

COMMITTEE OF THE WHOLE JUNE 20, 2005

SITE DEVELOPMENT FILE DA.05.003
GANZ REALTY LIMITED

Recommendation

The Commissioner of Planning recommends:

THAT the building elevations for Site Development File DA.05.003 (Ganz Realty Limited) BE APPROVED.

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted a Site Development Application to permit 5 employment use buildings on an 8.76ha site, as shown on Attachment #2, with the following floor areas:

Building "A" (industrial building):	2,626.40m ²
Building "B" (17-unit industrial building):	8,467.35m ²
Building "C" (14-unit industrial building):	5,833.80m ²
Building "D" (industrial building):	10,084.50m ²
Building "E" (multi-unit industrial building):	<u>7,576.15m²</u>
Total Floor Area:	34,588.20m ²

This report addresses the building elevations for the 5 buildings, as shown on Attachments #3 and #4.

Background - Analysis and Options

The subject lands shown on Attachment #1 are located on the south side of Regional Road 7, between Highway 427 and Roybridge Gate, in Lot 5, Concession 9, City of Vaughan.

The subject lands are designated "Prestige Area" and "Centre" by OPA #450 (Employment Area Plan), and zoned EM1 Prestige Employment Area Zone by By-law 1-88. The subject lands are located within the Vaughan West Corporate Business Park Block Plan. The proposed site development conforms and complies with the Official Plan and Zoning By-law, respectively.

Building "A" (Attachment #3)

The rectangular-shaped building is to be constructed to a height of 8.8m and has frontage on both Highway 427 and Regional Road 7. The north elevation faces Regional Road 7, and utilizes building materials consisting of two types of pre-cast wall paneling being buff-coloured exposed aggregate paneling, with buff coloured light sandblasted paneling and blue vision glass and blue spandrel glass. The west elevation faces Highway 427, and has the same characteristics. The south elevation is similar to the north elevation and both elevations include a double door entry. The east elevation faces internally into the site and is comprised primarily of buff-coloured exposed aggregate pre-cast paneling and buff-coloured light sandblasted pre-cast paneling with blue spandrel glazing at the corners, and four angled loading dock doors.

Building “B” (Attachment #3)

The rectangular-shaped, multi-unit building is to be constructed to a height of 8.8m, and has frontage on Regional Road 7. The north elevation faces Regional Road 7, and utilizes building materials consisting of pre-cast buff coloured exposed aggregate panels and buff-coloured light sandblasted paneling, with blue-coloured spandrel glass and blue vision glass. This elevation includes seven double-door openings that are accentuated by using a pre-cast wall with an arch that surrounds glass paneling on all sides of the doors. The east and west elevations both face internally to the site. The east elevation has two double-door openings that are accentuated similar to the north elevation. The west elevation is comprised primarily of buff-coloured light sandblasted pre-cast panels with a row of blue spandrel glazing at the northwest corner, and also includes a drive-in door. The south elevation faces Building “D”, and comprises a mix of both pre-cast wall paneling types, without any glass, and includes ten angled loading dock doors and one drive-in door.

Building “C” (Attachment #3)

The rectangular-shaped, multi-unit building is to be constructed to a height of 8.8m, and has frontage on Regional Road 7. The north elevation faces Regional Road 7, and utilizes building materials consisting of pre-cast buff-coloured exposed aggregate panels and buff-coloured light sandblasted paneling, with blue-coloured spandrel glass and blue vision glass. This elevation includes four double-door openings that have been accentuated by using a pre-cast wall with an arch that surrounds glass paneling on all sides of the doors. The east elevation faces lands that will comprise phase 2 of this development (future service commercial), and includes 2 double-door openings that are accentuated by using an arching pre-cast wall around glass paneling. The west elevation is comprised primarily of the buff-coloured light sandblasted pre-cast panels with a row of blue spandrel glazing at the northwest corner, and includes a drive-in door. The south elevation faces Building “E” and comprises a mix of both pre-cast wall paneling, without any glass, and includes seven angled loading dock doors and one drive-in door.

Building “D” (Attachment #4)

The rectangular-shaped building is to be constructed to a height of 9.8m and has frontage on Royal Group Court (a private road). The south elevation faces Royal Group Court and utilizes building materials consisting of pre-cast buff-coloured exposed aggregate panels and buff-coloured light sandblasted paneling, with blue-coloured spandrel glass and blue vision glass, and includes three double-door openings. The east and west elevations both face internally to the site and are comprised of the two types of pre-cast wall paneling with spandrel glass at the corners with exception of the northeast corner, which has a sandblast finish. The north elevation faces Building “B”, and comprises a mix of both pre-cast wall paneling, with a single column of glass at the northwest corner. This elevation includes thirteen angled loading dock doors.

Building “E” (Attachment #4)

The rectangular-shaped, multi-unit building is to be constructed to a height of 9.8m and has frontage on Royal Group Court. The south elevation faces Royal Group Court and utilizes building materials consisting of pre-cast buff-coloured exposed aggregate panels and buff-coloured light sandblasted paneling, with blue-coloured spandrel glass and blue vision glass, and includes two double-door openings. The west elevation faces internally to the site and is predominantly comprised of the two types of pre-cast wall paneling with a column of blue spandrel glass at the southwest corner. The east elevation faces lands that will comprise phase 2 of this development (future service commercial), and is comprised of the two predominant types of pre-cast wall paneling with a column of blue spandrel glass at each corner. The north elevation faces Building “C”, and comprises a mix of both pre-cast wall paneling, with a single column of spandrel glass at the northeast corner. This elevation includes eight angled loading dock doors.

The elevations proposed for each of the five buildings indicate the use of a 1.0m high parapet wall around the perimeter of the buildings in order to screen the roof-top mechanical units. Planning Staff will work with the applicant to confirm that all roof-top mechanical units are appropriately screened. The elevations provided do not include wall signage and, must comply with the Sign By-law upon application of a Building Permit at a later date.

Relationship to Vaughan Vision 2007

This report is consistent with Vaughan Vision 2007, particularly priority "A-5," "Plan and Manage Growth."

Conclusion

Staff are satisfied with the proposed elevations for the five industrial buildings.

Attachments

1. Location Map
2. Site Plan
3. Elevation Plan (Buildings "A", "B" & "C")
4. Elevation Plan (Buildings "D" & "E")

Report prepared by:

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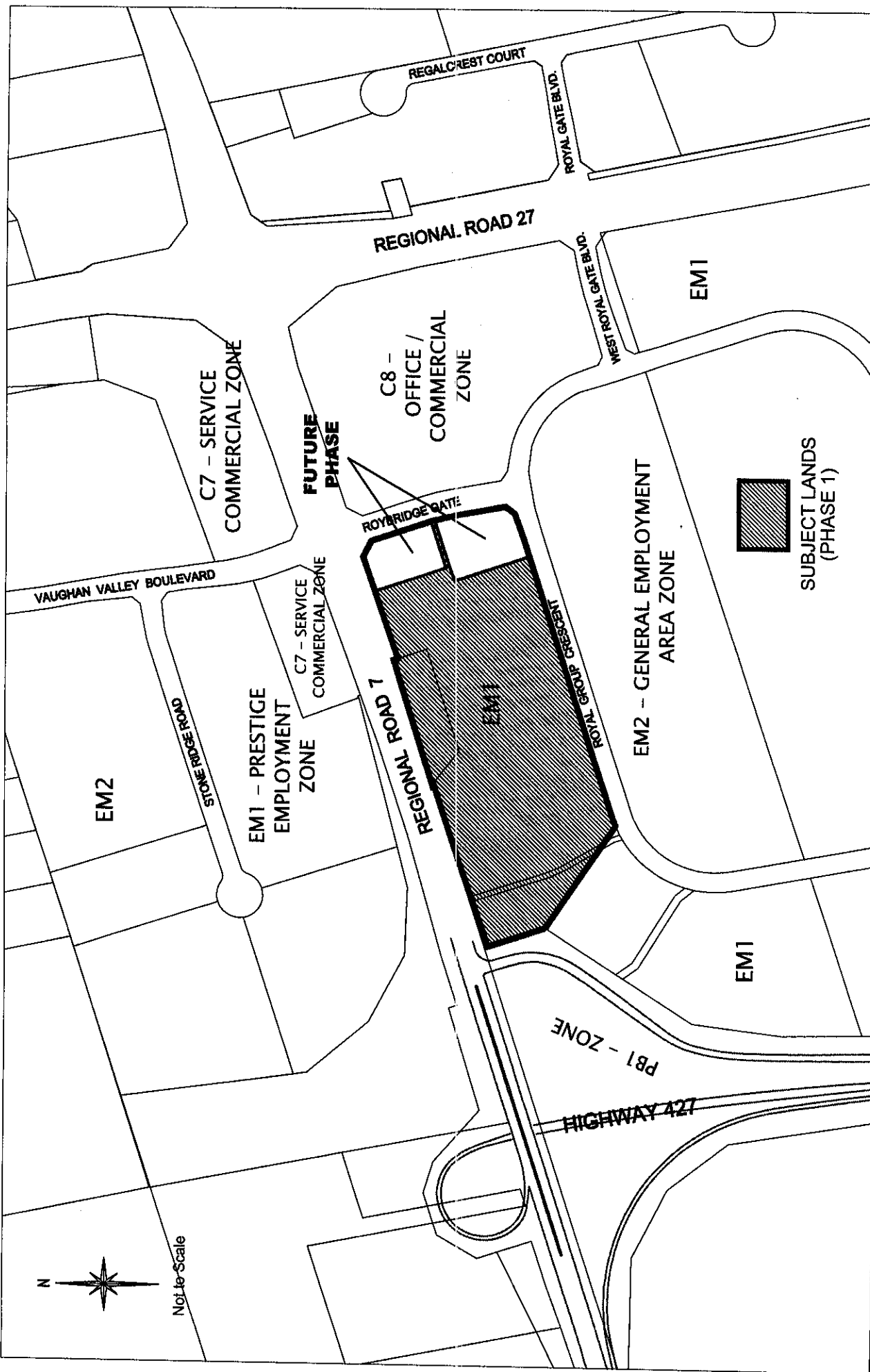
Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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Location Map

Lot 5,
Concession 9
APPLICANT:
GANZ REALTY LTD.
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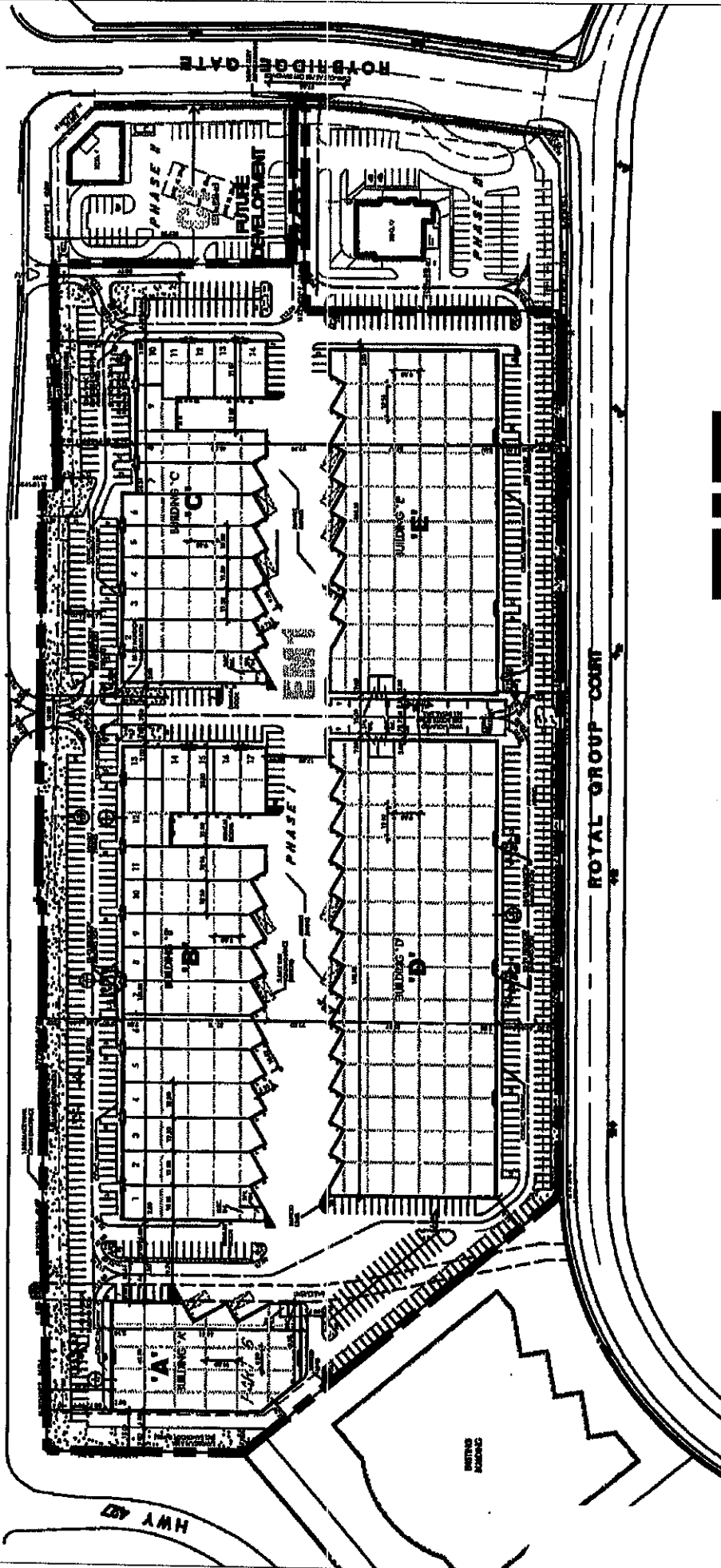
Development Planning Department

Attachment 1

FILE No.:
DA.05.003
RELATED FILE:
Z.04.065
June 10, 2005



REGIONAL ROAD 7




SUBJECT LANDS
 (Phase 1)

Not to Scale

Site Plan

Lot 5,
Concession 9

APPLICANT:
GANZ REALTY LTD.

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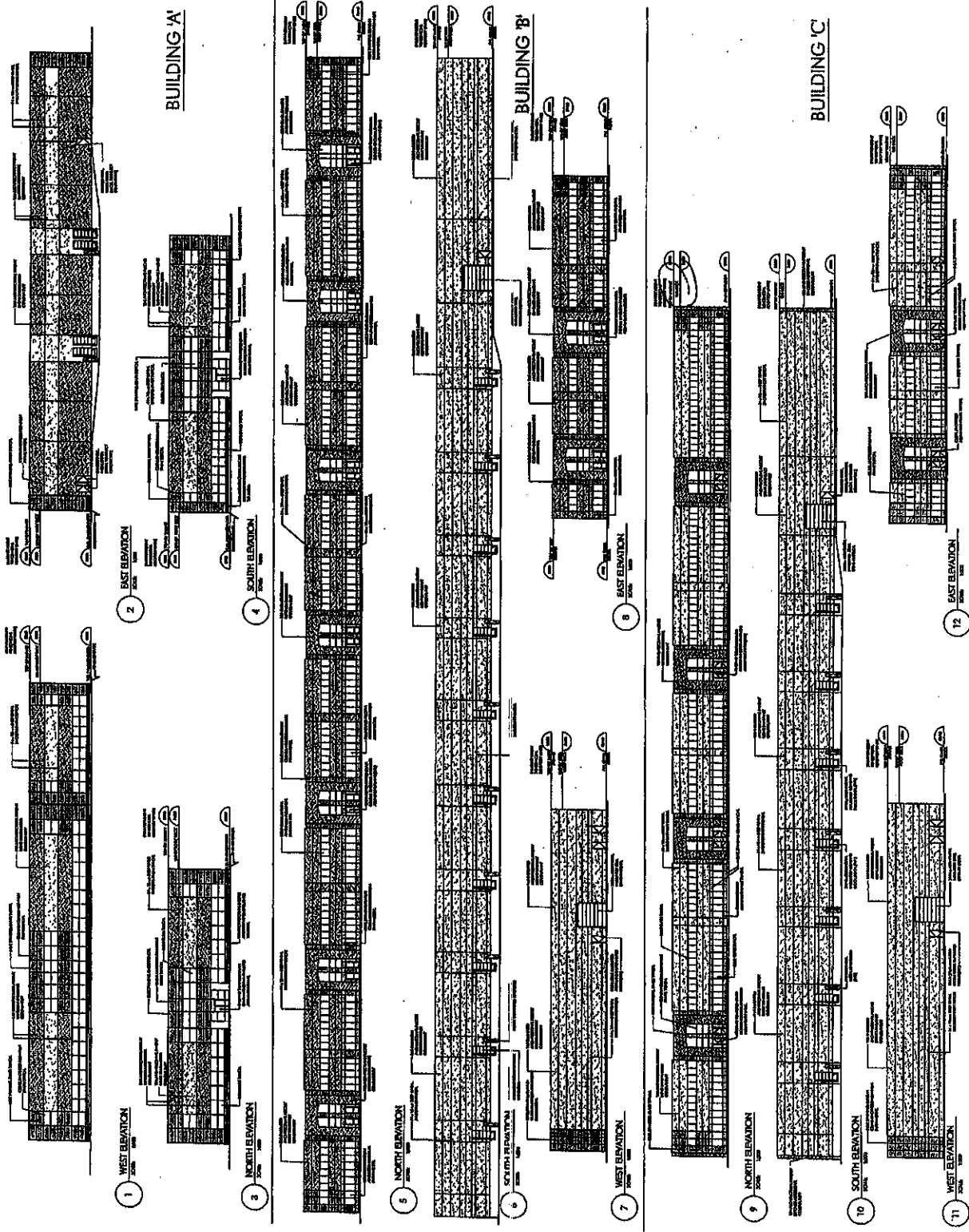
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Attachment

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FILE No.:
 DA.05.003
 RELATED FILE:
 Z.04.065
 June 13, 2005



Not to Scale

Elevations - Buildings A, B, & C

APPLICANT:
GANZ REALTY LTD.
Lot 5,
Concession 9

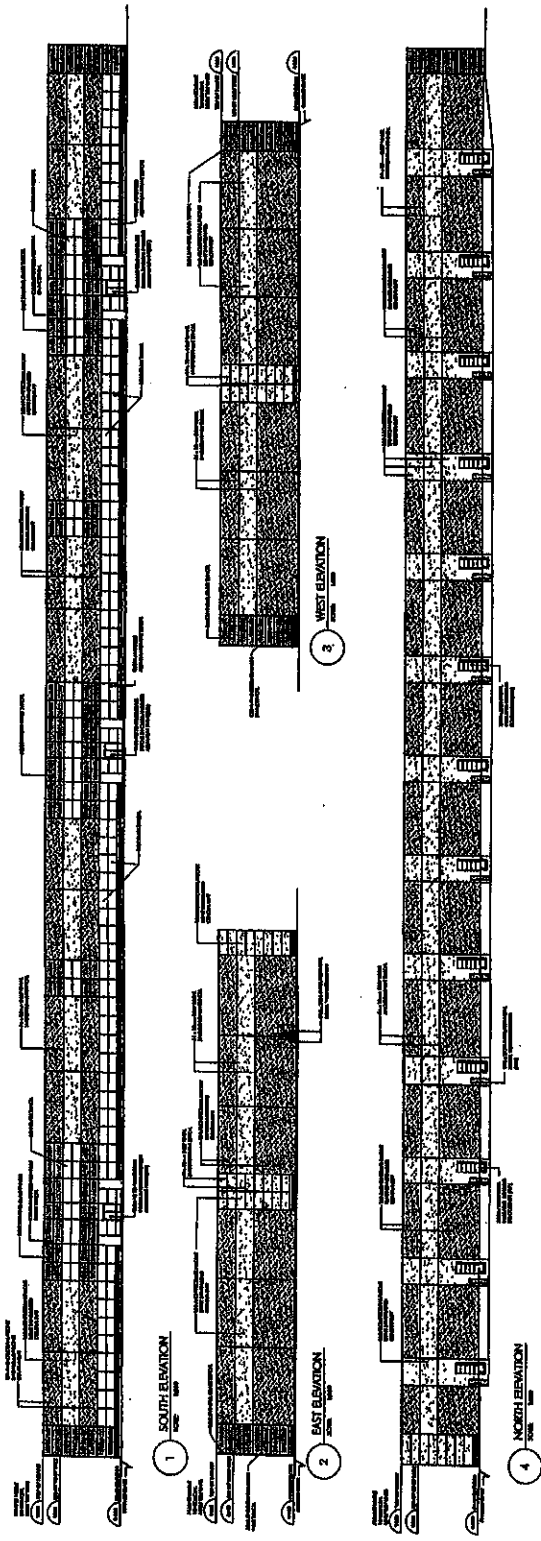
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City of Vaughan

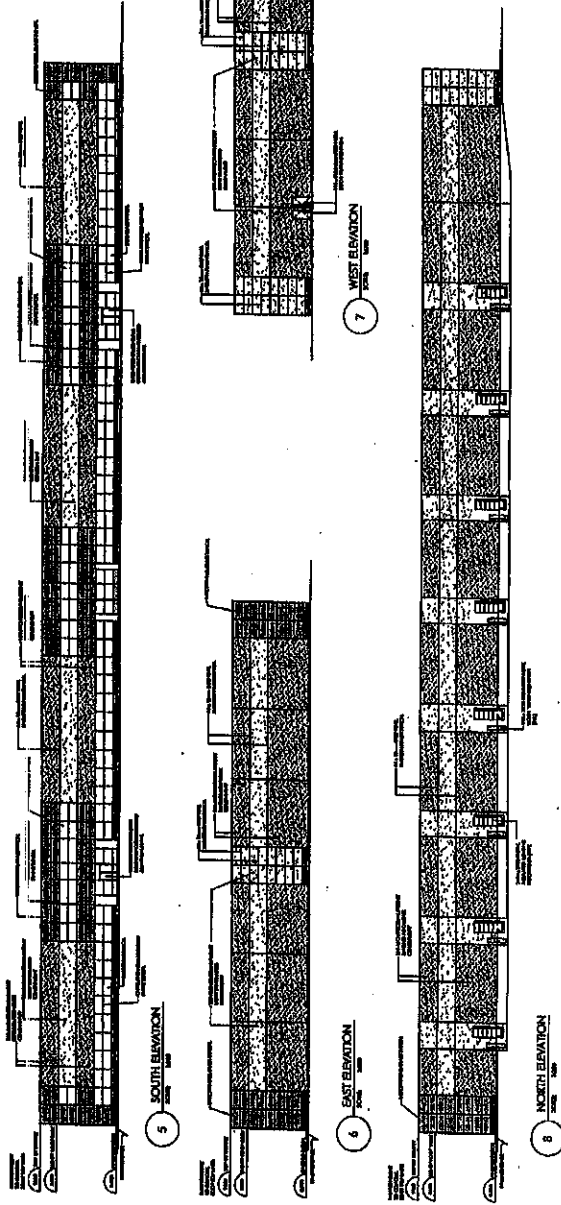
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Attachment 3

FILE No.:
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June 10, 2005



BUILDING 'D'



BUILDING 'E'

Not to Scale

Elevations - Buildings D & E

APPLICANT:
GANZ REALTY LTD.
Lot 5,
Concession 9

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CITY OF Vaughan

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Attachment 4

FILE No.:
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June 10, 2005