

## **COMMITTEE OF THE WHOLE FEBRUARY 19, 2007**

### **SITE DEVELOPMENT FILE DA.06.076** **YORK CATHOLIC DISTRICT SCHOOL BOARD**

#### **Recommendation**

The Commissioner of Planning recommends:

1. THAT Site Development File DA.06.076 (York Catholic District School Board) BE APPROVED, to permit the construction of a two-storey elementary school as shown on Attachment #2, subject to the following conditions:
  - a) that prior to the issuance of a building permit:
    - i) the final site plan, landscape plan, and building elevations shall be approved to the satisfaction of the Development Planning Department;
    - ii) the final site grading and servicing plan, storm water management report, access, parking and on-site circulation be approved to the satisfaction of the Engineering Department;
    - iii) the Owner shall satisfy all hydro requirements of Powerstream Inc.; and,
    - iv) that the implementing Zoning By-law respecting day nurseries (ie. day care centre) in Public and Catholic Schools (File Z.06.056) be in full force and effect, prior to issuing the permit for the one-storey day nursery.
2. The York Catholic District School Board shall hereby be advised that no unauthorized alterations shall be made to the approved site plan, including changes to the physical design as it relates to the traffic circulation in and around the school, without first obtaining approval from the City.

#### **Economic Impact**

There are no requirements for new funding associated with this report.

#### **Purpose**

The Owner has submitted a Site Development Application for a proposed two-storey elementary school on the subject lands shown on Attachment #1. The proposed school includes 25 classrooms, a gym, a library and an attached one-storey day nursery and child daycare centre with 3 playrooms as shown on Attachment #2. The pertinent site statistics are as follows:

Total Site Area:	2.2068 ha
Landscaped Area:	1.1628 ha
Ground Floor Area:	3,486 m <sup>2</sup>
Lot Coverage:	15.8%
Building Height:	10.5 m
Proposed Classrooms:	25
Future Classrooms:	8
Future Portables:	6
Required Parking:	57
Proposed Parking:	68

## **Background - Analysis and Options**

### **Location**

The subject lands as shown on Attachment #1 are located south of Kirby Road and east of Keele Street, more specifically on the south side of Ravineview Drive, between Village Vista Way and Peak Point Boulevard, within Part of Lot 30, Concession 3, Planning Block 20, City of Vaughan. The site has an area of 2.2068 ha, with frontage of 171.95 m on Ravineview Drive and a depth that ranges from 11.07 m to 131.66 m. The site is currently vacant and the surrounding land uses are:

- North - Ravineview Drive; residential dwellings (RV3 Residential Urban Village Three Zone and RV4(W.S) Residential Urban Village Four Zone)
- South - vacant - proposed park (OS2 Open Space Park Zone)
- East - Peak Point Boulevard; residential dwellings (RV4 and RV4(W.S) Residential Urban Village Four Zones)
- West - Village Vista Way; residential dwellings (RV2 Residential Urban Village Two Zone, RV3 Residential Urban Village Three Zone, RV4 Residential Urban Village Four Zone and RVM1(A) Residential Urban Village Multiple Dwelling Zone)

### **Official Plan**

The subject lands are designated "North Maple Residential Area - Special Residential" (western portion) under OPA #332 and "Oak Ridges Moraine - Settlement Area" (eastern portion) under OPA #604 (Oak Ridges Moraine Conformity Plan).

The uses permitted in OPA #332 are subject to a revised Comprehensive Development Plan that was approved by Council in January 2000. The subject lands were set aside as a Residential reserve block in the approved Comprehensive Development Plan and Draft Plan of Subdivision for potential use for condominium apartments or a nursing home. However, during the review of the Draft Plan of Subdivision, there was a shortage of public schools identified in the Maple community. The subject lands were sized accordingly on the Draft Plan of Subdivision (File 19T-02V07) for a potential school site as the School Board demonstrated an interest in acquiring the subject lands.

Section 5 of OPA #604 permits development in the "Settlement Area" of the Oak Ridges Moraine with the intent of minimizing the encroachment and impact of development on the ecological functions and hydrological features of the Oak Ridges Moraine Conservation Plan Area. Section 5.1.b.iv) states that an application for site plan approval under the Planning Act is not required to comply with Section 5 of the Oak Ridges Moraine Plan where the application is on lands that do not include a key natural heritage feature or a hydrologically sensitive feature. The subject lands do not contain any of the above-noted features.

The proposed development conforms to the Official Plan.

### **Zoning**

The subject lands are zoned RV3 Residential Urban Village Three Zone by By-law 1-88, and further subject to Exception 9(946-B), which permits a public school use on the subject lands.

The School Board is proposing a day nursery within the new school, which is not permitted under the current zoning provisions of By-law 1-88. However, the Public and Catholic School Boards have initiated a Zoning By-law Amendment (File Z.06.056) to permit a day nursery (ie. day care centre) as-of-right in all Public and Catholic schools. The application was approved by Council on January 29, 2007. Council subsequently enacted the implementing zoning by-law (By-law 20-

2007) on January 29, 2007, which will be subject to a 20 day appeal period in accordance with the Planning Act.

Accordingly, it is recommended that a building permit for the one-storey day nursery be withheld until the implementing zoning by-law is in full force and effect. A condition of approval is included in this report.

#### Site Design

The proposed site plan is shown on Attachment #2. The proposed elementary school is located in the northwest portion of the site, and is two-storeys in height with a gross floor area of 5,665 m<sup>2</sup>. The school includes 25 classrooms, a gym, a library and an attached one-storey day nursery with 3 playrooms. The proposed school site includes a junior soccer field situated north of a future public park. The main entrance of the school fronts onto Ravineview Drive. A future addition is illustrated on the east side of the school, located between the proposed school and the main parking area. A future Site Development Application is to be required to facilitate the proposed addition, prior to its construction. Six future portables are proposed to be located between the school and the park to the south.

There is a one-way driveway in front of the school with an in/out-only access on Ravineview Drive to be used primarily by school buses. The drop-off area for parent use is located to the east of the school and accessed through the main parking area from Peak Point Boulevard. The garbage pick-up area is located at the southwest corner of the building and is accessed from Village Vista Way. An eight car parking lot is also located adjacent to the service area.

The final site plan shall be approved to the satisfaction of the Development Planning Department.

#### Landscaping

The site is proposed to be landscaped with a mix of coniferous and deciduous trees and shrubs as shown on Attachment #3. The landscape plan consists primarily of deciduous trees located around the perimeter of the site within a 6 m wide landscaped strip, together with coniferous trees and some small shrubs. The main driveway entrance on Ravineview Drive is accented with small shrubs at the entrance and along the driveway.

Chain link fencing separates each of the play areas from the adjacent parking lots and driveways, and is also used along the perimeter of the proposed day nursery and kindergarten play area and adjacent to the soccer field. The site plan and overall landscaping plan is designed to integrate with the future public park to the south.

The final landscape plan must be approved to the satisfaction of the Development Planning Department.

#### Building Elevations

The proposed building elevations are shown on Attachment #4. The proposed school is primarily rectangular in shape and has a flat roof. The building is finished primarily in beige, brown, burgundy and green masonry, with a finished metal siding enclosure screening the roof-top mechanical units. The main entrance to the school is located on the north side of the building facing Ravineview Drive and has been designed using a variety of the standard field brick (brown) accented with burgundy and green masonry brick surrounding the doors and glass windows.

The three remaining elevations have been designed in a similar fashion consisting primarily of the field brick (brown) together with the accent brick (beige) and green and burgundy glazed masonry above the windows and doors. There is one overhead door located on the south elevation to accommodate garbage pick-up and service access into the school.

### Access

Vehicular access to the site is provided along each of the three abutting streets as shown on Attachment #2. The driveway on Ravineview Drive permits access to and from the school intended primarily for bus use. This driveway also provides access to a 9 car parking area at the northwest portion of the site. Access to the main parking area and parent drop-off area located east of the school is provided via a separate driveway from Peak Point Boulevard. The driveway from Village Vista Way provides access to the service area and an 8 car parking area located in the southwest portion of the site.

There are 68 parking spaces provided in three parking areas on the site. There is one primary parking area located in the easterly portion of the property with access to Peak Point Boulevard. There are two smaller parking lots in the westerly and northerly portions of the property with access from Village Vista Way and Ravineview Drive, respectively.

### Parking

By-law 1-88 requires that the minimum parking requirements for the proposed elementary school be calculated as follows:

- 1.5 spaces/teaching classroom:  $33(25 \text{ proposed} + 8 \text{ future}) \times 1.5 = 50$
- Day Nursery @ 1.5 spaces/employee:  $3 \text{ employees} \times 1.5 = 5$
- Total Parking Required = 55 parking spaces
- Parking Proposed 68 parking spaces

A surplus of 13 parking spaces is proposed. This surplus will also satisfy the minimum parking requirement of 9 spaces for the 6 portable units when these structures are installed. In addition, 3 spaces for the physically challenged are proposed, which satisfies the minimum By-law requirement.

### Services

The site will be serviced by hydro, water, and sanitary and storm sewers. The final site servicing and grading plan and storm water management report, must be approved to the satisfaction of the Engineering Department.

All hydro requirements must be addressed by the Owner, to the satisfaction of PowerStream Inc.

### Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

### Conclusion

The Development Planning Department has reviewed Site Development File DA.06.076 (York Catholic District School Board) in accordance with the policies of the Official Plan and the requirements of Zoning By-law 1-88, and is satisfied that the proposed development of a two-storey elementary school will facilitate the appropriate development of the site, subject to the conditions of approval outlined in this report. On this basis, the Development Planning Department recommends approval of the Site Development Application.

**Attachments**

1. Location Map
2. Site Plan
3. Landscaped Plan
4. Elevation Plan

**Report prepared by:**

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Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

MARCO RAMUNNO  
Director of Development Planning

/CM



OS5  
(OPEN SPACE)

**OS5**  
(OPEN SPACE)

## Location Map

Part Lot 30,  
Concession 3

APPLICANT:

YORK CATHOLIC DISTRICT SCHOOL BOARD

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**City of Vaughan**

Development Planning Department

# Attachment

FILE No.:  
DA.06.076

**Not to Scale**

January 30, 2007

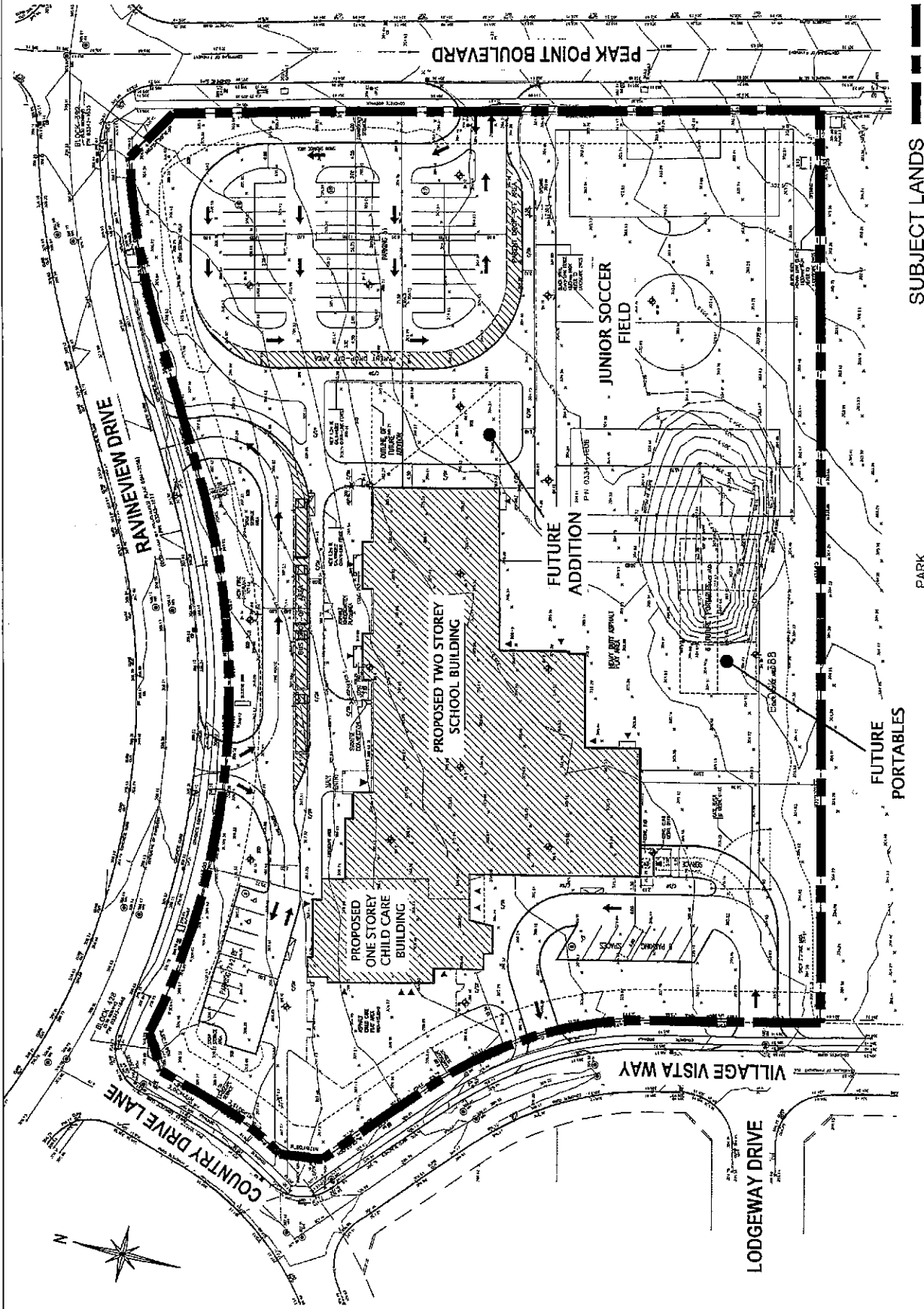


## LEGEND

DS2 - OPEN SPACE PARK ZONE  
DS5 - OPEN SPACE ENVIRONMENTAL  
PROTECTION ZONE  
RD1 - RESIDENTIAL DETACHED ZONE THREE  
RD4 - RESIDENTIAL DETACHED ZONE FOUR  
RV2 - RESIDENTIAL URBAN VILLAGE ZONE TWO  
RV3 - RESIDENTIAL URBAN VILLAGE ZONE THREE  
RV4 (WS) - RESIDENTIAL URBAN VILLAGE ZONE FOUR  
RVMT1A (BWS-B) - RESIDENTIAL URBAN VILLAGE  
MULTIPLE ZONE ONE

## SUBJECT LANDS





## Site Plan

Part Lot 30,  
Concession 3

APPLICANT:

YORK CATHOLIC DISTRICT SCHOOL BOARD

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City of  
**Vaughan**

Development Planning Department

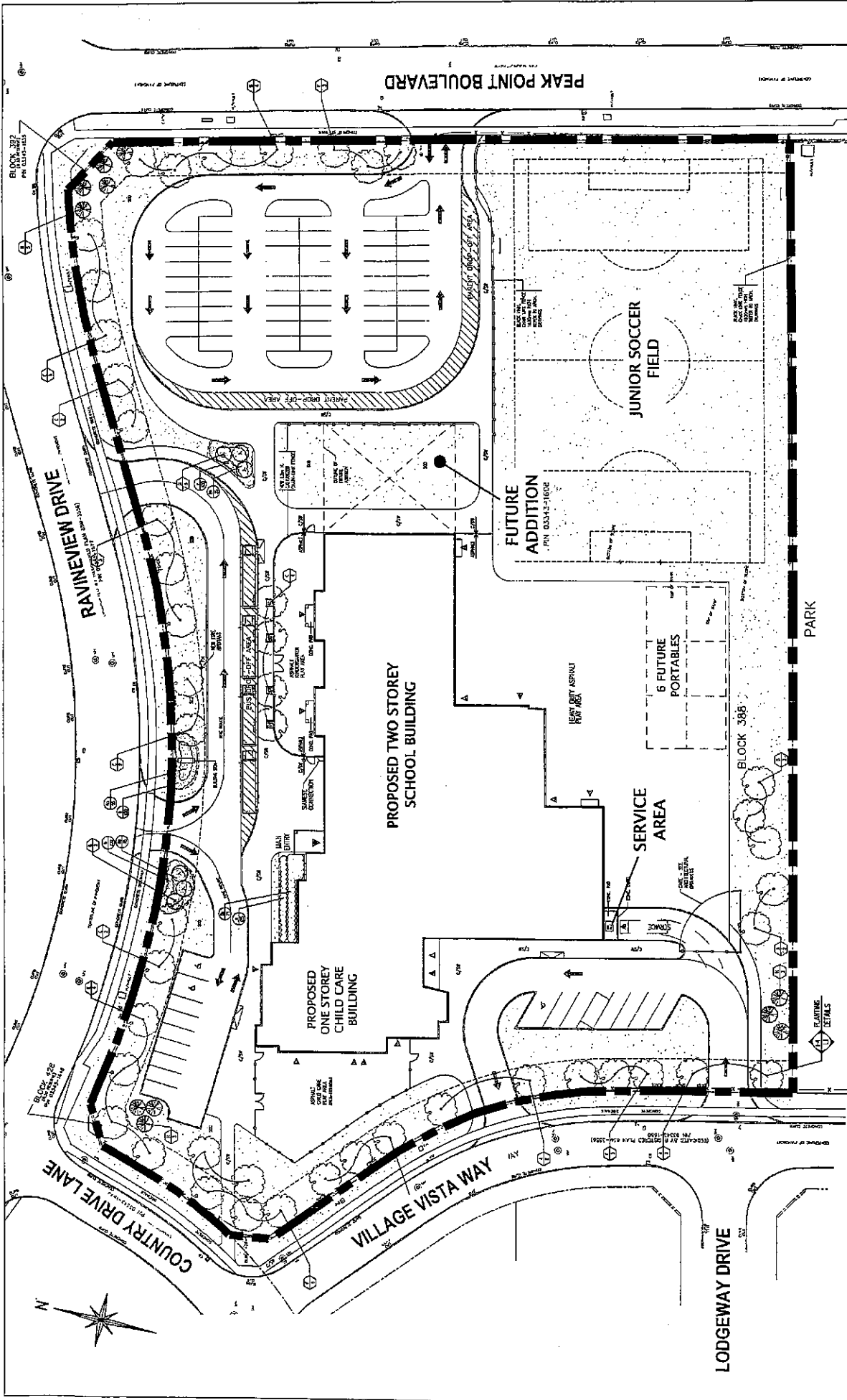
## Attachment

# 2

FILE No.:  
DA.06.076

Not to Scale

January 30, 2007



# Attachment 3

FILE No.:  
DA.06.076

Not to Scale

January 30, 2007

City of  
**Vaughan**

Development Planning Department

## Landscape Plan

Part Lot 30,  
Concession 3

APPLICANT:  
YORK CATHOLIC DISTRICT SCHOOL BOARD

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**NORTH ELEVATION (FACING RAVINEVIEW DRIVE)**

Architectural drawing of the rear elevation of the building. The drawing shows a long, low structure with multiple windows and a central entrance area. The drawing includes a north arrow pointing towards the top right. The elevation is labeled "REAR ELEVATION" and "REAR SIDE ELEVATION".

Architectural drawing of a building facade, showing a long, multi-story structure with numerous windows and a central entrance. The drawing includes a scale bar (0 to 100 feet) and a north arrow. The building is labeled "FACADE" and "SECTION".

Architectural drawing of a building facade. The drawing shows a long, low building with a series of windows. On the right side, there is a large, prominent entrance with a gabled roof. The drawing includes a scale bar at the bottom left, indicating a length of 10 meters. The drawing is oriented horizontally, with the building's length running from left to right.

# Elevation Plan

Part Lot 30,  
Concession 3

APPLICANT:  
YORK CATHOLIC DISTRICT SCHOOL BOARD

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**City of Vaughan**

Development Planning Department

# Attachment


FILE No.:  
DA.06.076


Not to Scale


January 30, 2007




### LEGEND

**ART-1 (FEBR BRICK)**  

 15mm x 15mm x 150mm.  
 For Manicatures, Color and Volume  
 Price to Specialists

**ART-2 (ACCENT BRICK)**  

 Size: 15mm x 15mm x 150mm  
 For Manicatures, Color and Volume  
 Price to Specialists

**ART-3 (GLAZED MASONRY UNIT)**  

 Size: 15mm x 15mm x 150mm  
 For Manicatures, Color and Volume  
 Price to Specialists

**ART-4 (ROCKING STONE)**  

 Size: 15mm x 15mm x 150mm  
 For Manicatures, Color and Volume  
 Price to Specialists