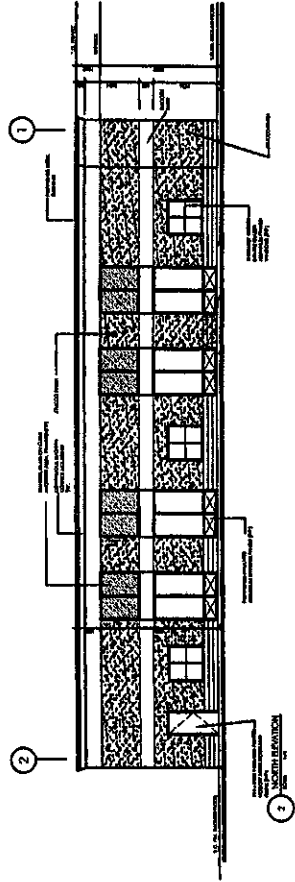
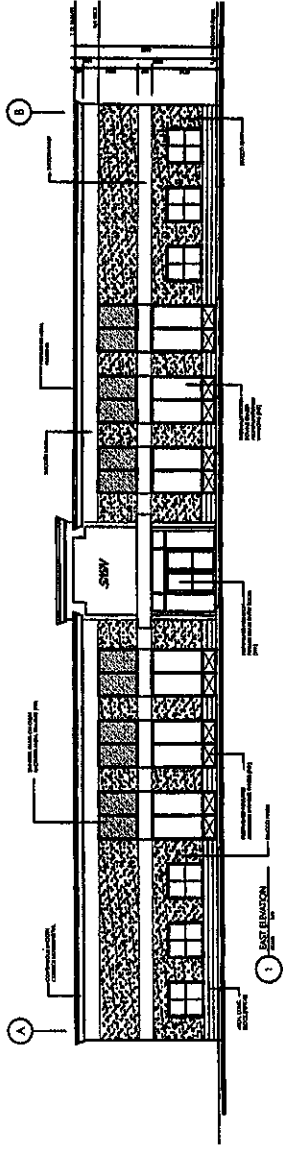


City of Vaughan

Community Planning Department

Site Plan

Part of Lot 17,
Concession 7
APPLICANT:
BETHRIDGE DEVELOPMENTS INC.
N:\DPT\1 ATTACHMENTS\DA\03.058



Not to Scale

Elevations - Building A

Part of Lot 17,
Concession 7
 APPLICANT:
 BETHRIDGE DEVELOPMENTS INC.
 N:\DPT\1 ATTACHMENTS\DA\06-03.058

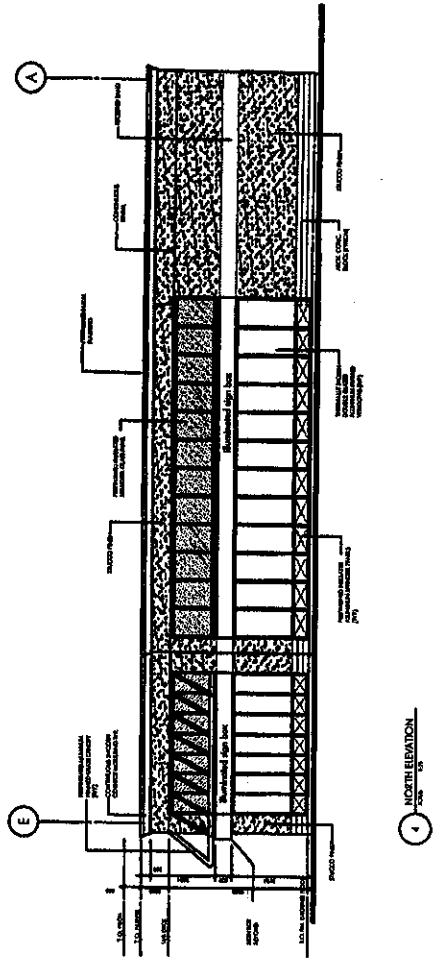
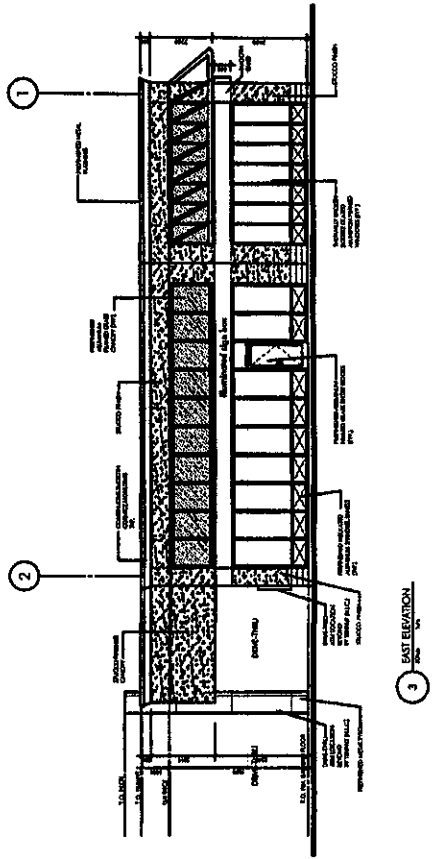
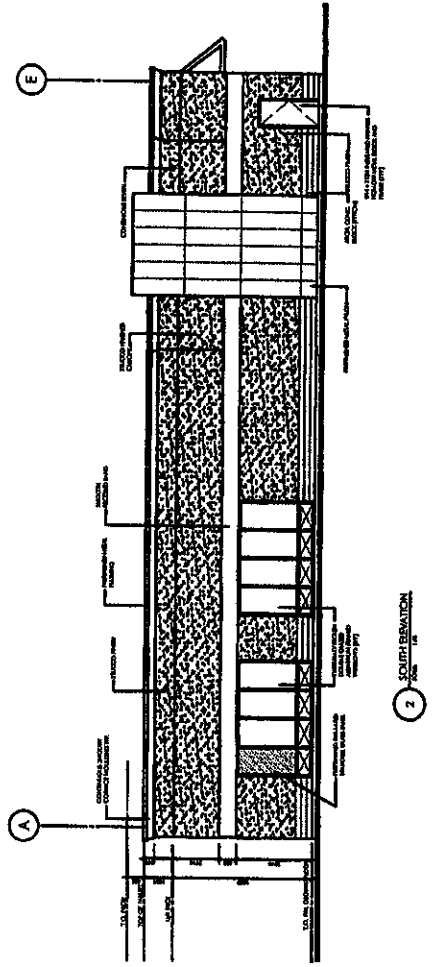
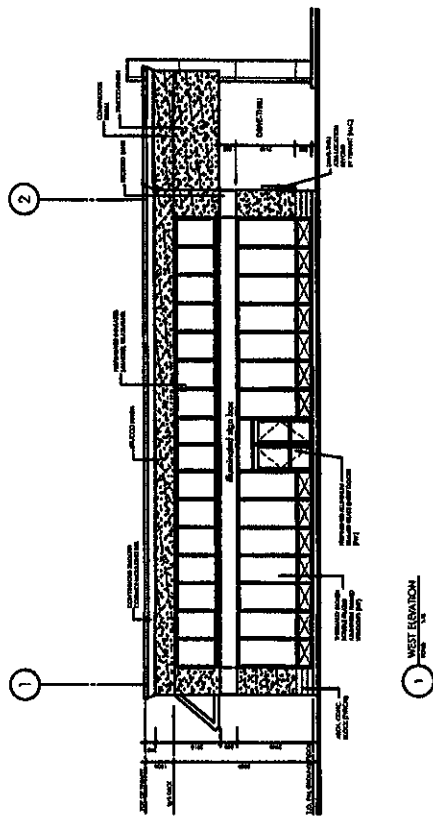


Community Planning Department

Attachment

3a

FILE No.:
 DA.03.058
 RELATED FILE No.:
 Z.03.065
 February 16, 2004



Not to Scale

Elevations - Building B

Part of Lot 17,
Concession 7

APPLICANT:
BETHRIDGE DEVELOPMENTS INC.
N:\DPT\ATTACHMENTS\DA\da.03.058

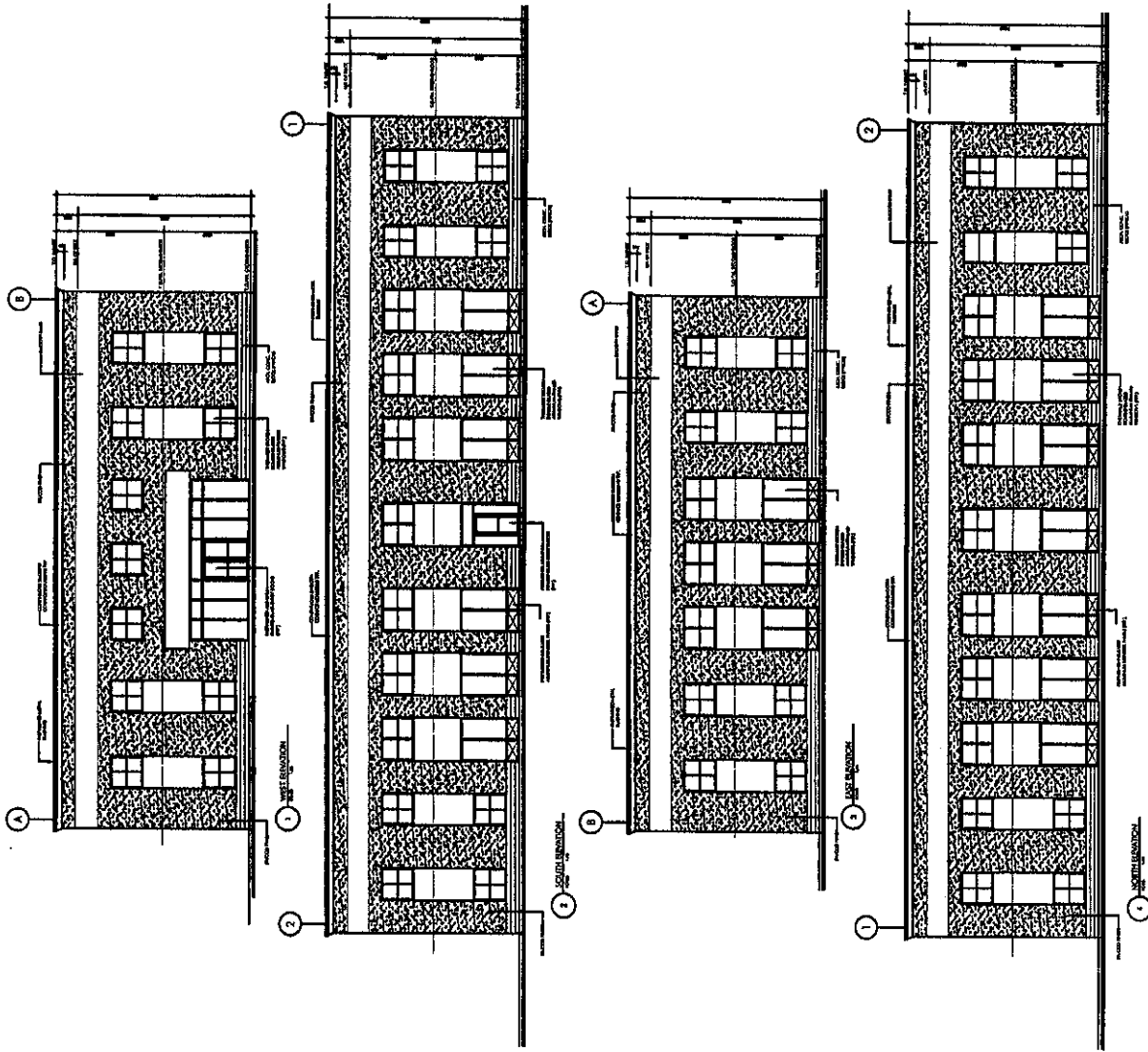
City of
Vaughan

Community Planning Department

Attachment

3b

FILE No.:
DA.03.058
RELATED FILE No.:
Z.03.065
February 16, 2004



Not to Scale

Elevations - Building C

Part of Lot 17,
Concession 7

APPLICANT:
BETHRIDGE DEVELOPMENTS INC.

N:\DPT\1 ATTACHMENTS\DA\03.058



Community Planning Department

Attachment

3C

FILE No.:
DA-03.058
RELATED FILE No.:
Z-03.065
February 16, 2004