

COMMITTEE OF THE WHOLE JUNE 20, 2005

SITE DEVELOPMENT FILE DA.04.074 PARENTELA HOLDINGS LTD.

Recommendation

The Commissioner of Planning recommends:

THAT the revised site layout, building elevations and landscape plan for Site Development File DA.04.074 (Parentela Holdings Ltd) as shown on Attachments #3, #4 and #5, BE APPROVED, subject to the following conditions:

1. That prior to the registration of the site plan agreement:
 - i) the final site plan, building elevations, landscaping and signage plans shall be approved by the Development Planning Department;
 - ii) the final site grading and servicing plans, stormwater management report, access, parking and on-site vehicular circulation, shall be approved by the Engineering Department;
 - iii) all requirements of the Region of York Transportation and Works Department shall be satisfied;
 - iv) all hydro requirements of Power Stream Inc. shall be satisfied; and
 - v) the required variances to implement the final site plan shall be approved by the Committee of Adjustment, and shall be final and binding.

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted an amendment to an approved Site Development File DA.98.085 (Parentela Holdings Ltd) to facilitate the following revisions to an existing banquet hall facility (Le Jardin):

- two, two-storey additions on either side of the front portion of the existing building, resulting in a 2,247.5m² increase in GFA, from 4,662m² to 6,909.5m²;
- a new patio facing Regional Road 27,
- an additional entry on the north elevation flanked by two balconies;
- an additional loading space, from one to two; and
- an additional 176 parking spaces, from 421 to 597 spaces.

The approved and amended site plans are shown on Attachments #2 and #3, respectively.

Background - Analysis and Options

The 4.06ha site as shown on Attachment #1 is located on the west side of Regional Road 27, south of Langstaff Road (8440 Regional Road 27), in Part of Lot 10, Concession 9, City of Vaughan.

The lands are designated "Prestige Area" and "Employment Area General" by OPA #450 (Employment Area Plan), and zoned C6 Highway Commercial Zone by By-law 1-88, subject to Exception 9(409). The surrounding land uses are as follows;

North - agricultural, proposed Petro Canada - File # DA.04.059 (A Agricultural Zone)
East - Regional Road 27; residential (R4 Residential Zone)
South - agricultural (A Agricultural Zone)
West - agricultural, hydro corridor (A Agricultural Zone)

On January 1999, Council approved an amendment to the original site plan (Attachment #2, File DA.98.085) to permit a 3156.4m² expansion to the existing banquet hall from 1672m² to 4837.2m². The building was constructed to a total gross floor area of 4662m².

On September 9, 2004, the Committee of Adjustment approved Minor Variance application A267/04 to permit a minimum front yard of 8m, a southerly interior yard of 2m and a maximum gross floor area of 7,632m². A condition of the variance approval required the applicant to receive Site Plan approval and enter into a Site Plan Agreement to the satisfaction of the Development Planning Department. The applicant submitted the required site plan application on November 23, 2004.

The applicant commenced construction of the proposed addition to the existing banquet facility prior to site plan approval and without the issuance of a building permit. The applicant was served a stop work order on May 5, 2005 by the Building Standards Department.

Official Plan

The subject lands are designated "Prestige Area" (one lot depth or approximately 100m westwards from Regional Road 27) and "Employment Area General" (remainder of property) by OPA #450 (Employment Area Plan). The banquet hall use conforms to the Official Plan.

Zoning

The subject lands are zoned C6 Highway Commercial Zone by By-law 1-88, subject to Exception 9(409), which permits a banquet hall use.

However, the following variances have been identified to implement the proposed revisions to the site plan:

- A maximum building height of 11m is permitted, whereas 14.18m is proposed; and,
- An outdoor patio is not permitted in any yard located between the building containing the main eating establishment and any Residential Zone, whereas a patio is proposed between the building and the existing residential on the east side of Regional Road 27.

These exceptions are considered appropriate to achieve the recommended site plan. Although the maximum building height in the C6 Highway Commercial Zone is 11m, the subject lands are located within a future employment/business park, which will include lands to be zoned EM1 Prestige Employment Zone and EM2 General Employment Area Zone that will permit maximum building heights of 15m. The proposed 14.18m building height would be consistent with the maximum height permitted for industrial buildings, and can be supported. Also, the physical distance between the front patio, which will be screened by a 2.1m (7 foot) high black wrought-iron fence, and the residential dwellings on the east side of Regional Road 27 is approximately 56m, and should not impact the residents, and therefore, the location of the patio can be supported.

The Owner shall obtain approval from the Committee of Adjustment for the above-noted minor variances. The decision of the Committee of Adjustment shall be final and binding, prior to the execution of the amending site plan agreement.

Site Design

The approved site plan (Attachment #2) consists of a 4662m² banquet hall facility with accessory offices, internal storage rooms, and two of three outdoor patios at rear of the building (west elevation) and the remaining patio facing Regional Road 27. The site was approved with one full movement access on Regional Road 27, servicing 421 parking spaces and two drop-off/pick-up loops (one serving the rear entrance (west) and the other the north). The applicant proposes (Attachment #3) two, two-storey additions on the north and south sides of the front portion of the existing building, which represents a 2,247.5m² increase in GFA, from 4,662m² to 6,909.5m². The proposal includes a new patio facing Regional Road 27, an additional entry on the north elevation flanked by two balconies, and one additional loading space, and 176 additional parking spaces. The final site plan shall be approved to the satisfaction of the Development Planning Department.

Building Design

The building elevations are shown on Attachment #4. The two, two-storey additions to the front portion of the existing building will be constructed to a height of 8.75m. The three tower forms will increase the height to 14.18m. The building materials consist of olive/sage stone, and copper and white columns and trim. The primary façade is located on the north elevation. It is designed with first and second storey windows, a double door entry, flanked by two balconies and four columns supporting a copper mansard-style roof above. The secondary façade is located on the east elevation, facing Regional Road 27. It is designed with a series of windows trimmed in white cornice, four columns, with a copper mansard roof above, and flanked by two tower-forms. The final building elevations shall be to the satisfaction of the Development Planning Department.

Landscaping

The landscape plan is provided on Attachment #5. The periphery of the site is landscaped with a variety of coniferous and deciduous trees and shrubs, along with the access median and rear parking islands. A walkway surrounds the building providing pedestrian access to all entry points and to the outdoor patio on the east elevation. Additional planting is proposed within the landscape strip abutting Regional Road 27 and adjacent to the patio on the east side of the building. Two balconies will flank the proposed entry on the north side of the building, with an impressed concrete walkway that will connect to the sidewalk on the northside and proposed patio on the east side. The final landscape plan shall be approved to the satisfaction of the Development Planning Department.

Services/Utilities

The subject lands have access to municipal services, including storm and sanitary sewers and water. The final site servicing and grading plan and storm water management report shall be approved to the satisfaction of the Engineering Department.

The Owner shall satisfy all hydro requirements to the satisfaction of Power Stream Inc.

Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly priority "A-5", "Plan and Manage Growth".

Conclusion

Staff has reviewed the amendments to the approved site plan to facilitate a westerly building addition to the Le Jardin banquet hall, in accordance with the policies of OPA #450 and the requirements of By-law 1-88, and the area context. Staff is satisfied that the proposed amendments to the approved site plan are appropriate and compatible with the surrounding development. Accordingly, Staff can support the proposed amendments to the existing site development agreement, subject to the conditions contained in this report.

Attachments

1. Location Map
2. Approved Site Plan (January 11, 1999)
3. Proposed Revisions to Site Plan
4. Revised Elevation Plan
5. Revised Landscape Plan

Report prepared by:

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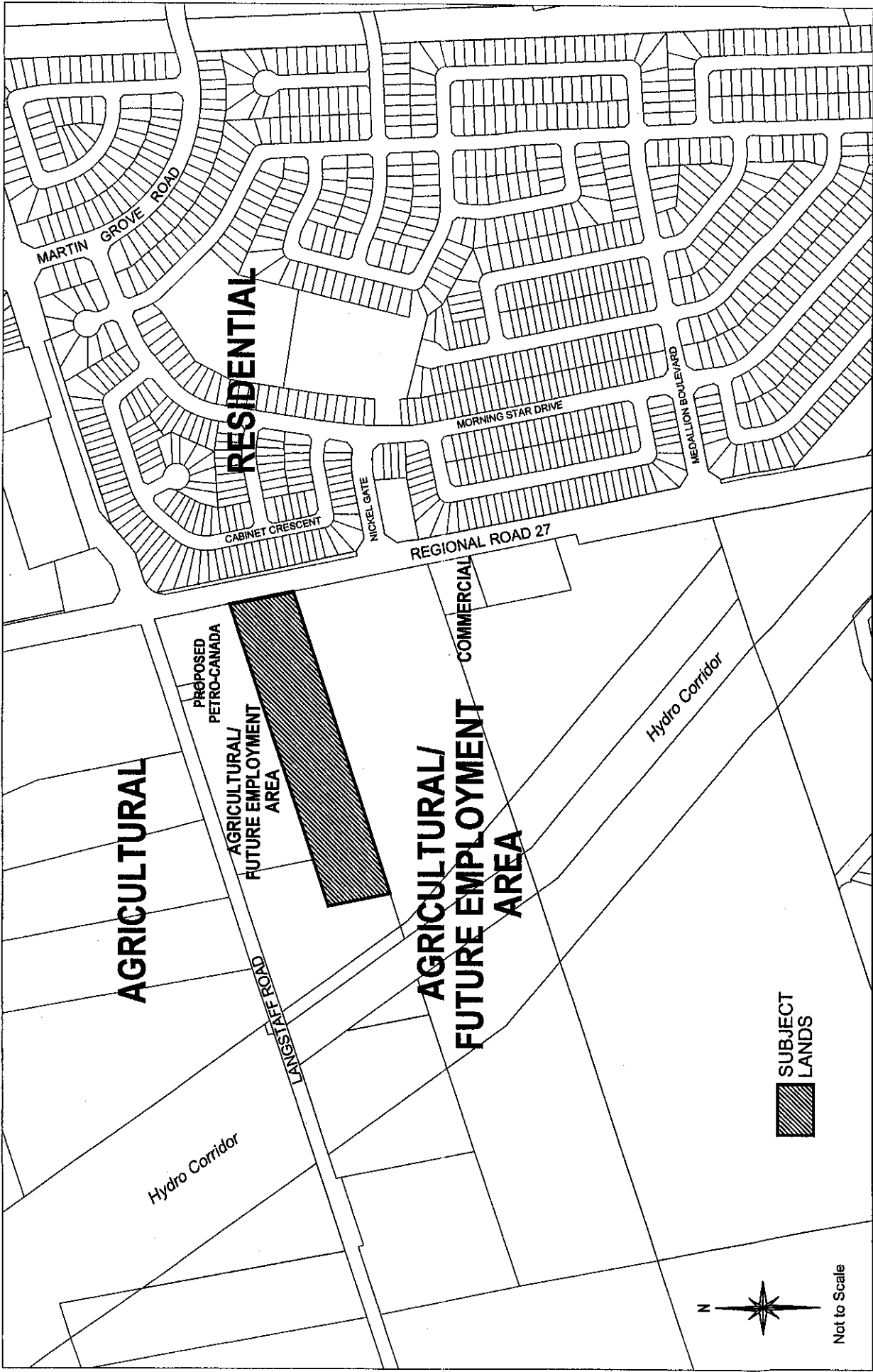
Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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Attachment 1

FILE No.: DA.04.074
 RELATED FILE: DA.98.085
 May 11, 2005

City of
Vaughan

Development Planning Department

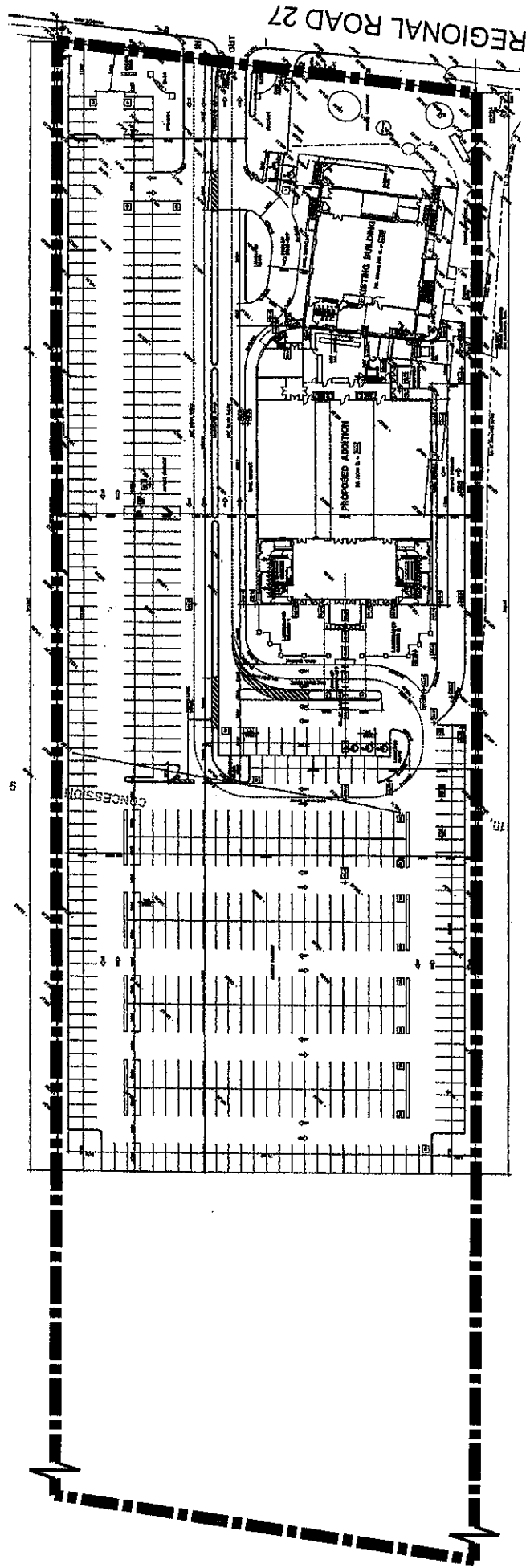
Location Map

Part of Lot 10,
 Concession 9
 APPLICANT:
 PARENTELA HOLDINGS LTD.
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SUBJECT LANDS



Not to Scale



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SUBJECT
LANDS

Not to Scale

Approved Site Plan

Part of Lot 10,
Concession 9

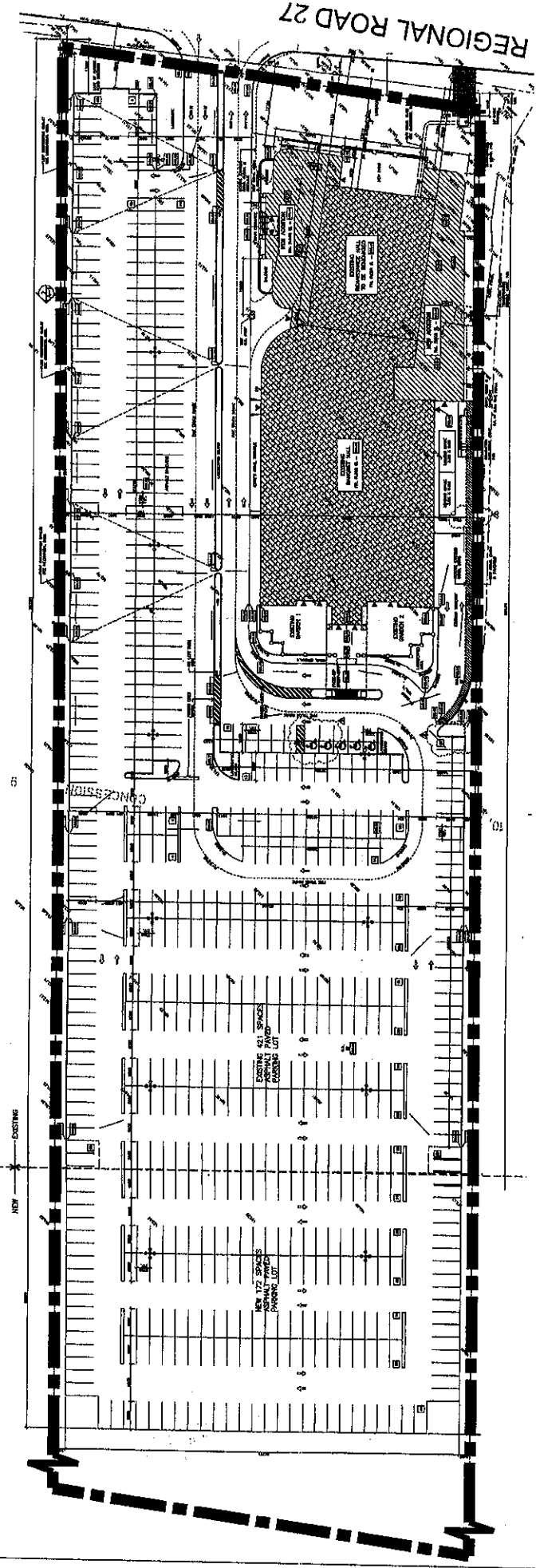
APPLICANT:
PARENTELA HOLDINGS LTD.

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City of
Vaughan

Development Planning Department

Attachment 2
FILE NO.:
DA.04.074
RELATED FILE:
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May 11, 2005



- SUBJECT LANDS
- ▨ EXISTING BUILDING
- ▧ PROPOSED ADDITION



Not to Scale

Proposed Revisions to Site Plan

APPLICANT:
 PARENTELA HOLDINGS LTD.
 Part of Lot 10,
 Concession 9

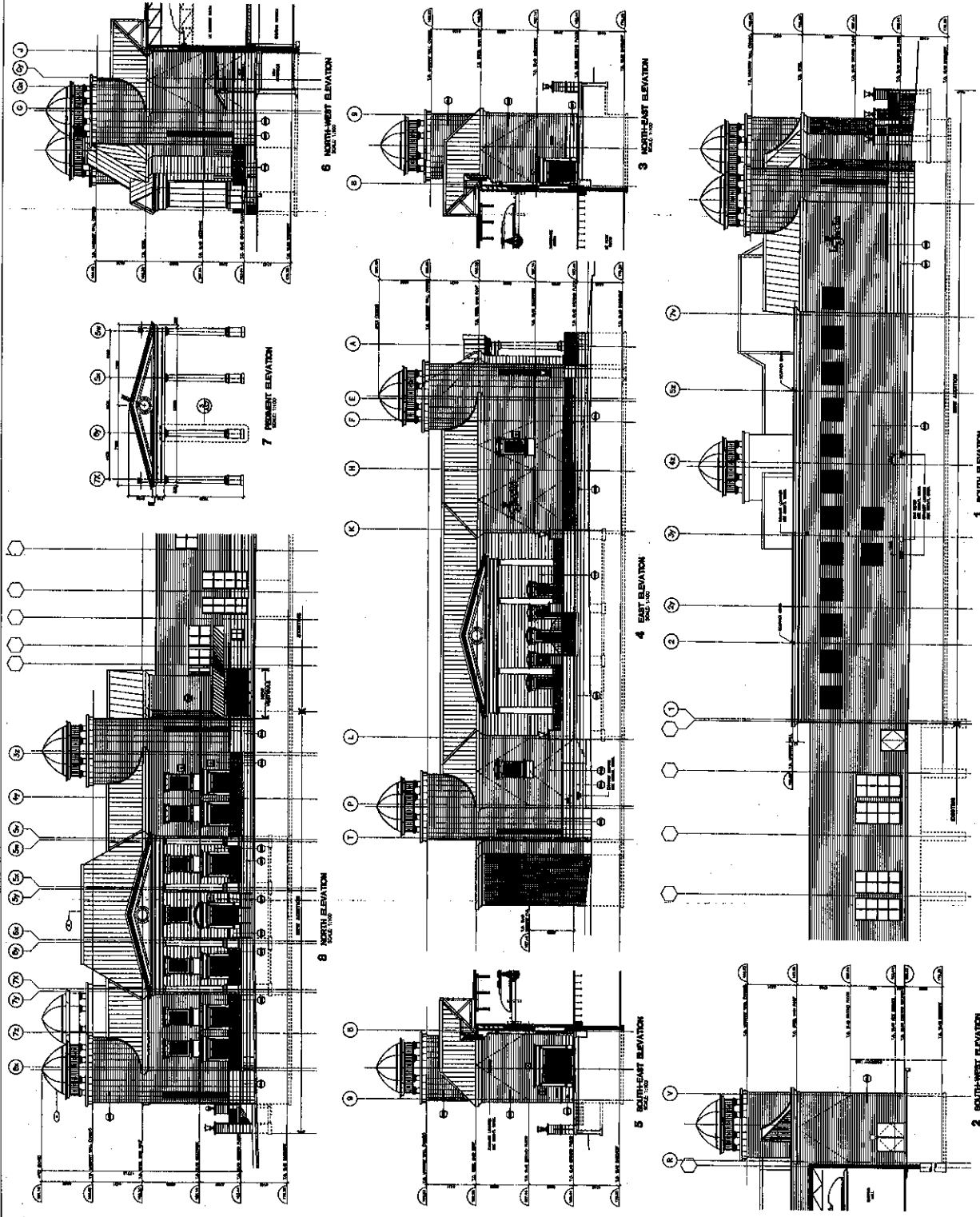
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City of Vaughan

Development Planning Department

Attachment 3

FILE No.: DA.04.074
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 May 11, 2005



Not to Scale

Revised Elevation Plan

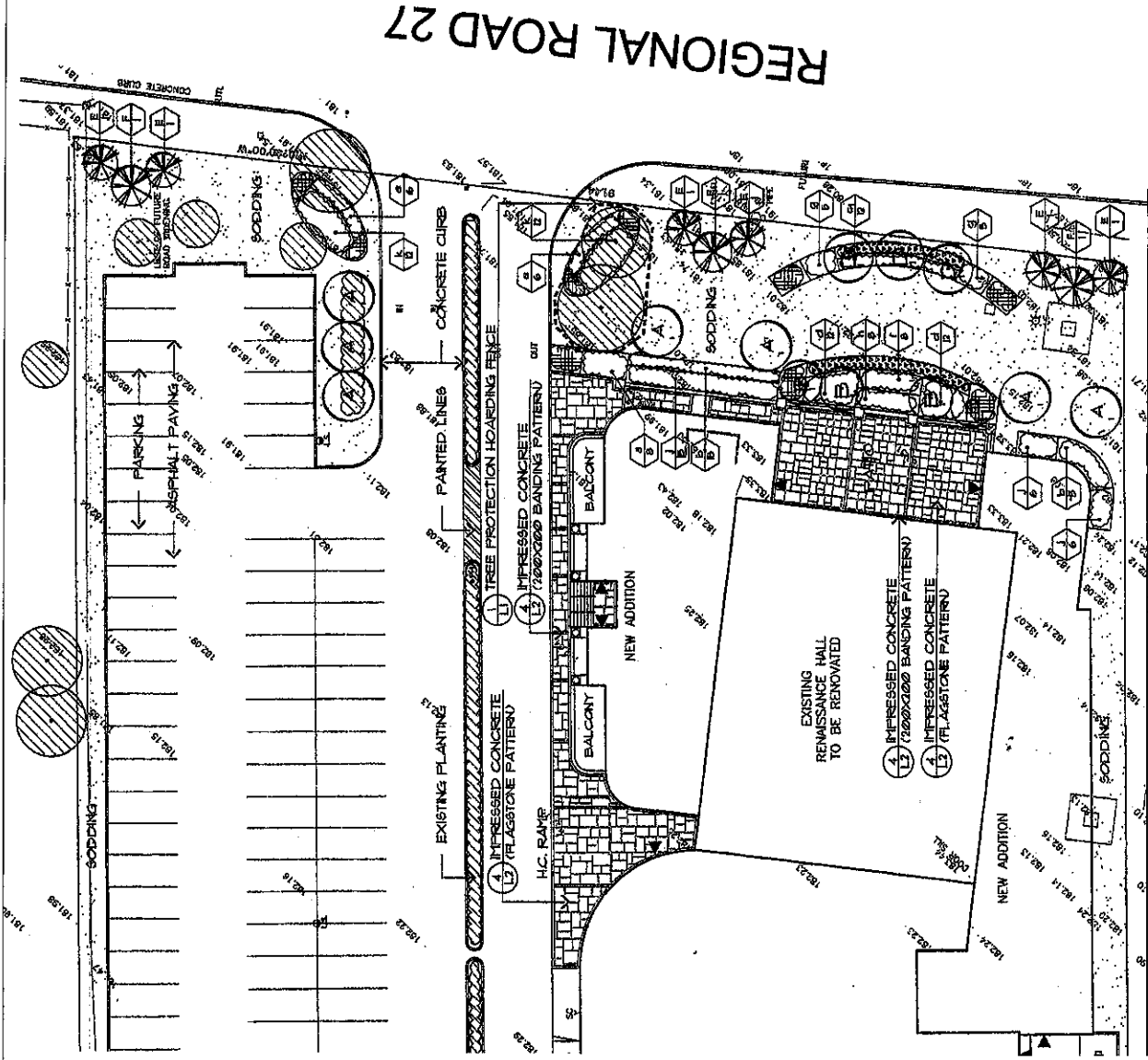
APPLICANT: PARENTELA HOLDINGS LTD.
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Development Planning Department

Attachment 4

FILE No.: DA.04.074
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 May 11, 2005



REGIONAL ROAD 27

Attachment 5
 FILE No.: DA 04.074
 RELATED FILE: DA 98.085
 May 11, 2005

City of **Vaughan**

Development Planning Department

Revised Landscape Plan

Part of Lot 10,
 Concession 9

APPLICANT: PARENTELA HOLDINGS LTD.
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