

COMMITTEE OF THE WHOLE DECEMBER 5, 2005

SITE DEVELOPMENT FILE DA.05.027
EMBEE PROPERTIES LIMITED

Recommendation

The Commissioner of Planning recommends:

THAT Site Development File DA.05.027 (Embee Properties Limited) BE APPROVED, for five stand-alone commercial buildings, as shown on Attachment #2, subject to the following conditions:

- a) that prior to the registration of the site plan agreement:
 - i) the final site plan, building elevations, landscaping and signage plans shall be approved by the Development Planning Department;
 - ii) the final site grading and servicing plans, stormwater management report, access, parking and on-site vehicular circulation shall be approved by the Engineering Department;
 - iii) all requirements of the Region of York Transportation and Works Department shall be satisfied;
 - iv) all requirements of Canada Post shall be satisfied;
 - v) all hydro requirements of PowerStream Inc. shall be satisfied; and
- b) that the site plan agreement contain the following provisions:
 - i) the Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a building permit, in accordance with the Planning Act. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted a Site Development Application on the subject lands shown on Attachment #1, to permit five (5) single-storey, stand-alone commercial buildings (6,265m²), in addition to the existing Royal Bank building (512m²), for a total gross floor area of 6,777m², on a 3.19 ha site, as shown on Attachment #2.

Background - Analysis and Options

The 3.19ha site is located on the northeast corner of Jane Street and Avro Road, in Part of Lots 19 and 20, Concession 4, City of Vaughan (Attachment #1). The site is developed with an existing Royal Bank building. The surrounding land uses are:

- North - existing commercial use (C2 General Commercial Zone)
- South - Avro Road; existing commercial/residential uses (C2 General Commercial Zone and RVM1(B) Residential Zone)
- East - Kale Crescent; existing residential use (RVM1(A) Residential Zone)
- West - Jane Street; Paramount Canada's Wonderland (Theme Park Commercial Zone)

Official Plan

The subject lands are designated "General Commercial Area" by OPA #350 (Maple Community Plan), as amended by OPA #513, which permits retail stores for the buying, leasing and exchanging of goods and services, restaurants, banks, and business and professional offices. The proposed development conforms to the Official Plan.

Zoning

The subject lands are zoned C2 General Commercial Zone by By-law 1-88, subject to Exception 9(1106). The proposed development complies with the requirements of By-law 1-88.

Site Design

The proposed site plan shown on Attachment #2 includes five (5) single-storey, stand-alone commercial buildings and an existing Royal Bank building all located around the periphery of the site with a common central parking area. The proposed setback from Jane Street for "The Beer Store" and Retail Building 'A' is 6m, consistent with the setback of the existing Royal Bank building and the adjacent commercial developments to the north and south.

The access to the site will be from an existing shared driveway with the commercial development to the north and from Avro Road to the south. In addition to the Beer Store loading space facing the interior of the lot, Retail Buildings 'B', 'C', and 'D' along Kale Crescent will have a total of six (6) loading spaces that will be screened from the residences to the east by way of a 2m high brick wall flanked by masonry piers with a transition to 1.2m high black metal fencing. Additional screening will include a double row of a mix of deciduous and coniferous trees along Kale Crescent. Pedestrian connections are proposed throughout the site linking each of the buildings. The proposed driveway aisles within the parking area have been designed to be slightly wider to facilitate the movement of trucks to the loading areas (Attachment #8). The Development Planning Department has worked with the Owner to incorporate a substantial number of trees within the parking lot in order to maintain a parking area that is functional for truck loading movements, and balanced with a pedestrian-friendly environment.

Parking

The required parking for the site for the five new buildings and the existing Royal Bank building (total combined GFA of 6,777m²) is based on 5 parking spaces/100m² gross floor area, in accordance with Exception 9(1106), as follows:

Required Parking:	339 parking spaces
Provided Parking:	370 parking spaces

The total parking spaces provided includes nine (9) spaces for the physically challenged. The proposed development meets the minimum parking requirement of By-law 1-88, with a surplus of 31 parking spaces. As a condition of site plan approval, parking, access and on-site vehicular circulation will be approved to the satisfaction of the Engineering Department.

Services and Utilities

The proposed development is to be fully serviced on the municipal system, including hydro, water, and sanitary and storm sewers. The Owner has submitted site-servicing, grading and stormwater management plans, of which the final plans must be approved to the satisfaction of the Engineering Department.

All hydro requirements must be addressed to the satisfaction of PowerStream Inc.

Landscaping

The proposed landscape plan (Attachment #3) shows a mix of coniferous and deciduous trees and shrubs within the 6m wide landscape buffer strips along the street lines that surround the subject property. The buffer along Kale Crescent will consist of a mix of deciduous and coniferous trees that will assist to screen the loading spaces for Retail Buildings 'B', 'C', and 'D', together with a 2m high brick wall flanked by masonry piers with a transition to 1.2m high black metal fencing to soften the impact of the development on the residences to the east. A mixture of lockstone pavers and deciduous trees are proposed within the interior of the parking area. One of the main pedestrian connection features is the mid-lot pedestrian walkway connecting Building 'A' with Kale Crescent. This pedestrian spine will be lined with landscaping through the parking area.

The Owner has agreed to enhance the three (3) pedestrian entrances along the edge of Jane Street by placing pillars on either side of the entrances, together with decorative lighting in accordance with the Maple Streetscape Design Guidelines. In keeping with the consistency of the landscape treatment with the property to the south, 1.2m high black ornamental fencing will be provided along the parking area between Retail Building 'A' and the proposed "The Beer Store" in order to provide a transition between the south and north properties.

The final landscape plan, including detailed drawings and a landscape cost estimate, must be approved to the satisfaction of the Development Planning Department.

Building Elevations

The proposed building elevations are shown on Attachments #4, #5, #6, and #7. The proposed buildings are one-storey high with the main entrances to the respective units facing the interior parking areas. The elevations for Retail Building 'A' (Attachment #4) are comprised of a mixture of brick and stucco, finished in a Brookline beige and coral colour. There is sufficient amount of glazing on all four elevations of Building 'A'. The elevations for Retail Buildings 'B', 'C', and 'D' (Attachments #5 and #6) are predominately wood siding in a Pewter finish with metal flashing and fascia in Stonington Gray. Upper level glazing and a stone base have been provided on the east elevations and on the south elevation of Building "D" in order to enhance the look of the building elevations facing the residential area to the east and south, together with tree planning that will screen the lower portion of the buildings. The Beer Store elevations (Attachment #7) reflect the typical new corporate standard with gold and black Exterior Insulation Finish System (EFIS) cladding and spandrel glass. Signage and logo identifying the corporate "The Beer Store" name is proposed on the upper portion of the north, south and west elevations.

The Development Planning Department is generally satisfied with the elevations of the proposed buildings as they are consistent and complementary to the commercial developments to the north

and south of the subject lands. As a condition of site plan approval, the final building elevations must be approved to the satisfaction of the Development Planning Department.

Parkland Dedication

Cash-in-lieu of parkland dedication was previously paid on 0.48 ha of the total 3.19 ha site, in accordance with the development of the Royal Bank building. The Owner is required to submit a real estate appraisal report to determine the remaining cash-in-lieu that will be required to be paid on the 2.71 ha to be developed as part of the subject site plan application, to the satisfaction of the Vaughan Legal Development, Real Estate Division.

Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Conclusion

The Development Planning Department has reviewed the proposed Site Plan application in accordance with the policies of the Official Plan, the requirements of the Zoning By-law, and the area context, and is satisfied that the proposed commercial development is appropriate at this location. The proposed building elevations and site plan layout are satisfactory, subject to the comments in this report. Accordingly, the Development Planning Department can support the approval of the Site Plan application, subject to the conditions in this report.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Elevations – Building 'A'
5. Elevations – Buildings 'B' and 'C'
6. Elevations – Building 'D'
7. Elevations – The Beer Store
8. Truck Turning Radius Plan

Report prepared by:

Stephen Lue, Planner I, ext. 8210
Mauro Peverini, Senior Planner, ext. 8407
Grant Uyeyama, Manager of Development Planning, ext. 8635

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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Development Planning Department

Location Map

Part of Lots 19 & 20, Concession 4

APPLICANT:
EMBEE PROPERTIES LIMITED

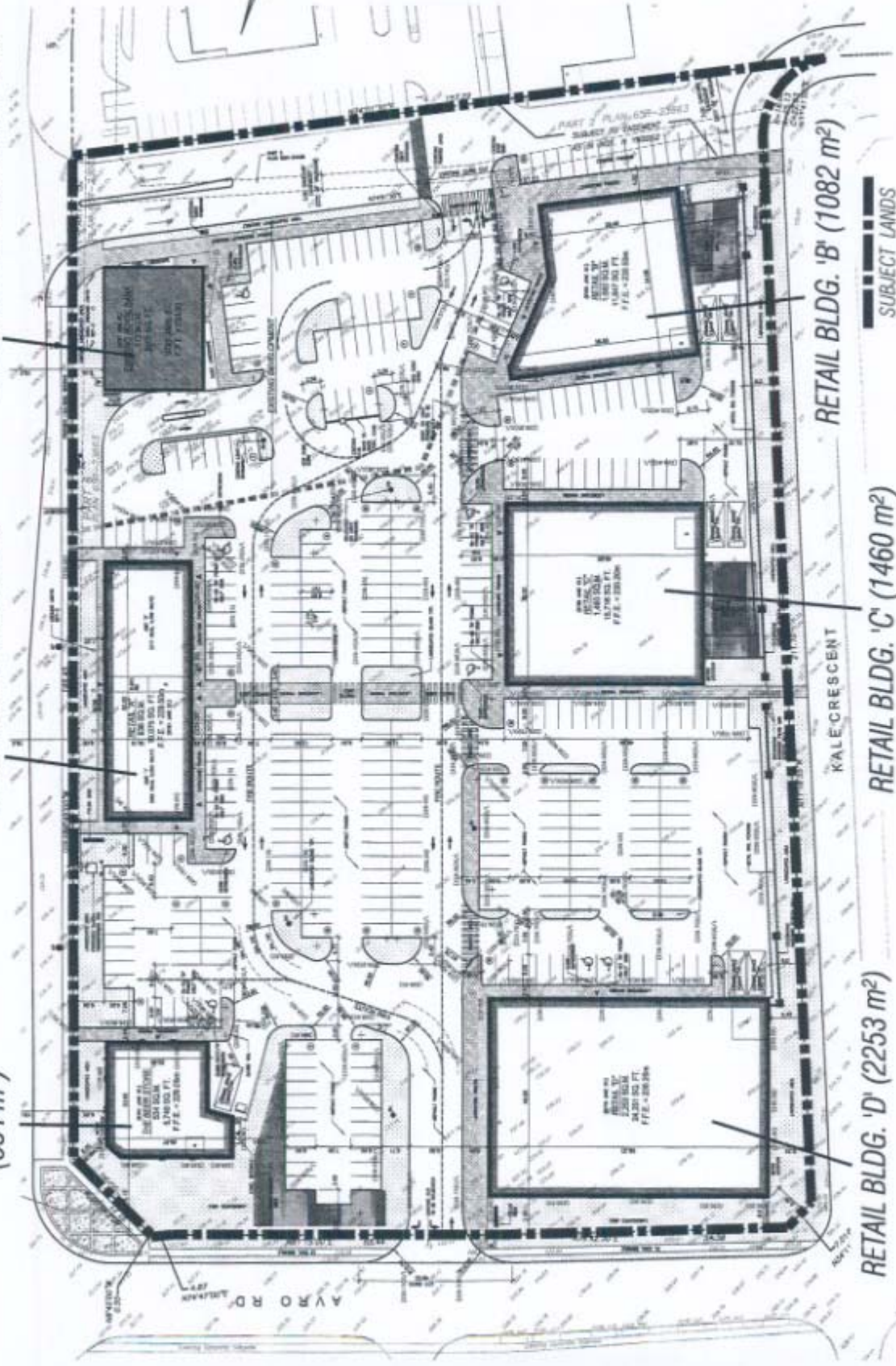
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THE BEER STORE
(534 m²)

JANE STREET (YORK REGION ROAD No.55)

RETAIL BLDG. 'A' (936 m²)

EXISTING ROYAL BANK (512 m²)



RETAIL BLDG. 'D' (2253 m²)

RETAIL BLDG. 'C' (1460 m²)

RETAIL BLDG. 'B' (1082 m²)

SUBJECT LANDS

Site Plan

Part of Lots 19 & 20,
Concession 4

APPLICANT:
EMBEE PROPERTIES LIMITED

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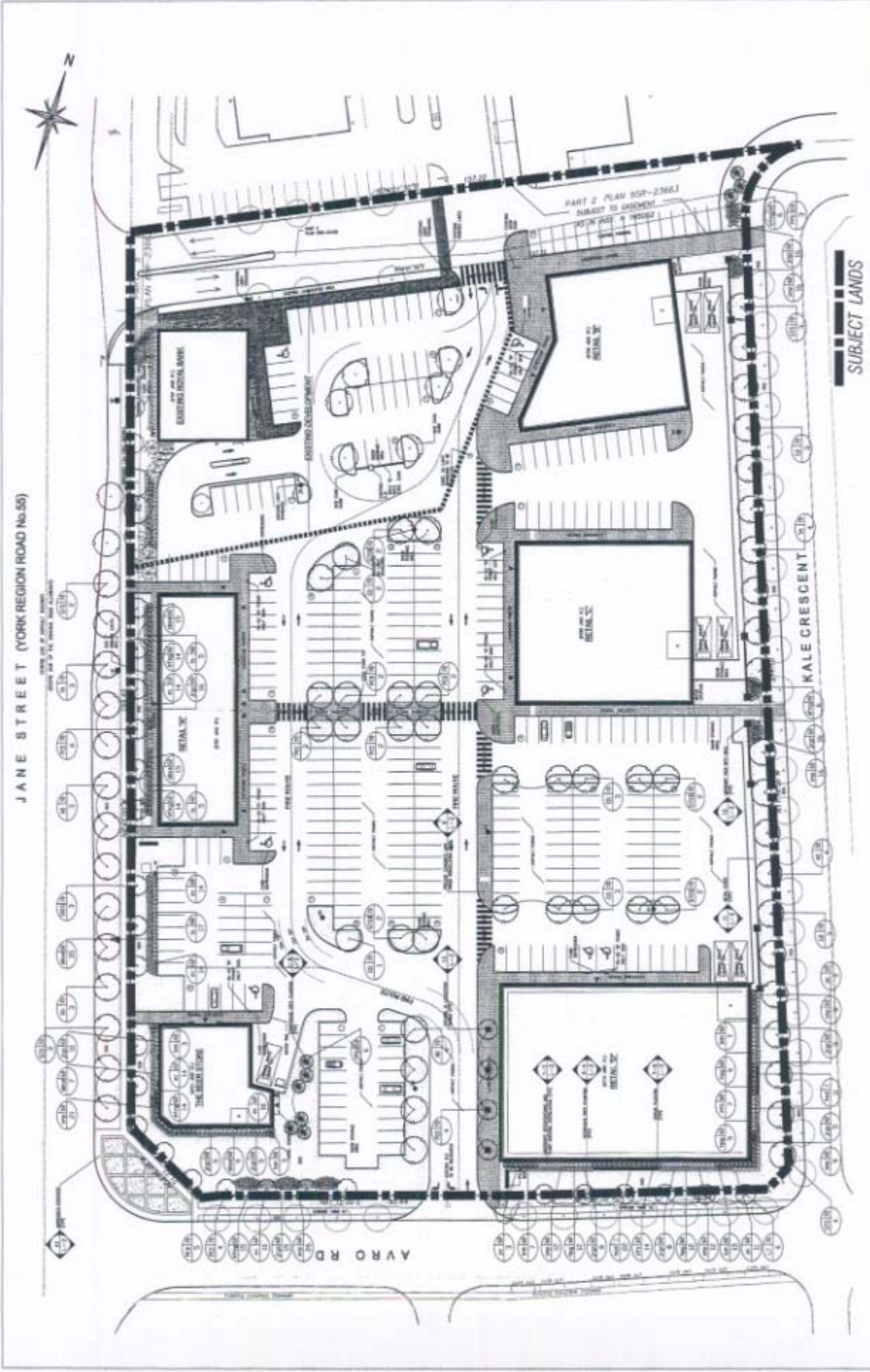
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JANE STREET (YORK REGION ROAD No.56)

AVRO ROAD

KALE CRESCENT

SUBJECT LANDS



Attachment 3

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Landscape Plan

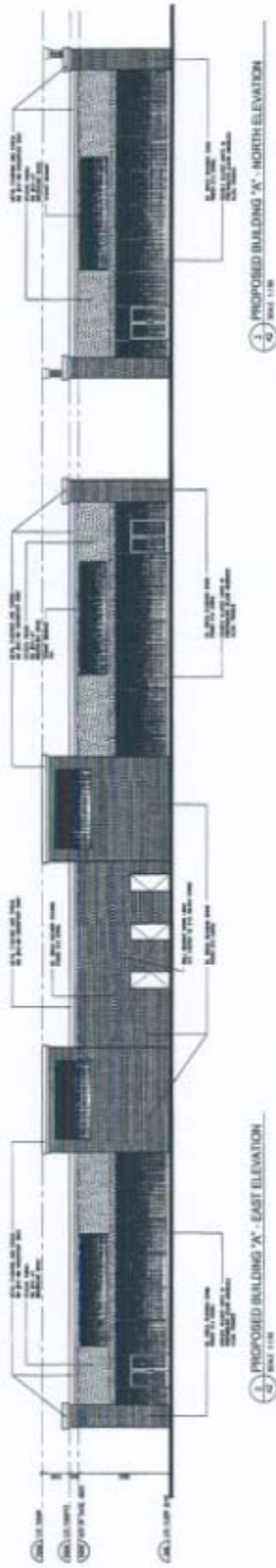
Part of Lots 19 & 20, Concession 4

APPLICANT: EMBEE PROPERTIES LIMITED

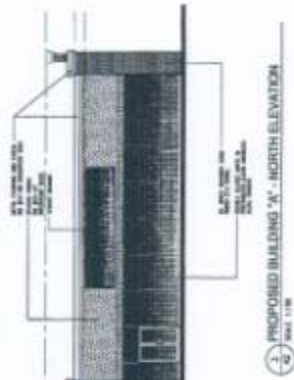
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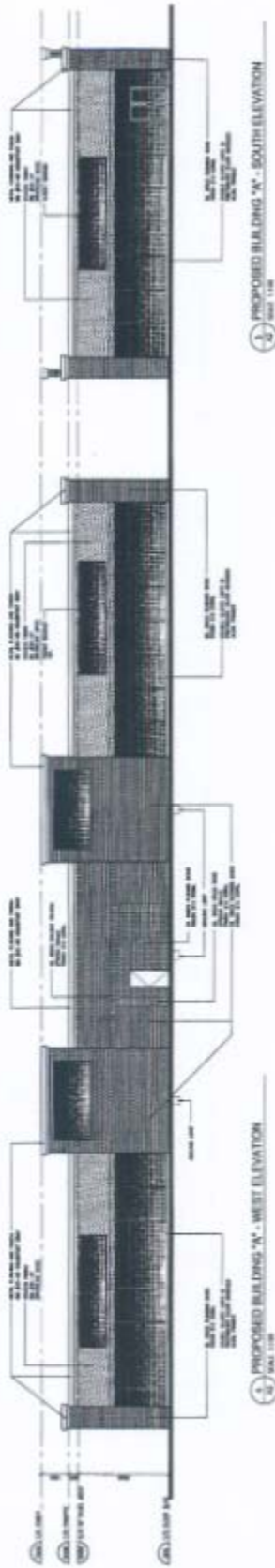
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DATE: 05/05



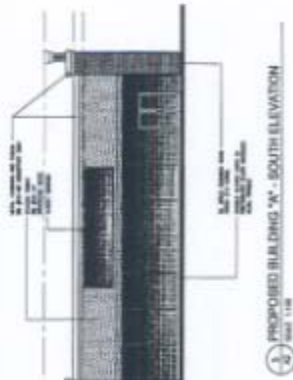
① PROPOSED BUILDING 'A' - EAST ELEVATION
DATE: 1/06



② PROPOSED BUILDING 'A' - NORTH ELEVATION
DATE: 1/06



③ PROPOSED BUILDING 'A' - WEST ELEVATION
DATE: 1/06



⑤ PROPOSED BUILDING 'A' - SOUTH ELEVATION
DATE: 1/06

Elevations - Retail Building 'A'

APPLICANT:
EMBEE PROPERTIES LIMITED
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Part of Lots 19 & 20,
Concession 4



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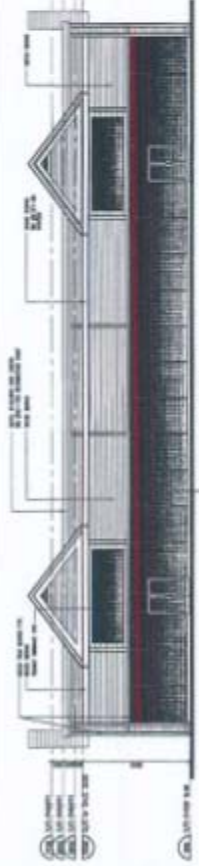
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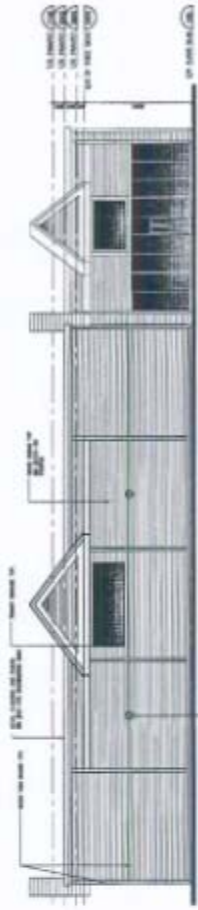
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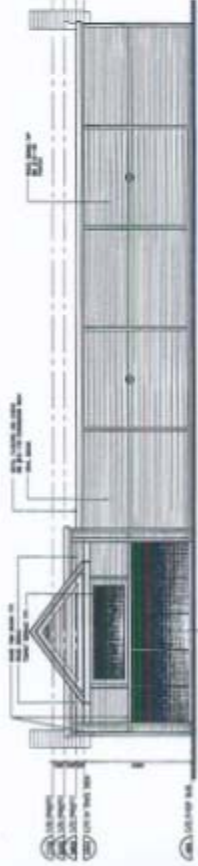
PROPOSED BUILDING 'C' - WEST ELEVATION
SHEET 1.10



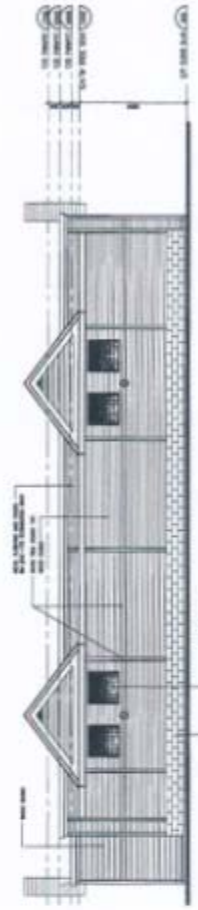
PROPOSED BUILDING 'C' - NORTH ELEVATION
SHEET 1.10



PROPOSED BUILDING 'W' - WEST ELEVATION
SHEET 1.10



PROPOSED BUILDING 'W' - NORTH ELEVATION
SHEET 1.10



PROPOSED BUILDING 'W' - EAST ELEVATION
SHEET 1.10



PROPOSED BUILDING 'W' - SOUTH ELEVATION
SHEET 1.10



PROPOSED BUILDING 'B' - WEST ELEVATION
SHEET 1.10



PROPOSED BUILDING 'B' - NORTH ELEVATION
SHEET 1.10

Elevations - Retail Buildings 'B' & 'C'

APPLICANT: EMBEE PROPERTIES LIMITED
Part of Lots 19 & 20, Concession 4

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City of Vaughan

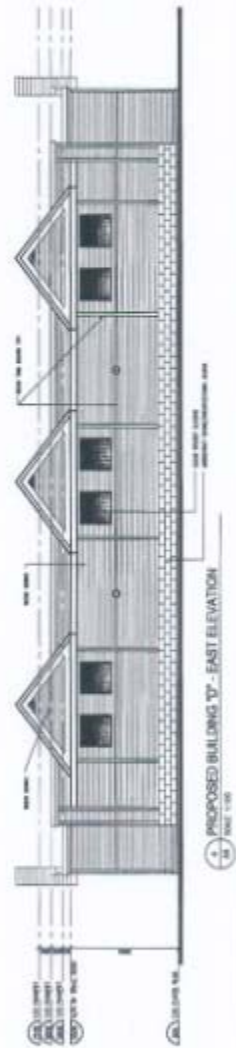
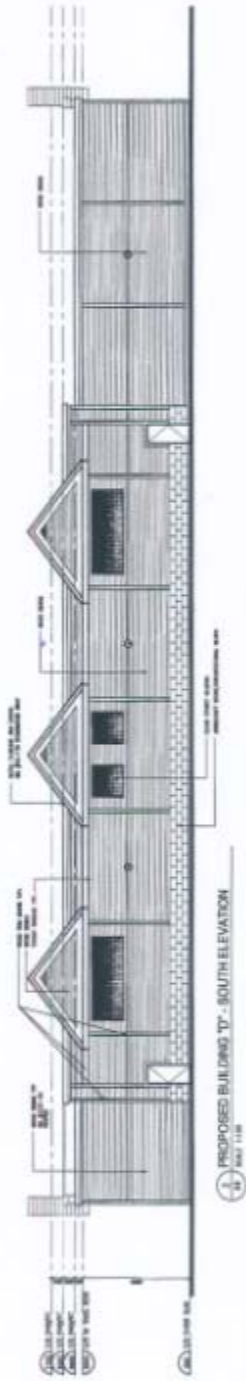
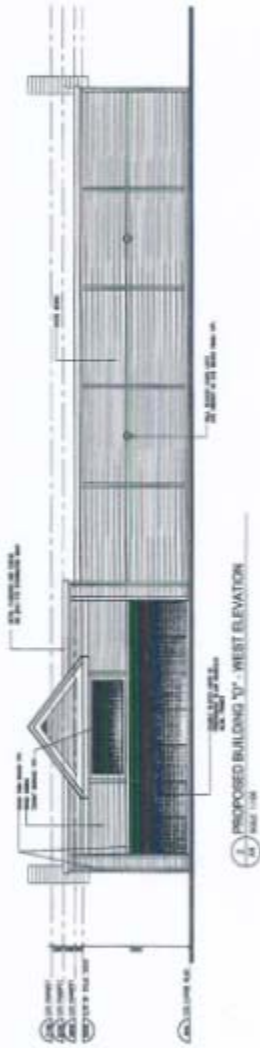
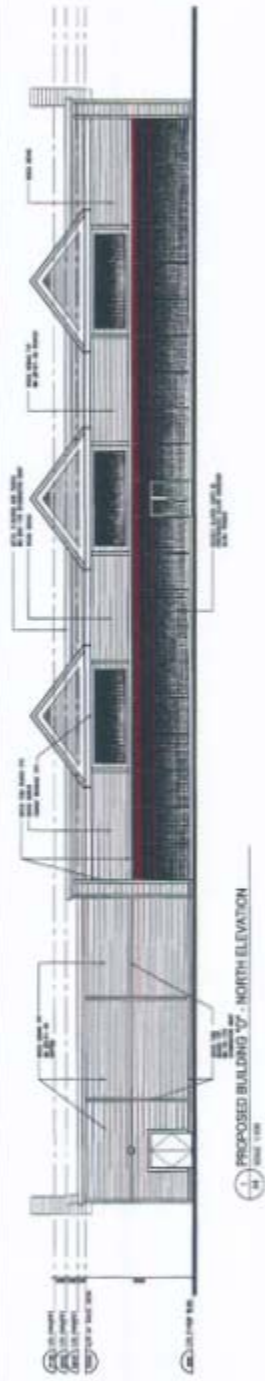
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Attachment 5

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Elevations - Retail Building 'D'

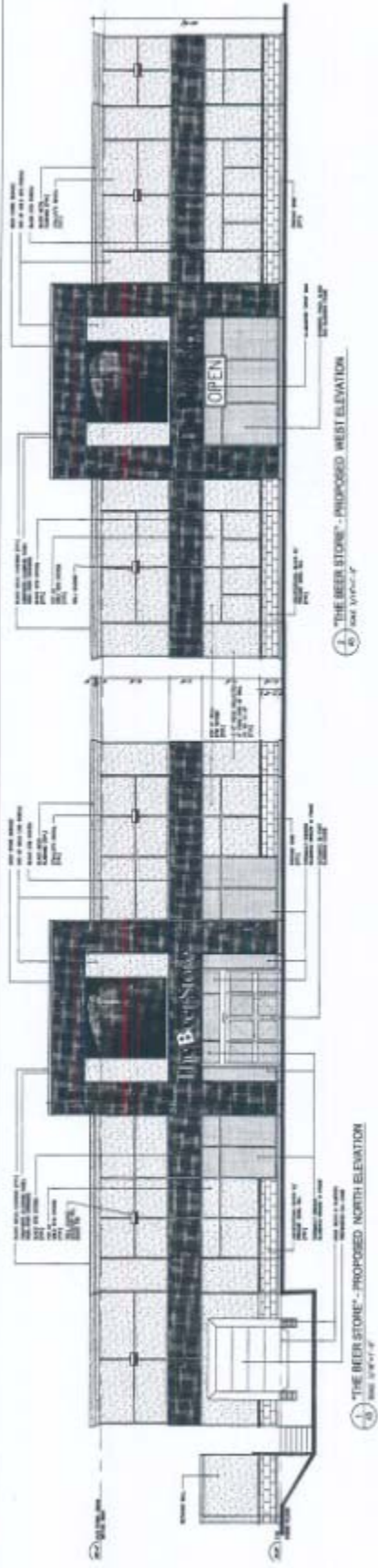
APPLICANT:
EMBEE PROPERTIES LIMITED

Part of Lots 19 & 20,
Concession 4

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City of
Vaughan
Development Planning Department

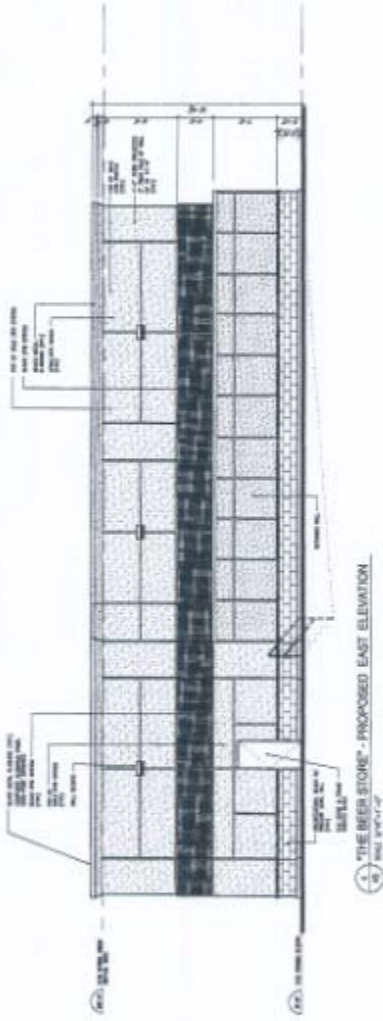
Attachment 6
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October 3, 2005



1 "THE BEER STORE" - PROPOSED NORTH ELEVATION
Scale 1/8" = 1'-0"



2 "THE BEER STORE" - PROPOSED SOUTH ELEVATION
Scale 1/8" = 1'-0"



3 "THE BEER STORE" - PROPOSED EAST ELEVATION
Scale 1/8" = 1'-0"

Elevations - Beer Store

Part of Lots 19 & 20,
Concession 4

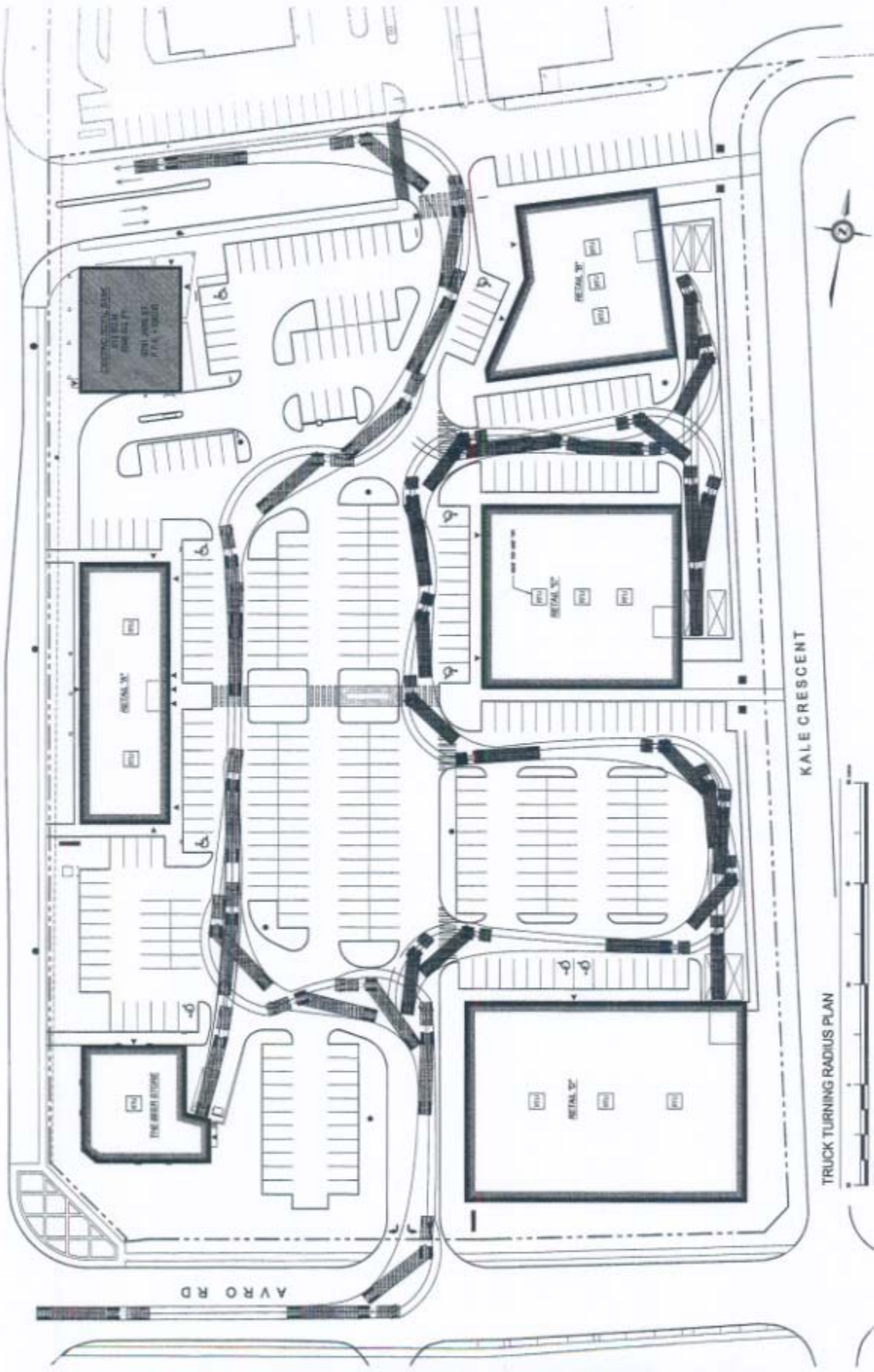
APPLICANT:
EMBEE PROPERTIES LIMITED

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JANE STREET (YORK REGION ROAD No.55)



KALECRESCENT

TRUCK TURNING RADIUS PLAN

Truck Turning Radius Plan

Part of Lots 19 & 20,
Concession 4

APPLICANT:
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Attachment

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