

COMMITTEE OF THE WHOLE JUNE 20, 2005

DRAFT PLAN OF CONDOMINIUM FILE 19CDM-05V06 DUFCON DEVELOPMENTS INC.

Recommendation

The Commissioner of Planning recommends:

That Draft Plan of Condominium 19CDM-05V06 (Dufcon Developments Inc.) BE APPROVED, subject to the Conditions of Approval set out in Attachment #1.

Economic Impact

There are no requirements for new funding associated with this report. The development will add new assessment to the local tax base.

Purpose

The Owner has submitted a Draft Plan of Condominium consisting of two existing employment use buildings with a total gross floor area 7,038.55m² and a total of three units and 131 parking spaces (Attachment #3).

Background - Analysis and Options

The subject lands are located northwest of Regional Road 7 and Dufferin Street, being Lot 31 on Plan 65M-1801(335 and 345 Connie Crescent), in Part of Lot 10, Concession 3, City of Vaughan. The surrounding uses are as follows:

- North - employment (EM1 Prestige Employment Area Zone)
- East - Dufferin Street and Regional Road 7
- South - Regional Road 7
- West - employment (EM1 Prestige Employment Area Zone)

Official Plan/Zoning

The subject lands are designated "Prestige Area" by OPA #450 (Employment Area Plan), which provides opportunities for industrial, business and civic uses. The draft plan of condominium conforms to the Official Plan.

The subject lands are zoned EM1 Prestige Employment Area Zone by By-law 1-88, which permits employment uses. The draft plan of condominium complies with the provisions of By-law 1-88.

Site Development

The 1.44ha irregularly-shaped site has 56.2m frontage on Connie Crescent and a depth of 121m. The site has two accesses on Connie Crescent at the northwesterly limits of the property. The two irregular shaped buildings are located on the northeast and southeast corners of the lot. A total 131 parking spaces are provided, including 2 spaces for disabled persons. Two of five loading doors are located on the southeast elevation of Unit #3, and the remaining three are located on the west elevation of Unit # 2. The loading areas for both buildings are screened from Regional Road 7 by a 4.2m high white precast screen wall.

The draft plan of condominium is in accordance with the approved Site Plan File DA.03.054.

Relationship to Vaughan Vision 2007

This report is consistent with Vaughan Vision 2007, particularly priority "A-5", "Plan and Manage Growth".

Conclusion

The draft plan of condominium is consistent with the approved site plan. Staff has no objections to the approval of the draft plan of condominium, subject to the conditions set out in Attachment #1.

Attachments

1. Conditions of Approval
2. Location Map
3. Draft Plan of Standard Condominium 19CDM-05V06

Report prepared by:

Christina Napoli, Planner I, ext. 8483
Arto Tikiryan, Senior Planner, ext. 8212
Grant Uyeyama, Manager of Development Planning, ext. 8635

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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ATTACHMENT NO. 1

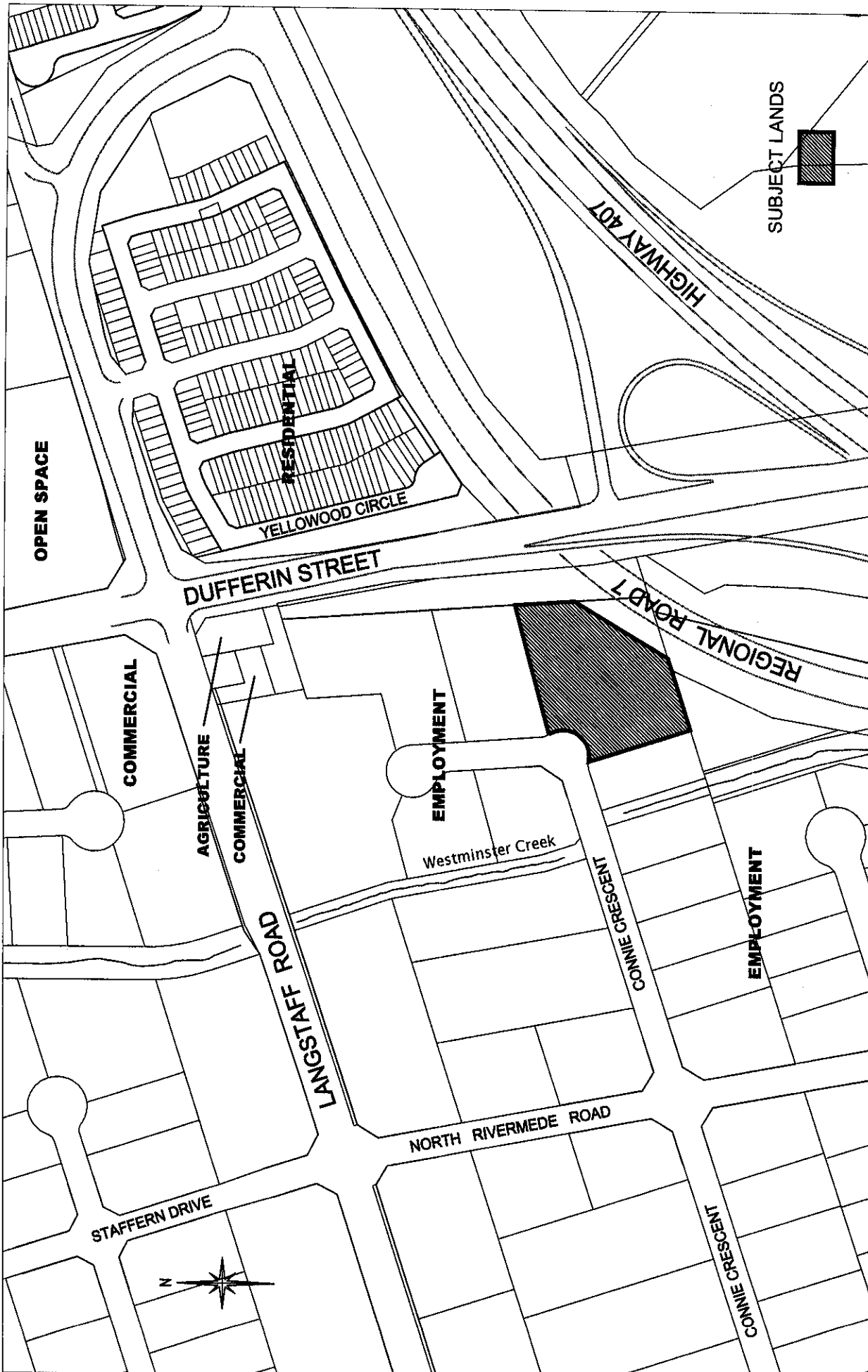
CONDITIONS OF APPROVAL

**DRAFT PLAN OF CONDOMINIUM 19CDM-05V06
DUFCON DEVELOPMENTS INC.
LOT 10, CONCESSION 3, CITY OF VAUGHAN**

THE CONDITIONS OF THE COUNCIL OF THE CITY OF VAUGHAN THAT SHALL BE SATISFIED PRIOR TO THE RELEASE FOR REGISTRATION OF PLAN OF CONDOMINIUM 19CDM-05V06, ARE AS FOLLOWS:

City of Vaughan Conditions

1. The Plan shall relate to a draft plan of condominium, prepared by Donald E. Roberts, drawing #35982-2, dated February 5, 2005.
2. Prior to the execution of the condominium agreement, the Owner shall submit a pre-registered plan of condominium to the Development Planning Department.
3. The Owner shall enter into a condominium agreement with the City of Vaughan, and shall agree to satisfy any conditions with respect to such matters as landscaping and site development and any other matters that the City may consider necessary, which may be outstanding from the site plan process.
4. The following provision shall be included in the condominium agreement:
 - a) the Condominium Corporation shall be responsible to regularly clean and maintain all driveway catch basins.
5. The condominium agreement shall be registered on title against the lands to which it applies, at the cost of the Owner.
6. Prior to final approval, the Owner shall submit an "as built" survey to the satisfaction of the Building Standards Department.
7. Prior to final approval, the Owner shall confirm that all required easements and rights-of-way for utilities, drainage and construction purposes have been granted to the appropriate authorities.
8. Prior to final approval, the Owner shall confirm that they have paid all outstanding taxes, development charges and levies, as may be required by the Finance Department.
9. The City shall advise that Conditions 1 to 8 have been satisfied.



Location Map

Part of Lot 10,
Concession 3

APPLICANT:
DUFCON DEVELOPMENTS INC.

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City of Vaughan

Development Planning Department

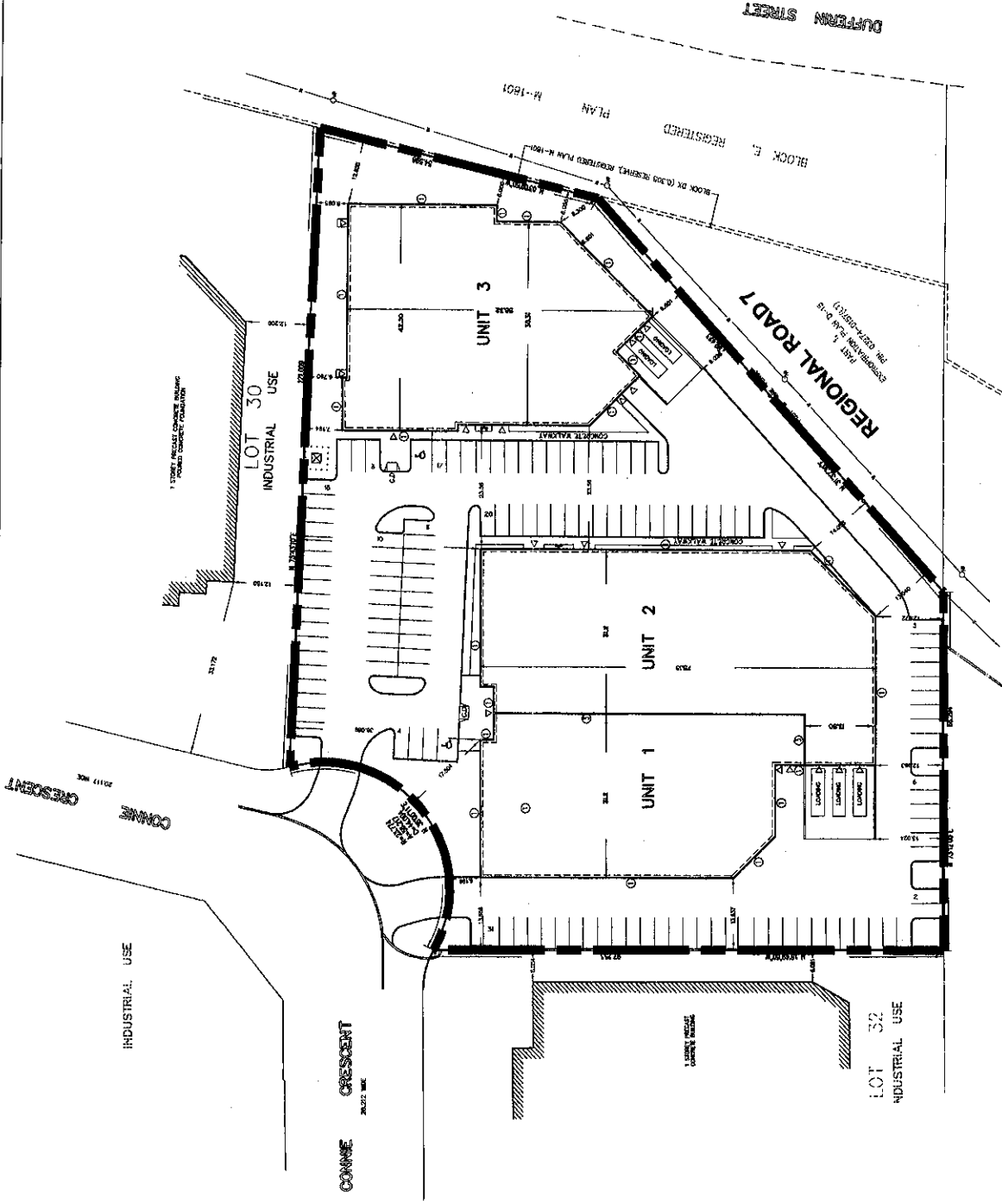
Attachment

2

FILE No.:
19CDM-05V06

Not to Scale

May 26, 2005



SUBJECT LANDS

Attachment 3

FILE No.: 19CDM-05V06

Not to Scale
May 26, 2005

City of **Vaughan**
Development Planning Department

Draft Plan of Condominium

Part of Lot 10,
Concession 3
APPLICANT:
DUFCON DEVELOPMENTS INC.

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BLOCK C, REGISTERED PLAN M-1832

INDUSTRIAL USE