

COMMITTEE OF THE WHOLE JANUARY 16, 2006

**ZONING BY-LAW AMENDMENT FILE Z.02.068
ZONING BY-LAW AMENDMENT FILE Z.05.038
SITE DEVELOPMENT FILE DA.05.010
MARKET LANE HOLDINGS LTD.**

Recommendation

The Commissioner of Planning recommends:

1. THAT Zoning By-law Amendment File Z.05.038 (Market Lane Holdings Ltd.) BE APPROVED, to remove the Holding Symbol "H" from the subject lands shown on Attachment #1, subject to Council approving Site Development File DA.05.010 and servicing capacity being allocated for the proposed development.
2. THAT Zoning By-law Amendment File Z.02.068 (Market Lane Holdings Ltd.) BE APPROVED, to amend the Zoning Exception 9(1201) applicable to the subject lands shown on Attachment #3, to permit the following site-specific zoning exceptions to the RA2 Apartment Residential Zone to implement the appropriate development standards to facilitate a proposed 6 storey, mixed use residential and commercial condominium development, as follows:
 - permit a maximum of 516m² of commercial uses on the ground floor level only, restricted to a business and professional office, bank and financial institution, personal service shop, and retail store uses;
 - permit a maximum of 56 residential units;
 - require a minimum of 106 parking spaces for the proposed development, of which a minimum of 36 spaces shall be permitted to be located on the adjacent lands, shown as "Other Lands Owned by the Applicant" on Attachment #2;
 - permit a minimum zero (0)m setback to the front, rear and interior side yard for the below grade portion of the building;
 - permit a minimum front and interior yard setback of 0m and 4m respectively and a 5m rear yard setback (northeast corner);
 - permit a minimum amenity area of 1719m²; and,
 - permit any additional zoning exceptions as may be required to facilitate the site development application.
3. THAT Council deem that a further Public Hearing is not required to implement the required zoning exceptions.
4. THAT Site Development File DA.05.010 (Market Lane Holdings Ltd.) BE APPROVED, to permit the development of a 6 storey, mixed use residential and commercial condominium building on the subject lands shown on Attachment #3, subject to the following conditions:
 - a) that prior to the registration of the site development agreement:
 - i) the final site plan, building elevations and landscape plan, shall be approved by the Development Planning Department;
 - ii) the final site servicing and grading plans, stormwater management report, access, on-site vehicular circulation, and road widenings, shall be approved by the Engineering Department;
 - iii) the Owner shall satisfy all hydro requirements of PowerStream Inc.;

- iv) the Owner shall satisfy all requirements of the Toronto and Region Conservation Authority;
 - v) the Cultural Services Division and Heritage Vaughan Committee shall approve the final window designs and details for the heritage building;
 - vi) the Owner shall enter into an Agreement with the adjacent Market Lane commercial landowner, currently in the same ownership, to implement a reciprocal parking agreement, to be registered on title and binding on all future Owners of the Market Lane commercial lands, to the satisfaction of the City of Vaughan. A copy of the said agreement shall be provided to the City, prior to the execution of the site plan agreement; and
 - viii) a clause shall be included in all Agreements of Purchase, Sale and Lease advising future Owners/tenants/leasees of both the residential/commercial condominium building and the commercial Owners in the Market Lane complex that parking for the proposed residential condominium is available on the adjacent Market Lane lands, shown as "Other Lands Owned by the Applicant" on Attachment #2.
- b) that the site development agreement contain the following clauses:
- i) snow removal and garbage pick-up shall be privately administered and all garbage shall be stored indoors until it is ready to be picked-up;
 - ii) the Owner shall agree to obtain and provide any necessary easements (vehicular, pedestrian, maintenance, etc.) as may be required for the adjacent Market Lane commercial lands to the satisfaction of the City;
 - iii) the Owner shall pay to the City of Vaughan by way of certified cheque, Cash-in-Lieu of the dedication of parkland equivalent to a fixed unit rate for residential, prior to the issuance of a Building Permit in accordance with the Planning Act and the City's Cash-in-Lieu Policy; and, 2% of the value of the commercial component of the subject lands, prior to issuance of a Building Permit, in accordance with Section 42 of the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment; and
 - iv) the Owner shall dedicate all required road widenings to the City, free and clear of all encumbrances, to the satisfaction of the City of Vaughan.

THAT Council pass the following resolution with respect to the allocation of sewage capacity from the York-Durham Servicing Scheme and water supply capacity from the York Water Supply System in accordance with the approved Servicing Capacity Distribution Protocol dated November 14, 2005:

"IT IS HEREBY RESOLVED THAT Site Development Application DA.05.010 (Market Lane Holdings Ltd.) is allocated sewage capacity from the York-Durham Servicing Scheme and water supply capacity from the York Water Supply System for a total of 56 residential units."

Economic Impact

There are no requirements for new funding associated with this report. The development will add new assessment to the local tax base.

Purpose

The Owner has submitted the following applications:

1. A Zoning By-law Amendment Application (File Z.05.038) to remove the Holding Symbol "H" from the subject lands currently zoned RA2(H) Apartment Residential Zone as shown on Attachment #1 to facilitate a proposed 6-storey, mixed use residential and commercial condominium development.
2. A Zoning By-law Amendment Application (File Z.02.068) to implement the proposed development standards to facilitate a 6-storey, residential and commercial mixed use condominium building comprised of 56 residential units and 516.60m² of ground floor commercial uses as shown on Attachment #3. The following zoning exceptions are required to implement the proposed development:
 - permit a maximum of 516m² of commercial uses on the ground floor level only, restricted to a business and professional office, bank and financial institution, personal service shop, and retail store uses;
 - permit a maximum of 56 residential units;
 - require a minimum of 106 parking spaces for the proposed development of which a minimum of 49 spaces shall be provided on the adjacent lands, as shown on Attachment #2 as "Other Lands Owned by the Applicant";
 - require a minimum zero (0)m setback to the front, rear and interior side yard (west) for the below grade portion of the building, whereas 1.8m, 7.5m and 4.5m are required, respectively;
 - permit minimum front and interior side yard setback of 0m and 4m respectively, whereas the by-law requires 7.5m and 4.5m;
 - permit a minimum rear yard setback of 5m whereas 7.5m is required;
 - permit a minimum amenity area of 1719m², whereas the by-law requires 2030m²; and,
 - permit any additional zoning exceptions as may be required to facilitate the site development application.
3. A Site Development Application (File DA.05.010) to facilitate a proposed 6-storey, mixed use residential and commercial condominium building as shown on Attachment #3. The pertinent site statistics are as follows:

Site Area =	0.26 ha
Gross Floor Area (Residential) =	5639.74m ²
Gross Floor Area (Commercial) =	516.60m ²
Total =	6156.34m ²
Number of Residential Units =	56 units
Parking Required =	129 parking spaces
Parking Provided =	106 parking spaces (70 spaces on-site and a minimum of 36 spaces on other lands owned by Applicant)

Background – Analysis and Options

The subject lands shown on Attachment #1 are located on the north side of Woodbridge Avenue, between Fairground Lane and Clarence Street, being part of Lots A, B and C, Registered Plan 1200 (154 to 166 Woodbridge Avenue) in Lot 7, Concession 7, City of Vaughan. The site is irregular in shape, having 54m frontage on Woodbridge Avenue, and developed with a number of commercial buildings, some with second storey residential dwellings and a 2 storey historical dwelling, known as the Inkerman Hotel.

The surrounding land uses are:

- North - Market Lane commercial complex (C4 Neighbourhood Commercial Zone) and the Arbors apartment building (RM2 Multiple Residential Zone)
- South - Woodbridge Avenue; commercial uses (C1 Restricted Commercial Zone)
- East - Woodbridge Library and the Market Lane commercial complex (C4 Neighbourhood Commercial Zone)
- West - commercial (C4 Neighbourhood Commercial Zone), Fairground Lane, residential townhomes (RM2 Multiple Residential Zone)

Public Hearing

On February 6, 2004, a Notice of Public Hearing was mailed to all property owners within 120m of the subject lands, the Woodbridge Core Ratepayers Association and The Friends of The Village Group comments from The Friends of Village are discussed later in this report.

Official Plan

The subject lands are designated "Mixed Use Commercial" by OPA #240 (Woodbridge Community Plan) as amended by OPA #440 (Woodbridge Core) and further amended by site-specific OPA #611, which permits a maximum 6-storey condominium building comprised of 56 residential units, ground floor commercial uses, and includes policies respecting the restoration of the historical building (Inkerman Hotel). The proposed development conforms to the Official Plan, as amended.

Zoning

The subject lands are currently zoned RA2(H) Apartment Residential Zone with the Holding Symbol "H" by By-law 1-88, subject to Exception 9(1201), which currently permits a 6-storey mixed residential/commercial building. In order to facilitate the proposed development shown on Attachment #3, the Holding Symbol must be removed, and the necessary zoning exceptions required to implement the development must be incorporated into the zoning by-law. To date, the following zoning exceptions have been identified to facilitate the proposed development:

- require a minimum of 106 parking spaces for the proposed development, of which a minimum of 36 spaces shall be located on the adjacent lands owned by the applicant in the same Market Lane ownership, whereas the by-law requires a minimum of 129 parking spaces to be located entirely on the subject lands;
- permit a maximum of 56 residential units;
- permit a maximum of 516m² of ground floor commercial uses, restricted to a business and professional office, bank and financial institution, personal service shop, and retail store;
- require a minimum zero (0)m front, rear and interior side yard for portions of the building located below grade, whereas 1.8m, 7.5m and 4.5m are required, respectively;
- permit a minimum front yard and interior side yard setback shall be 0m and 4m respectively, whereas 7.5m and 4.5m is required;

- permit a minimum rear yard setback of 5m for the northeast portion of the building, whereas the by-law requires 7.5m; and,
- permit a minimum amenity area of 1719m² whereas the by-law requires 2030m².

The proposed zoning exceptions are considered to be appropriate given the policies of the Official Plan which permit mixed-use development and the surrounding residential and commercial land use context, and the exceptions will result in a development that is compatible with the adjacent lands. The proposed parking deficiency is considered to be acceptable as discussed later in the parking section of this report. The minimum amenity area is also acceptable as the proposal is located within the Woodbridge Core area within walking distance to open space, parks and the core area patios and streetscape facilities.

On June 14, 2004, Council approved zoning application Z.02.068 to rezone the subject lands to RA2(H) Apartment Residential Zone with the Holding Symbol (H) and directed that Staff bring forward a by-law to implement its decision together with the appropriate development standards required to facilitate the mixed use development. At that time, the site plan was not developed to a point where all the zoning exceptions could be identified and included in the zoning by-law. By-law 221-2004 was enacted by Council, which had the effect of rezoning the subject lands but did not include the zoning exceptions required to implement the proposed plan.

Since that time, the site plan has been finalized and the necessary exceptions required to implement the proposed development have been finalized. A subsequent zoning By-law will be enacted to amend and perfect By-law 221-2004, to implement the current plan. This approach is considered consistent with Council's direction of June 14, 2004 to implement the appropriate development standards to facilitate the development and therefore a clause is included in the Recommendation Section of this report which, if adopted, will deem that a further Public Hearing is not required for the zoning exceptions necessary to implement the proposed development.

Committee of Adjustment

On September 29, 2005, the Committee of Adjustment approved Consent Application B36/05 and Variance Application A228/05 to facilitate the severance of the larger parcel (shown on Attachment #3) by creating a block for the condominium building site and for off site parking. The balance of the Market Lane lands, shown as "Other Lands Owned by the Applicant" on Attachment #2, would be used to accommodate shared use parking for the future condominium and the existing/future commercial uses.

The lot boundary of the subject land has changed from that considered by the Committee of Adjustment, however, the proposed development respecting the building height and form has not. The lot boundary revision facilitates a better parking arrangement and layout, and from a functional perspective improves the development by providing exclusive visitor parking for the condominium complex. The parking and access for the proposed development continues to be provided in accordance with the approved parking study and the design and built form is consistent with the Official Plan.

Site Design

The proposed site plan as shown on Attachment #3 identifies a 0.26 ha parcel of land developed with one 6-storey, mixed use building comprised of 56 residential units, 516m² of ground floor commercial and the incorporation of the Inkerman Hotel. An underground parking garage and above ground parking area are proposed to serve the residential and commercial uses. The building is accessed by one full movement driveway on Woodbridge Avenue and from other access points available from the Market Lane Shopping Centre complex, all of which will function on a shared basis.

The necessary easements are required to ensure appropriate servicing, vehicular and pedestrian connectivity of the subject lands with the adjacent lands. The site development agreement will contain, if required, the appropriate clauses requiring the Owner to provide the necessary servicing easements and cross-easements to ensure connectivity with the adjacent lands.

The Development Planning Department has provided the following additional comments to the Owner respecting the overall plan:

- all garbage is to be stored internal to the building, and the location of the garbage room and storage area should be shown on the plans; and,
- the rooftop amenity area and landscape plan for the roof-top should be identified;

The final building elevations must be approved by the Development Planning Department, in consultation with the Cultural Services Division and the Heritage Vaughan Committee.

Parking

A total of 106 parking spaces are proposed to serve the residential/commercial condominium building, of which 70 parking spaces will be located on the subject lands (56 spaces underground and 14 surface spaces), with the balance of 36 parking spaces to be located on the adjacent lands within the Market Lane commercial campus, which are owned by the applicant as shown on Attachment #2. Based on the proposed residential and commercial parking standards in By-law 1-88, the required parking is calculated as follows:

Residential Units: 56 units x 1.75 spaces/unit (incl. 0.25 spaces/unit or 14 spaces for visitor parking)	= 98 spaces
<u>Retail Commercial GFA: 516m² x 6 spaces/100m² GFA</u>	= <u>31 spaces</u>
Total Parking Required	= 129 spaces
Total Parking Provided (as recommended by the parking study)	= 106 spaces

The proposed development is deficient 23 parking spaces, which represents an 18% shortfall from the minimum by-law requirement. A parking study prepared by Mark Engineering was submitted in support of the proposed parking deficiency for the development and the shared parking arrangement with the Market Lane commercial complex to the north and east. The Engineering Department has reviewed and approved the study, indicating that the 23 space reduction is acceptable, based on the availability of surplus parking on the adjacent Market Lane commercial campus, which is in the same ownership, as identified below.

The overall parking condition for Market Lane, including the proposed development, is as follows:

Market Lane Commercial Complex:

Existing Commercial Uses: 5334.64m ² (@3.5 spaces/93m ²)	= 201
Parking For Inkerman Hotel	= 2
<u>Parking for Woodbridge Public Library</u>	= <u>12</u>
Total Required	= 215
<u>Proposed Residential Condominium including Commercial Uses:</u>	
56 units + Ground Floor Commercial (106 spaces as recommended in the Parking Study)	= 106

Minus Proposed Residential and Condominium Parking (<u>underground + visitor</u>)	= -70
Total Surface Parking Spaces	= 36
 Total Parking Required (201 + 12 + 36 +2)	 = 251
 <u>Parking Spaces Provided in Market Lane</u>	 = 300
Total Surplus Parking Spaces (Market Lane)	= 49

In addition to the parking spaces identified above, the City of Vaughan currently owns a 35 space parking area at the northeast corner of the parking lot within the Market Lane commercial development as shown on Attachment #2. The area serves as a municipal parking lot, which is maintained and operated by the developer for the use of shoppers and merchants of the Woodbridge Core Area. The municipal lot is not defined as such and essentially functions as one parking area within the Market Lane commercial development.

The Owner will be required to enter into an agreement with the adjacent Market Lane commercial landowner, currently in the same ownership, to ensure a reciprocal parking agreement is registered on title, and binding on all future owners of the Market Lane commercial lands, to the satisfaction of the City of Vaughan. A copy of the reciprocal parking agreement must be provided to the Development Planning Department, prior to the execution of the implementing site plan agreement for the proposed condominium development. A clause will also be included in all Agreements of Purchase, Sale and Lease, advising all future owners, tenants and leasees of both the residential/commercial condominium building and the commercial in the Market Lane complex that additional parking for the proposed residential condominium is available on the adjacent Market Lane commercial lands to the north and east. A condition of approval is included in the recommendation section of this report, requiring the Owner to enter into the above-noted agreements, to the satisfaction of the Development Planning Department, to secure the off-site parking spaces for the proposed condominium development. The agreements must be prepared prior to the execution of the implementing site plan agreement.

Elevations

The proposed building elevations are shown on Attachments #5, #6, #7 and #8. The overall colour scheme is comprised of red brick, and beige/ochre and green tone stucco, with darker accents used for bordering and detailing. The roofline consists of coloured asphalt shingles and a rooftop enclosure that is setback from the building edge and not fully visible from the street view. This structure is used to house both the rooftop mechanical system and elevator shaft. The building is stepped back in 2-storey (Inkerman Hotel), 4 storey and 6 storey increments from Woodbridge Avenue. Large decorative framed bricked columns book-end the building at either end of the south elevation and extend upward to the 5th floor, flush with the balconies.

a) South Elevation

The south elevation shown on Attachment #5 faces Woodbridge Avenue and includes ground floor commercial uses, the 2 storey Inkerman Hotel structure, and the proposed residential condominium building. This elevation is comprised of brick and stucco which compliments the Inkerman Hotel structure. The balcony and gingerbread detailing of the Inkerman Hotel structure is proposed to be restored to its original form identified through Heritage Vaughan Committee photos of the original building. The applicant has introduced finishes that add to the historical element of the former hotel structure. The Development Planning Department further recommends that the red brick used on the Inkerman structure be carried over to the proposed condominium building at least 2 storeys in height to further compliment the overall building.

The south façade is broken up by glazing in the form of windows and balconies with a faux roofline along the 5th storey, all of which provides architectural interest to the elevation. The ground floor is expected to house a TD Canada Trust Bank and is articulated with stone and

glass window commercial façade differentiated from the residential portion of the development above. Signage for the commercial uses is comprised of a horizontal sign band above the window areas. Three main pedestrian entrance points are planned for this elevation including, one for the bank, a second for the condominium building, and a third serving the former Inkerman Hotel structure. A portico is provided at grade level designed to provide a sheltered pedestrian element at the street level.

The building is capped with matching asphalt shingles and a decorative cornice moulding around the entire building. The buildings roof top mechanical system and elevator facility are concealed within an enclosed structure that matches the remainder of the building.

b) North, East and West Elevations

The north, east and west elevations shown on Attachments #6, #7 and #8 are consistent in design and finish. The elevations are 6 storeys in height and capped with an asphalt roofing system interrupted by glazed balconies and windows highlighted by decorative mouldings. The main exterior finishing material is stucco and window glazing. The north elevation, which faces the Market Lane commercial buildings and parking area includes a secondary entrance for residents and visitors. The west elevation, includes the main entrance for the underground garage.

Resident Input

The Friends of the Village Group have provided comments on the latest plans and are generally satisfied with the proposed elevations, specifically the restored verandas on the former Inkerman Hotel and the original railing design. However, concern was expressed with the covered walkway along Woodbridge Avenue, and that 4 storeys along Woodbridge Avenue would be better suited for the development, notwithstanding the building is set back at the 2nd (Inkerman Hotel), 4th and 6th storeys from the street. The Group also commended the efforts of both the architect and applicant in incorporating the former Inkerman Hotel as part of the development.

Heritage

The Cultural Services Division has no objection to the proposed plans, but requires a more detailed depiction of the proposed design for the front porch windows on the main floor of the historic Inkerman Hotel building. The applicant will be required to submit detailed drawings showing the elevation, profile and section views of these windows for review by the Cultural Services Department and Heritage Vaughan Committee, prior to the registration of the Site Plan Agreement.

Landscaping

The proposed landscape plan shown on Attachment #4 consists of landscaping material comprised of a mixture of deciduous and coniferous trees, and ornamental trees and shrubbery. The periphery of the site along Woodbridge Avenue is planted with a standard street tree-planting scheme, which includes deciduous trees on a grate system. Additional landscaping defining private yards and various walkways have been provided on the site. A landscaped courtyard located at the northeast corner of the site includes a water feature and landscaped beds. The landscaping has been extended along the west side of the parking area, which is to be shared by both the condominium and the Market Lane commercial tenants.

The final landscape plan must be approved to the satisfaction of the Development Planning Department.

Servicing/Allocation

The site has access to hydro, water and sanitary and storm sewer services. The final stormwater management report and site servicing and grading plans must be approved to the satisfaction of the Engineering Department.

On November 14, 2005, Council adopted a Strategy for Residential/Allocation of Servicing Capacity, which identified the subject application as a Priority 2 application and recommended that servicing capacity be reserved and allocated at the site development stage. In this respect, the Engineering Department has advised that servicing is available for the development and an allocation resolution is provided in the Recommendation section of this report.

All hydro requirements must be addressed by the Owner to the satisfaction of PowerStream Inc.

Vaughan Public Library Board

The Library Board expressed concerns with the site plan as it does not identify the 12 parking spaces located in the vicinity and belonging to the Library Board. The Library Board has exclusive rights to 12 parking spaces located within the Market Lane Commercial Complex. The applicant will be required to address the Library Boards' concerns and maintain the exclusive rights to 12 parking spaces in favour of the Library Board to the satisfaction of the City.

Snow and Garbage Removal

Snow removal and garbage pick-up will be privately administered by the Condominium Corporation. All garbage containers will be stored indoors until they are ready to be picked-up.

Cash-in-lieu Parkland Dedication

The parkland dedication requirement under the Planning Act will be satisfied through cash-in-lieu to be paid through the registration of the site development agreement, to the satisfaction of the Legal Department, Real Estate Division.

Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Conclusion

The Development Planning Department has reviewed the Site Development Application in accordance with the policies of the Official Plan (OPA #440 and site-specific OPA #611), which permits the proposed mixed use residential and commercial development. The proposal to develop the subject lands to permit a 6 storey, 56 unit condominium building with ground floor commercial and incorporating the historical Inkerman Hotel is consistent with the policies of the Official Plan. The proposed building elevations and site plan layout are generally satisfactory, subject to the comments in this report. Accordingly, the Development Planning Department can support the approval of the Site Plan Application, subject to the conditions contained in this report.

The Development Planning Department has also reviewed the proposed Zoning By-law Amendment Applications to remove the Holding "H" provision from the subject lands shown on Attachment #1, which will facilitate the development of the site in accordance with the RA2 Apartment Residential Zone standards; and, the proposed zoning exceptions to implement the site plan shown on Attachment #3, which are considered to be appropriate to facilitate the development of the subject lands. The Development Planning Department can support the

approval of both Zoning By-law Amendment Applications, subject to the conditions contained in this report.

Attachments

1. Location Map
2. Context Plan (Including Market Lane Lands)
3. Site Plan
4. Landscape Plan
5. Building Elevations - South (Woodbridge Avenue)
6. Building Elevations - North
7. Building Elevations - West
8. Building Elevations - East
9. Building Cross-Sections

Report prepared by:

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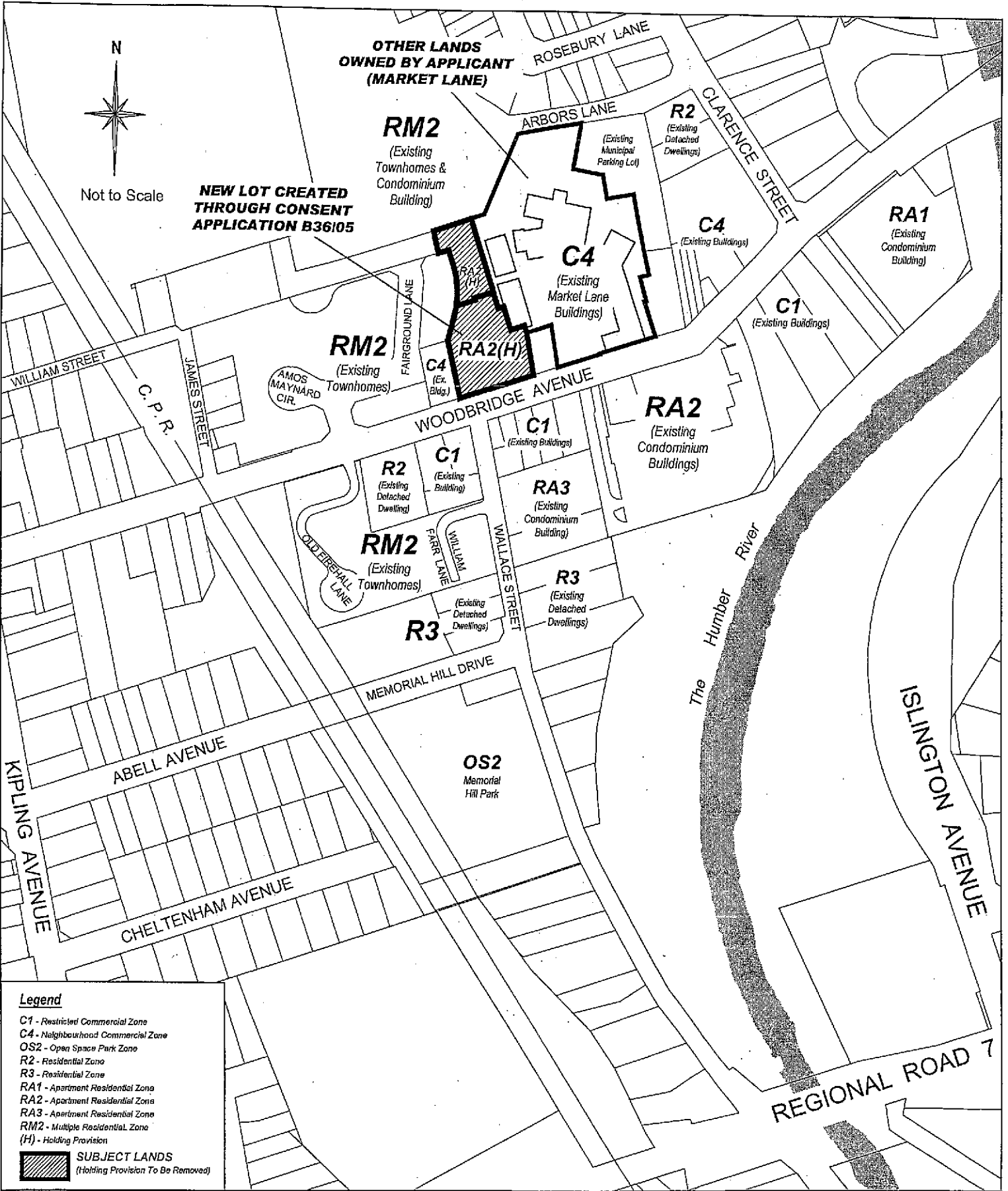
Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

/LG

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Legend

- C1 - Restricted Commercial Zone
- C4 - Neighbourhood Commercial Zone
- OS2 - Open Space Park Zone
- R2 - Residential Zone
- R3 - Residential Zone
- RA1 - Apartment Residential Zone
- RA2 - Apartment Residential Zone
- RA3 - Apartment Residential Zone
- RM2 - Multiple Residential Zone
- (H) - Holding Provision

SUBJECT LANDS
(Holding Provision To Be Removed)

Location Map

Part Lot 9,
Concession 7
APPLICANT:
MARKET LANE HOLDINGS LTD.

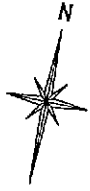


Development Planning Department

Attachment

FILE No's.:
DA.05.010, Z.02.068
& Z.05.038
DATE:
November 24, 2005

1



Not to Scale

ARBORS LANE

EXISTING MUNICIPAL PARKING LOT

Parking

Parking

Parking

Parking

OTHER LANDS OWNED BY APPLICANT (MARKET LANE)

Parking

Parking

NEW LOT CREATED THROUGH CONSENT APPLICATION B36105

Parking

FAIRGROUND LANE

Woodbridge Library

Proposed Condominium Building

Existing Inkerman Hotel

WOODBIDGE AVENUE

Legend

 SUBJECT LANDS

Context Plan (Including Market Lane Lands)

APPLICANT:
MARKET LANE HOLDINGS LTD.

Part Lot 9,
Concession 7



Development Planning Department

Attachment

FILE No's.:
DA.05.010, Z.02.068
& Z.05.038

DATE:
December 12, 2005

2



Not to Scale

NEW LOT CREATED THROUGH CONSENT APPLICATION B36105

Legend

SUBJECT LANDS

Site Plan

APPLICANT:
MARKET LANE HOLDINGS LTD.

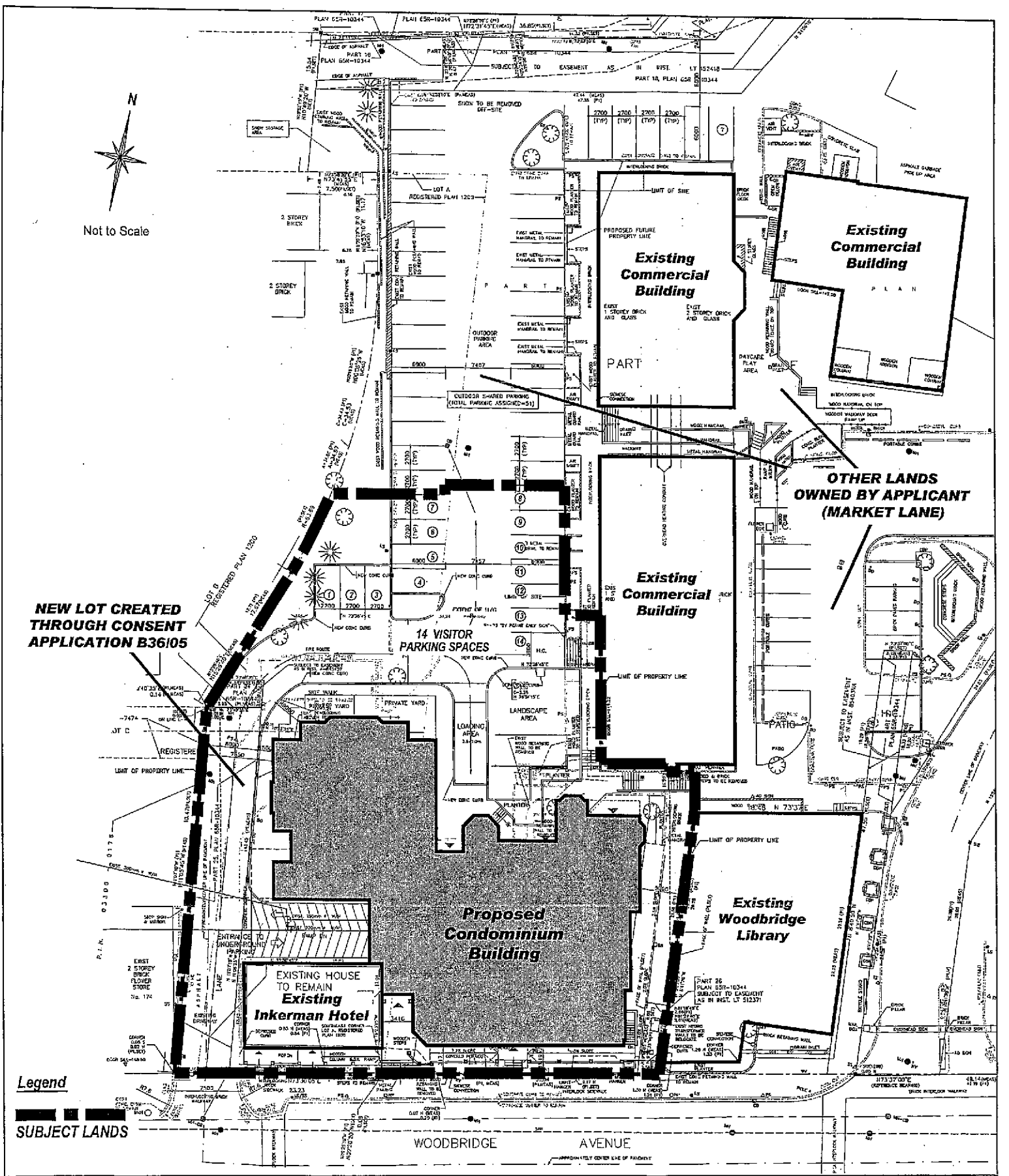
Part Lot 9,
Concession 7

City of
Vaughan
Development Planning Department

Attachment

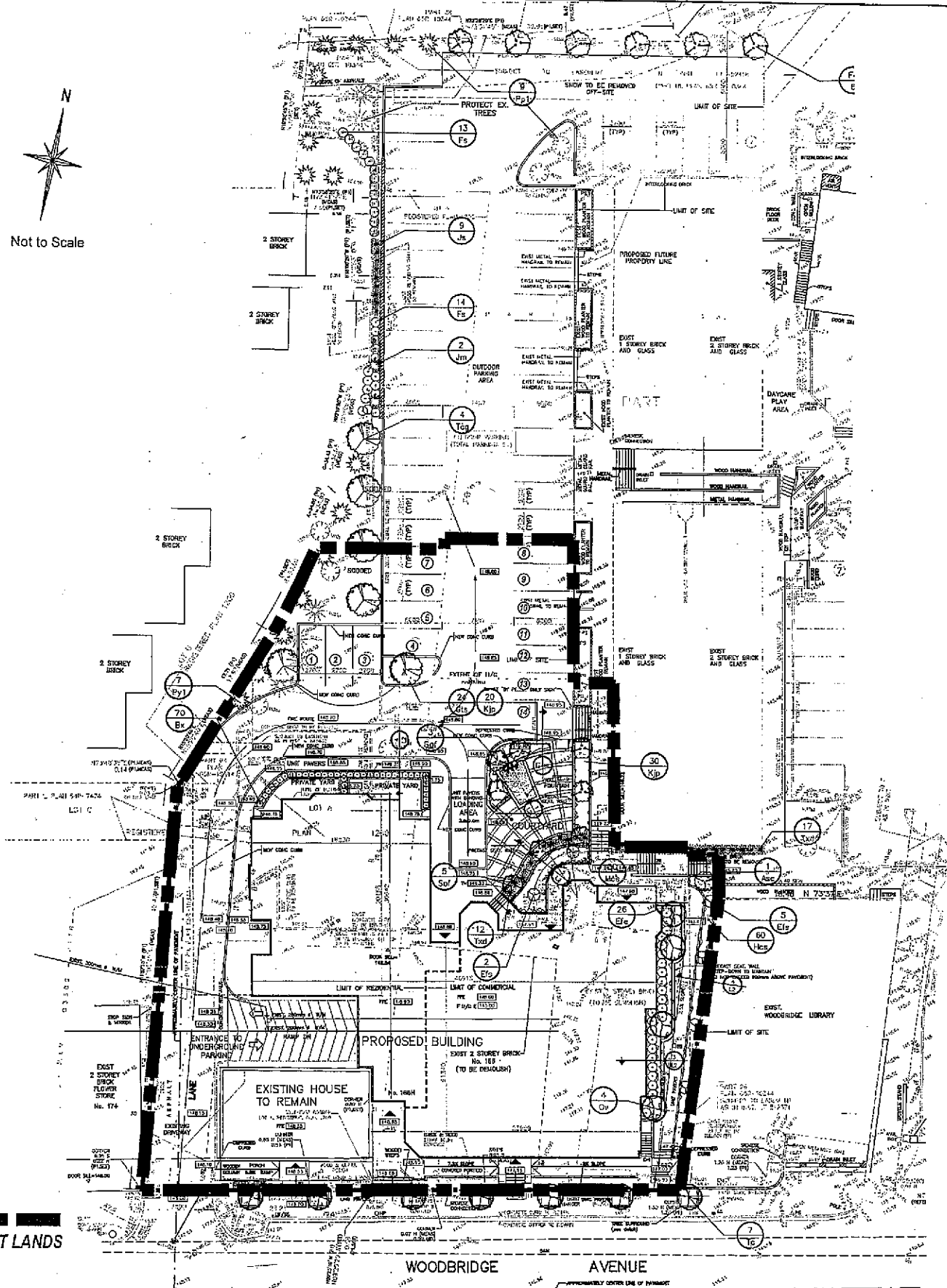
FILE No.s:
DA.05.010, Z.02.068
& Z.05.038
DATE:
December 12, 2005

3





Not to Scale



Legend

SUBJECT LANDS

Landscape Plan

Part Lot 9,
Concession 7
APPLICANT:
MARKET LANE HOLDINGS LTD.



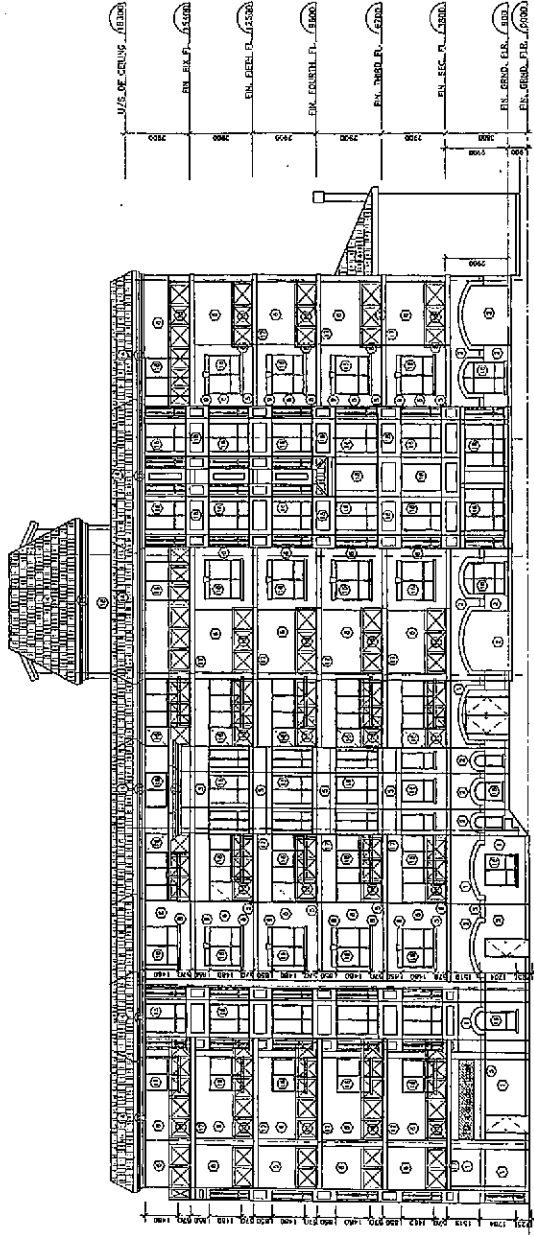
Development Planning Department

Attachment

FILE No.:
DA.05.010
DATE:
November 24, 2005

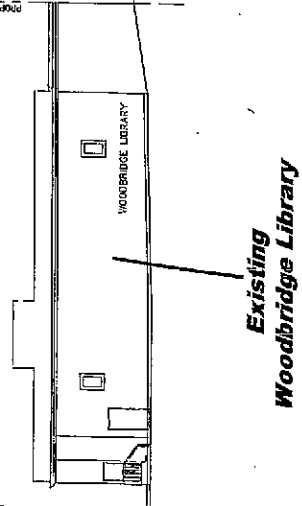
4

H:\DPT\1 ATTACHMENTS\DA\da.05.010



- BUILDING MATERIALS (FOR ELEVATIONS ONLY)**
- ① ASPHALT ROOF
 - ② FACE BRICK (TYPE 1)
 - ③ FACE BRICK (TYPE 2)
 - ④ WHITE STUCCO
 - ⑤ BRICK CLAY TILE
 - ⑥ BRICK PAVEMENT
 - ⑦ STUCCO FINISH
 - ⑧ STUCCO ROOF
 - ⑨ STUCCO WALL
 - ⑩ STUCCO ROOF
 - ⑪ STUCCO ROOF
 - ⑫ STUCCO ROOF
 - ⑬ STUCCO ROOF
 - ⑭ STUCCO ROOF
 - ⑮ STUCCO ROOF
 - ⑯ STUCCO ROOF
 - ⑰ STUCCO ROOF
 - ⑱ STUCCO ROOF
 - ⑲ STUCCO ROOF
 - ⑳ STUCCO ROOF

NORTH ELEVATION



*Existing
Woodbridge Library*

Not to Scale

Attachment 6

FILE No's.:
DA.05.010, Z.02.068
& Z.05.038

November 24, 2005

CITY OF Vaughan

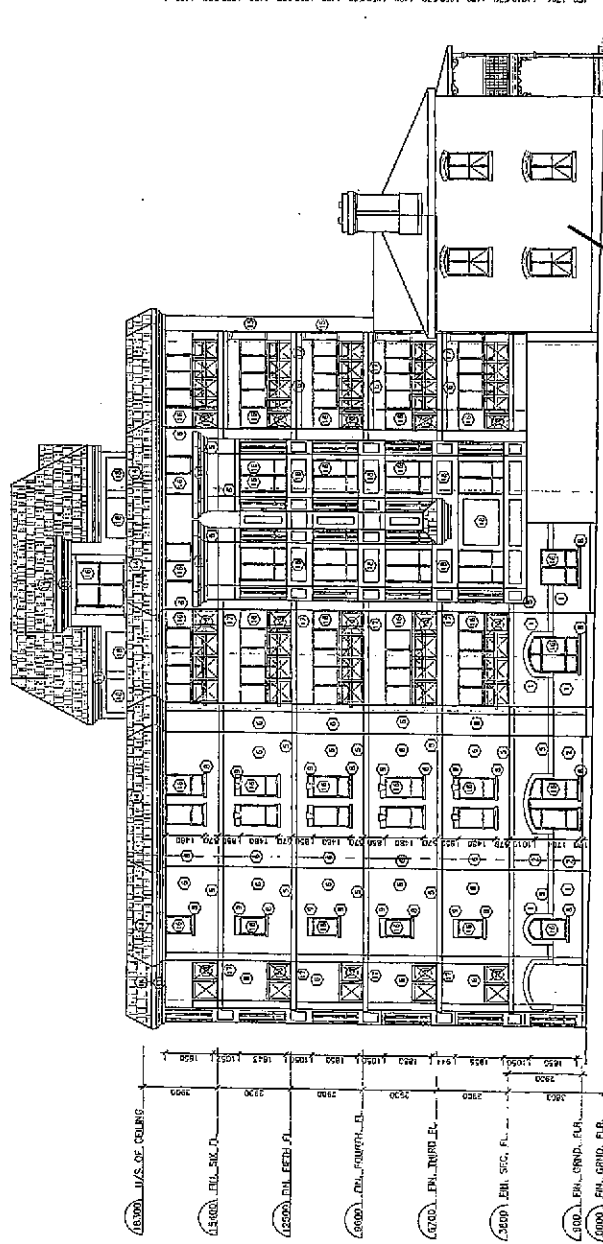
Development Planning Department

North Elevation

Part Lot 9,
Concession 7

APPLICANT:
MARKET LANE HOLDINGS LTD.

NA.05.01 ATTACHMENTS VA.05.05.010

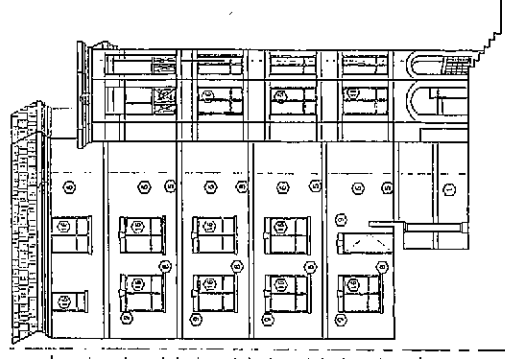


WEST ELEVATION

*Existing
Inkerman Hotel*

**BUILDING MATERIALS
(FOR ELEVATIONS ONLY)**

- 1 ANCH FACE BRICK
- 2 FACE BRICK (TYPE 1)
- 3 FACE BRICK (TYPE 2)
- 4 BRICK ACQUIT
- 5 BRICK SUBSTIT. ROOFING
- 6 STUCCO PANEL
- 7 STUCCO ACQUIT
- 8 PROJECT WALL
- 9 PROJECT TERRAZZO
- 10 PROJECT TERRAZZO
- 11 ROOF CORNER (ENDING)
- 12 WOOD LAMBER FINISH
- 13 COATED ROOFING
- 14 ASPHALT SHINGLES
- 15 GUTTERING DOWNSPOUT
- 16 ALUM. SIDING & WINDOWS
- 17 CONCRETE CONSOLE
- 18 WOOD FINISHING



WEST ELEVATION
(EAST OF INKERMAN HOTEL)

Not to Scale

West Elevation

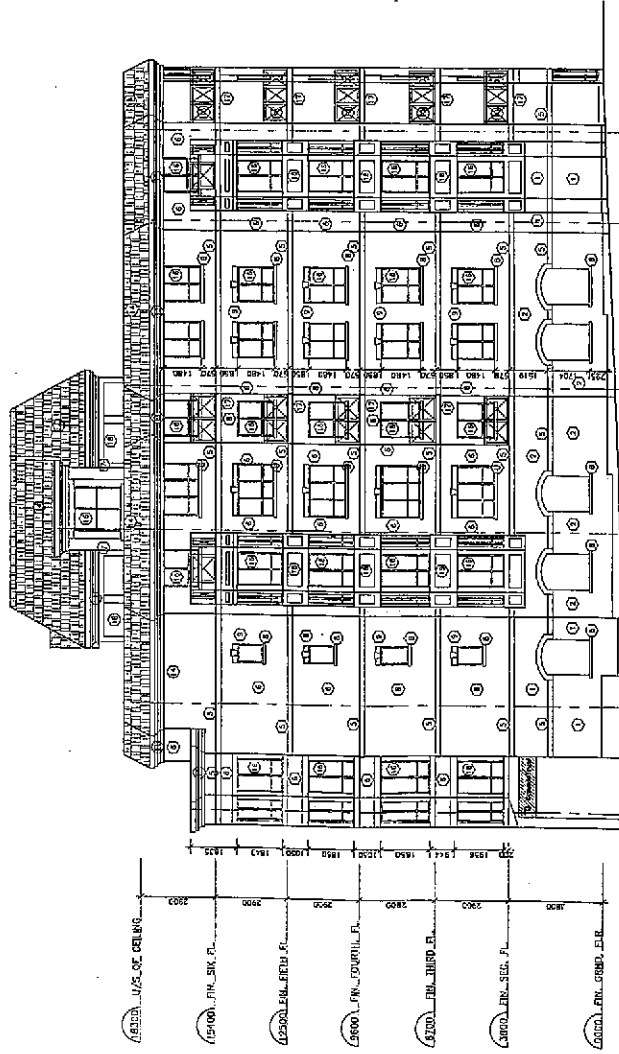
Part Lot 9,
Concession 7
APPLICANT:
MARKET LANE HOLDINGS LTD.
N:\DFT\1 ATTACHMENTS\DA\05.05.10



Development Planning Department

Attachment 7

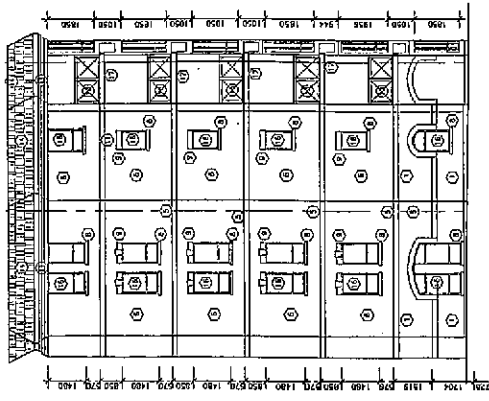
FILE No's:
DA.05.010, Z.02.068
& Z.05.038
November 24, 2005



EAST ELEVATION

**BUILDING MATERIALS
(FOR ELEVATIONS ONLY)**

- 1 ASH FACE CLAD
- 2 FACE BRICK (TYPE 1)
- 3 FACE BRICK (TYPE 2)
- 4 BRICK ACCENT
- 5 BRICK SQUARE CORNER
- 6 STAINED PANEL
- 7 STAINED WOOD
- 8 WOOD BAL
- 9 WOOD PANEL
- 10 WOOD TRIM
- 11 WOOD TRIM
- 12 ROOF CORNER (GABLE)
- 13 WOOD LATH & PLASTER
- 14 GROUT FINISH
- 15 ADHESIVE GRANITE
- 16 GRANITE COLUMN
- 17 ALUM. SIDING & TRIM
- 18 DRESSED CONCRETE
- 19 WOOD FINISH



EAST ELEVATION
(INTERIOR - FACING LANDSCAPE AREA)

Not to Scale

East Elevation

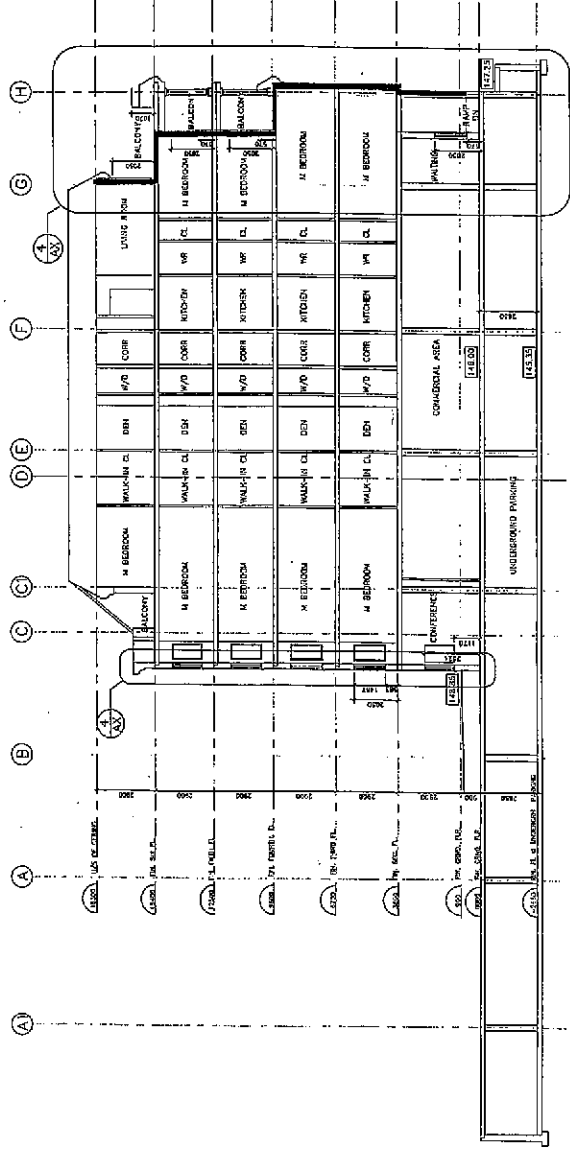
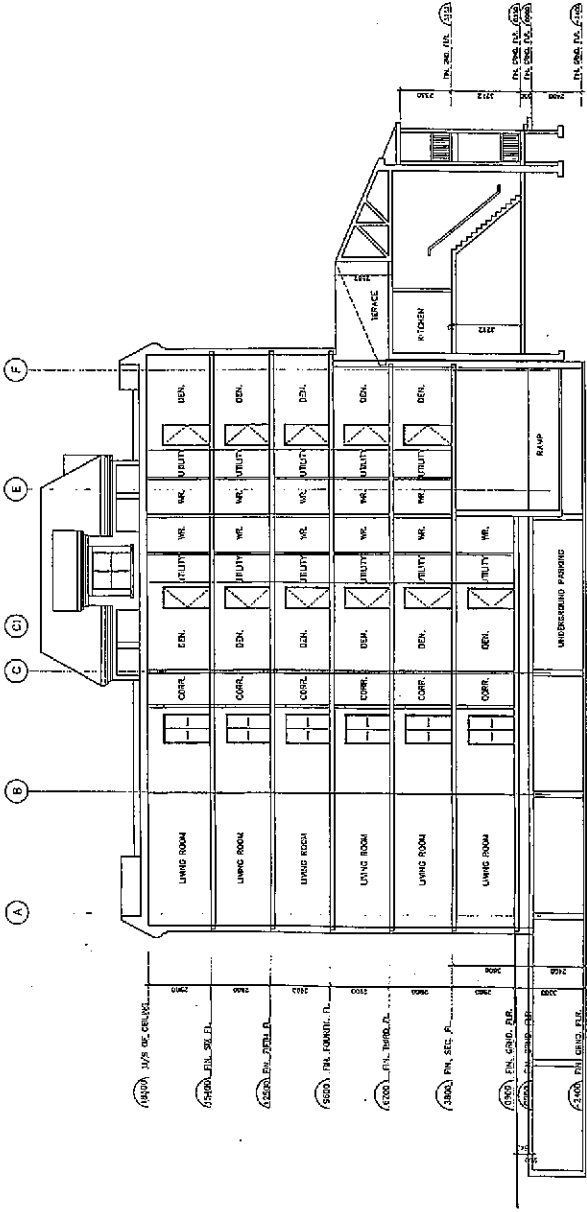
Part Lot 9,
Concession 7
APPLICANT:
MARKET LANE HOLDINGS LTD.
NA\BFTV1\ATTACHMENTS\DAY\05.05.10



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Attachment 8

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& Z.05.038
November 24, 2005



Not to Scale

Building Cross Sections

Part Lot 9,
Concession 7
APPLICANT:
MARKET LANE HOLDINGS LTD.
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Attachment 9

FILE No's.:
DA.05.010, Z.02.068
& Z.05.038

November 24, 2005