

## **COMMITTEE OF THE WHOLE JUNE 8, 2005**

### **SITE DEVELOPMENT FILE DA.04.075** **CROSSROADS PLAZA INC.**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT Site Development File DA.04.075 (Crossroads Plaza Inc.) BE APPROVED, subject to the following conditions:

1. That prior to the execution of the site plan agreement:
  - a) the final site plan, building elevations, and landscape plan with detailed cost estimate shall be approved by the Development Planning Department;
  - b) the final site grading and servicing plan, storm water management report, noise impact report, access and on-site circulation shall be approved by the Engineering Department;
  - c) all hydro requirements of PowerStream Inc. shall be satisfied;
  - d) the servicing and transportation requirements of the Region of York Transportation and Works Department shall be satisfied; and
  - e) the required variances for landscaping, parking and building setbacks shall be approved by the Committee of Adjustment, and shall be final and binding.
2. That the site plan agreement contain the following provision:
  - a) If required, the Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with Section 42 of the Planning Act and City of Vaughan Policy. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

#### **Economic Impact**

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

#### **Purpose**

The Owner has submitted a Site Development Application to permit a 12-unit, 1,534.88 m<sup>2</sup> commercial building, with a total of 84 parking spaces on a 0.63 ha site, as shown on Attachment #2.

#### **Background - Analysis and Options**

The subject lands shown on Attachment #1 are located at the northwest corner of Regional Road 7 and Langstaff Road, being Block 56 on Plan 65M-3227, in Part of Lot 10, Concession 2, City of Vaughan. The vacant site has 76.7 m frontage on Regional Road #7 and 78.08 m flankage on Langstaff Road.

The subject lands are designated "Medium Density Residential/Commercial" with a "Neighbourhood Commercial Centre" overlay by OPA #600, and zoned C4 Neighbourhood Commercial Zone by By-law 1-88, subject to Exception 9(752). The surrounding land uses are:

- North - park (OS2 Open Space Park Zone)
- South - Regional Road #7, Highway #407
- East - Langstaff Road; townhouses (RVM1 (A) Zone)
- West - townhouses (RVM1 (WS-A) Zone)

#### Official Plan

The subject lands are designated "Medium Density Residential/Commercial" with a "Neighbourhood Commercial Centre" overlay by OPA #600, and subject to the "Neighbourhood Commercial Centre" policies, which would permit a food store, drug store, retail stores, pharmacies, banks and financial institutions, business and professional offices, personal services, eating establishments, service station and gas bar uses. The proposed development for a multi-unit commercial building conforms to the Official Plan.

#### Zoning

The subject lands are zoned C4 Neighbourhood Commercial Zone by By-law 1-88, subject to Exception 9(752). The proposed development complies with the requirements of the Zoning By-law, with the following exceptions:

- a 5 m wide landscape strip abutting Regional Road #7, and along Langstaff Road, whereas, a minimum 6.0 m wide landscape strip is required;
- a 1 m wide landscape strip abutting an OS2 Zone (north), whereas a minimum 2.4 m wide strip is required;
- a 6.1 m rear yard (north), whereas, a minimum of 9 m is required;
- a 5 m interior side yard (west), whereas, a minimum of 9 m is required;
- a 5 m setback (west) from an "R" Residential Zone, whereas, a minimum of 9 m is required; and
- 84 parking spaces are provided, whereas, a minimum of 93 parking spaces are required.

Staff has reviewed the proposed exceptions, which are considered to be appropriate and acceptable. The applicant has decreased the width of the landscape strip along Langstaff Road from the required 6 m to 5 m, and compensated by increasing the landscaping width adjacent to the residential along the westerly property line from the required 2.4 m to 3.78 m. The decrease in the width of the landscape strip adjacent to the parking spaces located along the north property line from the required 2.4 m to 1 m is appropriate, given the existing wood fence on the property line, which will screen the parked cars from the view of the northerly park. Within the 5.0 m wide landscape strip along Regional Road #7, is an existing concrete walkway abutting the property line, a wrought iron perimeter fence to the north of the walkway, with a 2.4 m wide planting buffer beyond the fence; the variety of this landscaping treatment and the wide Regional boulevard, is sufficient to address the south property line.

The reduction to the westerly interior side yard from the required 9 m to 5 m is appropriate to ensure there is no parking or loading spaces or driveway aisles located between the buildings and the residential townhouses to the west, and instead, a 3.78 m wide landscaped buffer is provided as a sufficient landscape screen between the two uses.

The Engineering Department is satisfied with the reduction in parking from the required 93 parking spaces to 84 spaces, as discussed further in the "Parking" section of this report.

Should Council approve the proposed site plan, the Owner will be required to apply to the Committee of Adjustment for approval of the required variances, which shall be final and binding, prior to the registration of the implementing site plan agreement.

### Site Design

The proposed 12-unit neighbourhood commercial building (1,534.88 m<sup>2</sup>) is sited on the west side of the property as shown on Attachment #2. A pedestrian walkway is provided around the perimeter of the building. The internal garbage room is located at the northwest corner of the building.

Parking is provided on the remainder of the site. The site will be served by two vehicular access points consisting of a 7.5 m wide right-in/right-out driveway on each of Langstaff Road and Regional Road #7. The final site plan must be to the satisfaction of the Development Planning Department.

### Building Design

The rectangular-shaped building will be constructed with a flat roof to a height of 6.0 m as shown on Attachment #3. The feature located in the middle of the building on the east elevation (Langstaff Road) increases the height to 7.8 m. The roof-top mechanical equipment will not be visible from the adjacent roads, however, the applicant should provide screening from the view of the residential dwelling units to the west.

The building materials consist of dark beige coloured precast with a medium sandblast finish, and accented with horizontal and vertical precast smooth bands. Each entranceway has a brown coloured canopy above, except for the two (2) central entrances, which have pillar-like structures surrounding them. Illuminated sign boxes are evenly spaced along the middle of the building, in line with the canopies. Champagne-coloured glass panels are located below, on the east, north and south elevations, with spandrel panels in the same colour located along the lower portion of the building. A 0.6 m wide continuous smooth cornice moulding band in a brown colour, and evenly spaced wall mounted lights are provided in the upper portion of the building.

The entire west façade facing the residential lands consists of dark beige precast with a medium sandblast finish. Twelve (12) dark brown coloured man-doors provide a fire exit to each unit. A 0.9 m wide horizontal light beige precast smooth band is located across the middle to provide architectural interest.

Staff are satisfied with the proposed building elevations. The final elevation plan must be approved to the satisfaction of the Development Planning Department.

### Landscaping

The landscape plan consists of a mix of deciduous and coniferous trees and shrub planting along the perimeter of the site as shown on Attachment #4. As identified in the Zoning section of this report, variances will be required for a reduction to the landscape strips abutting Langstaff Road, Regional Road 7, and along a portion of the north property line.

A 3.78 m wide landscaped buffer (2.4 m is required) is provided along the west property line to help increase the visual attractiveness of the site to these residents located directly adjacent to the site, and to screen the building. Landscaped islands are provided within the parking area, and in the wider portions of the walkway located around the building.

A new decorative wrought iron fence with brick piers will be erected along the east and south property lines, which will tie into the subdivision entrance feature to be located at the southeast

corner of the property. There is an existing wood fence located along the north and west property lines, which will remain.

The final landscaping plan is to be approved to the satisfaction of the Development Planning Department.

#### Access and Parking

The final location and design of the 7.5 m wide right-in/right-out driveway access on Langstaff Road and on Regional Road 7, will require approval from the Region of York Transportation and Works Department.

The Owner will be constructing a sidewalk adjacent to the property line on Langstaff Road, as shown on the site plan, which will allow access to transit services on Pleasant Ridge Road and Maple Sugar Lane.

At the request of York Region, the applicant has designed the site to facilitate visitors with disabilities, and movement and circulation by smaller Mobility Plus buses and vehicles.

By-law 1-88 requires parking to be provided on the basis of the following:

Shopping Centre: 1,534.88 sq.m @ 6.0 spaces/100 sq.m GFA = 92 spaces

The site plan provides 84 spaces, resulting in a reduction of 8 spaces (a 8.7% deficiency). The Engineering Department has reviewed the site plan proposal and finds the parking supply to be acceptable.

#### Engineering

The subject lands have access to municipal services, including hydro, storm and sanitary sewers, and water. The final site grading and servicing plans and stormwater management report must be approved to the satisfaction of the Engineering Department.

An external lighting plan has been submitted to and approved by the Engineering Department, which identifies that light will not cross from this development onto the residential properties.

A noise impact report is to be submitted and approved by the Engineering Department, to ensure there are no noise impacts, or that any noise on site is mitigated and not disruptive to the abutting residential properties.

#### Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

#### Conclusion

Staff has reviewed the proposed site plan application for the 12-unit commercial building in accordance with the policies of OPA #600 and the requirements of the Zoning By-law, and are satisfied that the site can be appropriately developed. The applicant will be applying to the Committee of Adjustment for variances pertaining to the reduction in landscaping, parking spaces and setbacks, which is supported by Staff, and appropriate to implement the final site plan. For these reasons, Staff can support approval of the site plan application, subject to conditions.

**Attachments**

1. Location Map
2. Site Plan
3. Elevations
4. Landscape Plan

**Report prepared by:**

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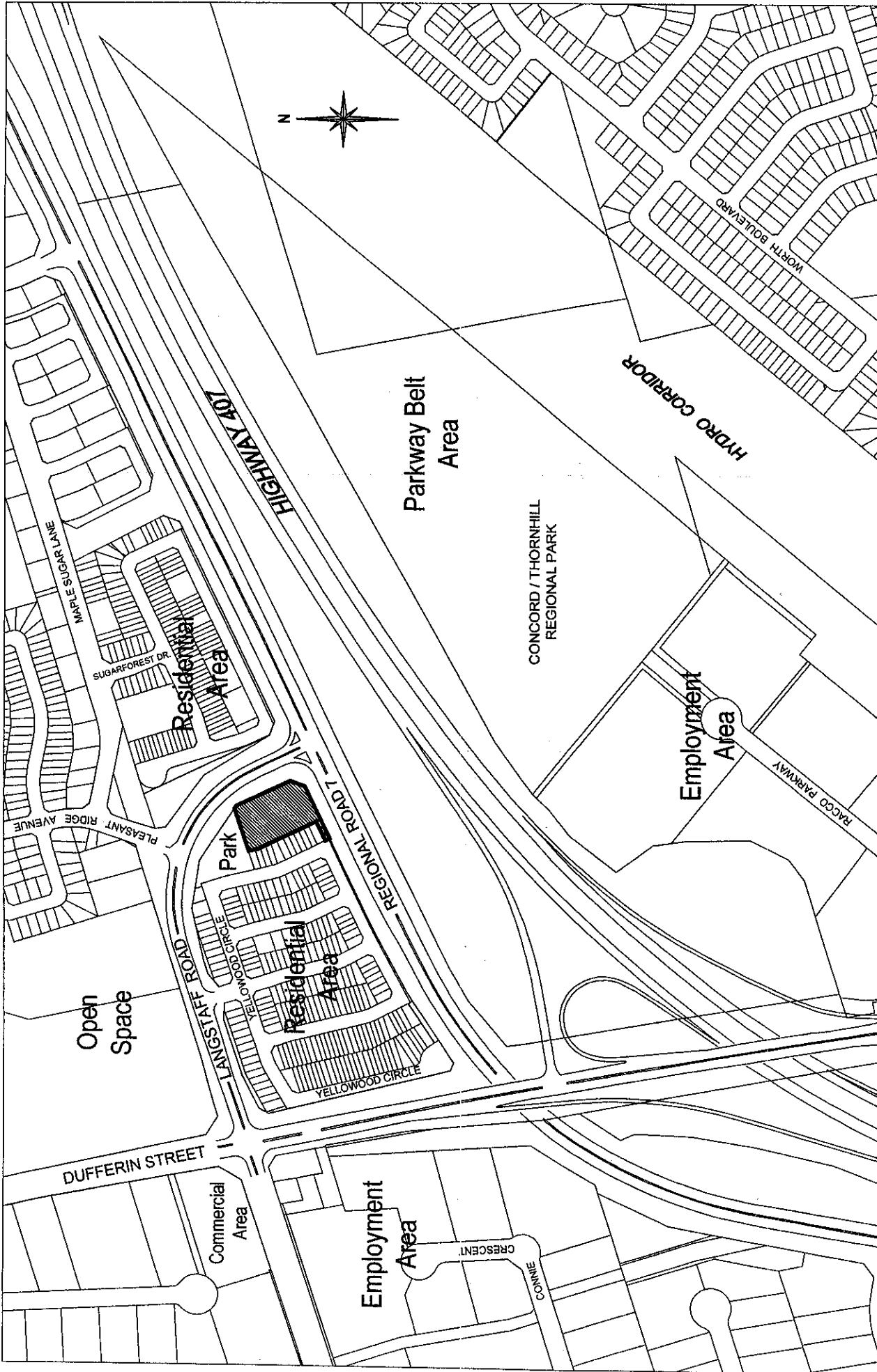
Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

MARCO RAMUNNO  
Director of Development Planning

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# Location Map

Part of Lot 10,  
Concession 2

APPLICANT:  
CROSSROADS PLAZA INC.

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SUBJECT  
LANDS

# City of Vaughan

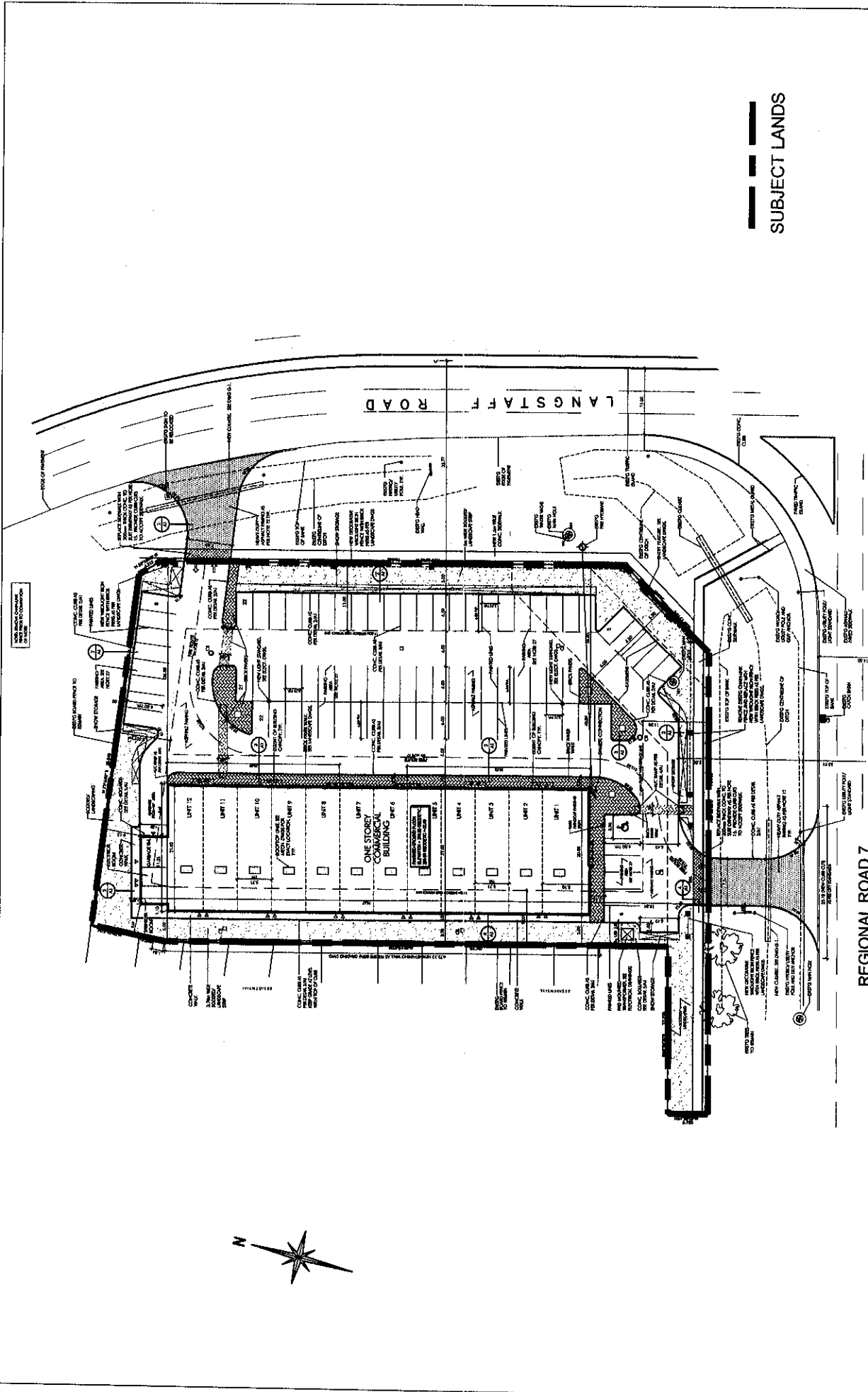
Development Planning Department

# Attachment 1

FILE No.:  
DA.04.075

Not to Scale

May 13, 2005

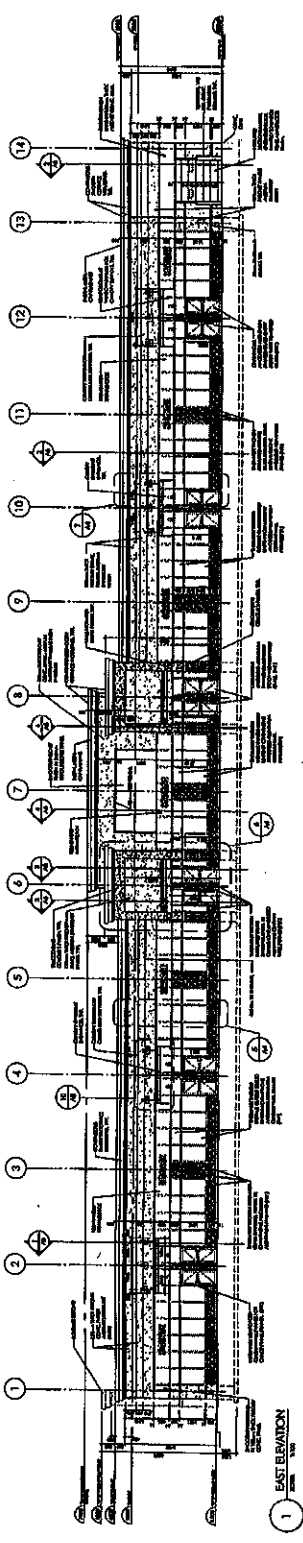


# Attachment 2

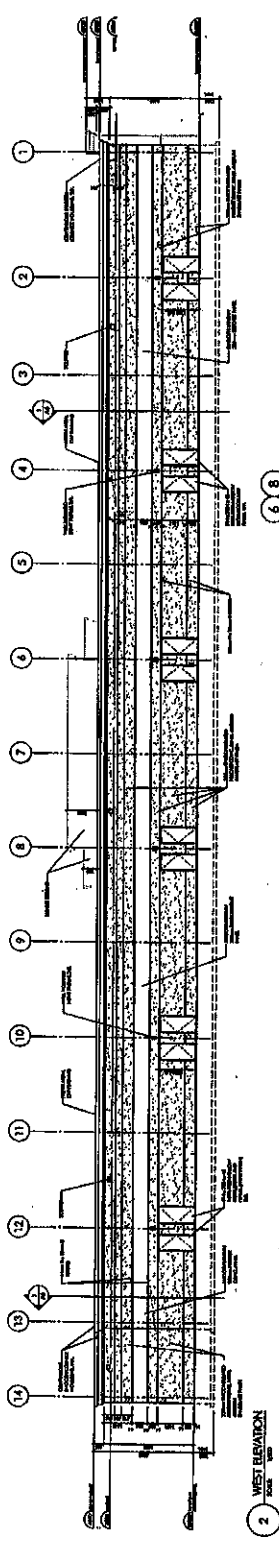
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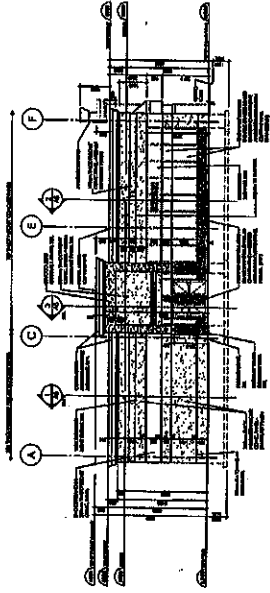
**Site Plan**  
 Part of Lot 10,  
 Concession 2  
 APPLICANT:  
 CROSSROADS PLAZA INC.  
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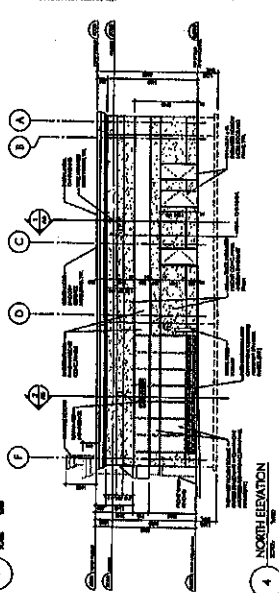
1 EAST ELEVATION



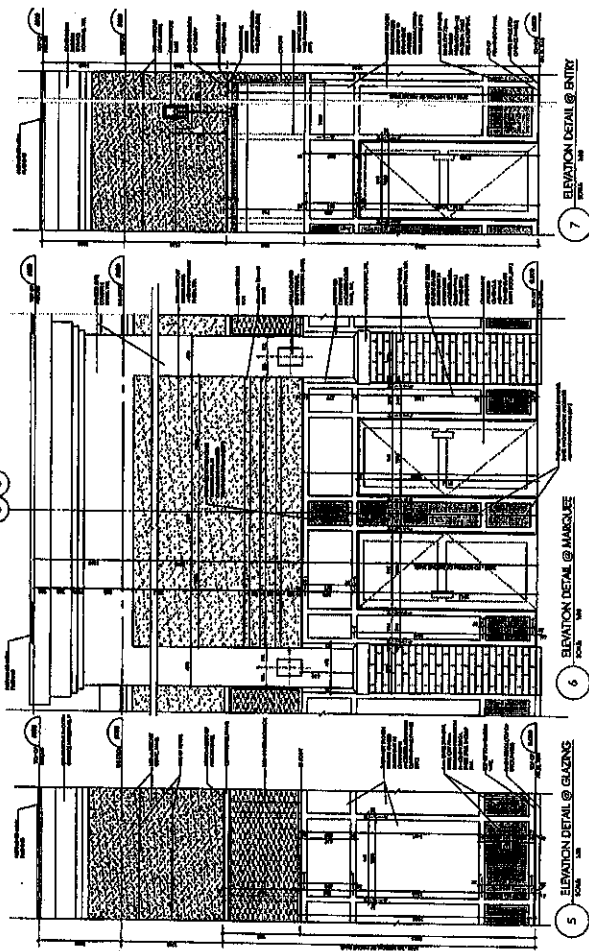
2 WEST ELEVATION



3 SOUTH ELEVATION



4 NORTH ELEVATION



5 ELEVATION DETAIL @ GLAZING

6 ELEVATION DETAIL @ MARQUEE

7 ELEVATION DETAIL @ ENTRY

# Elevations

Part of Lot 10,  
Concession 2

APPLICANT:  
CROSSROADS PLAZA INC.

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# City of Vaughan

Development Planning Department

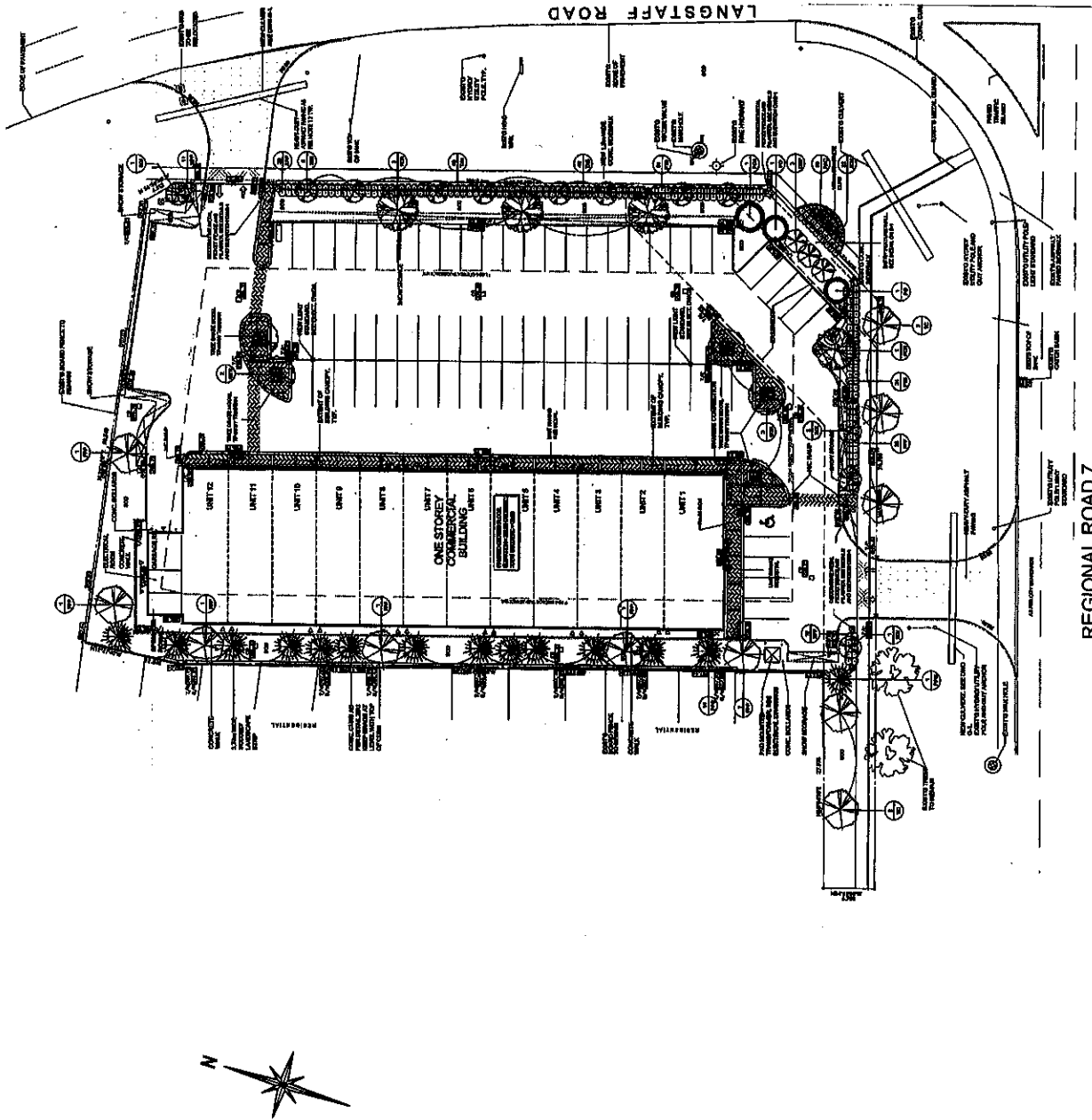
# Attachment 3

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DA.04.075

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May 13, 2005





# Landscape Plan

Part of Lot 10,  
Concession 2

APPLICANT:  
CROSSROADS PLAZA INC.

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**Attachment 4**  
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