

COMMITTEE OF THE WHOLE MEETING - MAY 7, 2001

SITE DEVELOPMENT APPLICATION

1391369 ONTARIO LTD. (DAEWOO)

FILE: DA.00.079

(Referred from Council meeting of April 30, 2001)

Recommendation

The Commissioner of Planning & Urban Design recommends:

THAT Site Development Application DA.00.079 (1391369 Ontario Ltd.) BE APPROVED, subject to the following conditions:

- a) that prior to the execution of the site plan agreement:
 - i. the final site plan, including the replacement of the painted lines at the base of the east wall and the pedestrian connection with inter-lock paving, and the elevation drawings, shall be approved by the Community Planning Department;
 - ii. the final landscape plan shall be approved by the Urban Design Department;
 - iii. the final site servicing and grading plans and stormwater management report shall be approved by the Engineering Department;
 - iv. access and on-site vehicular circulation shall be approved by the Engineering Department and the Region of York Transportation and Works Department; and,
 - v. all requirements of Hydro Vaughan Distribution Inc. shall be satisfied.
- b) that the site plan agreement include the following provisions:
 - i. the Owner shall dedicate any required road widenings, daylight triangles and 0.3m reserves, free of all costs and encumbrances, to the appropriate agency or authority as required; and,
 - ii. the Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands in accordance with the Planning Act, prior to the issuance of a building permit. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Location

- Southwest corner of Yonge Street and Bunker Road (8248 Yonge Street)
- Block C on Registered Plan M-681
- Part of Lot 34, Concession 1, City of Vaughan

Background

Proposal

On August 8, 2000, the Owner submitted a Site Development Application to redevelop a 0.28 ha service station site for a 1-storey, 461.1m² motor vehicle sales establishment (Daewoo) including a vehicle showroom, service bays, administrative offices and a customer waiting area, with 35 parking spaces.

Land Use Status

- Designation - "Service Station" by OPA #210 (Thornhill-Vaughan Community Plan)
- Zoning - C6 Highway Commercial Zone by By-law 1-88

Site Description

- a 0.28 ha irregular-shaped site, with 41.5 m frontage on Bunker Road and 41.7 m flankage on Yonge Street
- developed with a service station building
- the surrounding land uses are:
 - North - Bunker Road; residential (R2 Residential Zone)
 - South - 1-storey commercial building (C1 Restricted Commercial Zone) and Langstaff School (R1V Old Village Residential Zone)
 - East - Yonge Street; commercial (Town of Markham)
 - West - residential and park (R1V Old Village Residential Zone)

Official Plan

The "Service Station" designation permits the sale of petrol, oil and lubricants, and the repair, maintenance and servicing of vehicles. The policies also permit designated service station sites to be developed in accordance with the adjacent land use designation. The "General Commercial" designation to the south permits retail stores for the buying, leasing and exchanging of goods and services, restaurants, banks, and business and professional offices, which would permit a motor vehicle sales establishment use. The proposed use conforms to the policies of the Official Plan.

Zoning

The C6 Highway Commercial Zone permits an automobile gas bar and service station, car wash, car rental agency, eating establishment including convenience and take-out operated in conjunction with a service station, hotel and motel, and a public garage for the care, repair or equipping of motor vehicles, but not a motor vehicle sales establishment use.

On June 26, 2000, Council approved Zoning Amendment Application Z.00.001 (1391369 Ontario Ltd.) to permit a motor vehicle sales establishment use, with exceptions for a 6.5 m rear yard (south) and a 3 m wide landscape strip along Yonge Street. The implementing by-law was to be enacted upon Council's approval of the site plan application.

Site Design

The site plan consists of a 1-storey, 461.1 m² building for motor sales use, including a front showroom for 10 cars, 4 service bays accessed from the rear, together with parts, storage, administrative offices and a customer waiting area. A full-movement access is to be provided on Yonge Street and a right-in/right-out driveway on Bunker Road.

Building Elevations

The 1-storey, flat roofed building is centrally located on the site, with the focal point being the 9.2 m high parapet at the northeast corner. The building consists of a salmon-coloured stucco façade and parapet, with dark grey architectural block along the base of the building, and smoked tempered glass on all four sides. A thin line of salmon-coloured accent trim runs along the top edge of the glass, with a thicker accent trim running along the edge of the roofline, as well as below the green metal roof pitch of the parapet.

The front elevation (east) consists of an illuminated identification sign, located directly above the windows and doors along the front wall, and two customer entrance points leading into the vehicle showroom. The windows along this elevation open upwards to allow the cars into the showroom.

The rear of the building (west) consists of four service bay doors, a row of smoked tempered glass windows, a customer entrance leading to the parts and service area, and an employee entrance leading to the service bays.

Staff are satisfied with the proposed building elevations.

Parking/Access

By-law 1-88 requires a minimum of 14 parking spaces (461.1m² x 3 spaces/100m² GFA), whereas 35 spaces have been provided, including 1 space for the physically challenged. The site meets the minimum parking requirements with a surplus of 21 spaces. A total of 21 parking spaces are located along the west lot line, with the remaining 14 spaces adjacent to the landscaping on Bunker Road and Yonge Street. A 6 m wide driveway aisle provides continuous movement around the building.

The Engineering Department advises that all vehicles exiting the site shall be directed to Yonge Street via a full-access driveway on Yonge Street, and a right-in/right-out driveway on Bunker Road. In addition, as per Engineering's direction, the site plan has been revised to show two metal "No Left Turn" signs at the right-in/right-out driveway to Bunker Road.

Parking and on-site vehicular circulation shall be to the satisfaction of the Engineering Department.

The site plan indicates yellow painted lines along the base of the decorative fence and for the pedestrian walkway connection between the building and sidewalk. Staff recommends that the painted lines be revised to inter-lock paving with colours that match the building, and the Applicant has agreed.

Landscaping

The site plan indicates a 6 m wide landscape strip along Bunker Road and a 3 m wide landscape strip along Yonge Street, consisting of deciduous trees, shrubs, bushes and planting beds. The landscape strip along Yonge Street also includes a 1.2 m high decorative metal post fence.

Along the west property line, a 1.8 m high wood acoustic privacy fence, together with an existing 1.5 m high hedge within a 2.4 m wide landscape strip, will screen the residential and school properties to the west. A 1.8 m high wood acoustic fence has also been provided along the south lot line to screen the site from the commercial plaza to the south.

The site includes a 6 m high illuminated pylon sign at the southeast corner of the site, and five 5m high pedestrian scale light standards located along the perimeter of the site. The outdoor light standards must direct light inwards and downwards, and away from the adjacent properties.

The landscape plan shall be to the satisfaction of the Urban Design Department. The parkland dedication requirements must be satisfied through a 2% commercial cash-in-lieu payment, prior to the issuance of a Building Permit.

Servicing

The Engineering Department advises that the subject lands have access to municipal services, including sanitary and storm sewers and water. The Owner has submitted revised engineering

drawings to address minor servicing details, which must be approved by the Engineering Department.

All hydro requirements must be addressed to the satisfaction of Hydro Vaughan Distribution Inc. The Region of York has advised that they have no objection to the site plan, subject to conditions, which will be appended to the site plan agreement.

Conclusion

Staff have reviewed the proposed site plan in accordance with the policies of the Official Plan and Zoning By-law, and have no objections to the proposed commercial development.

Therefore, Staff recommends approval of the Site Development Application to permit a motor vehicle sales establishment, subject to conditions. This would include the replacement of the painted lines at the base of the east decorative fence and the pedestrian connection with inter-lock paving. Should the Committee concur, the Recommendation in this report can be adopted.

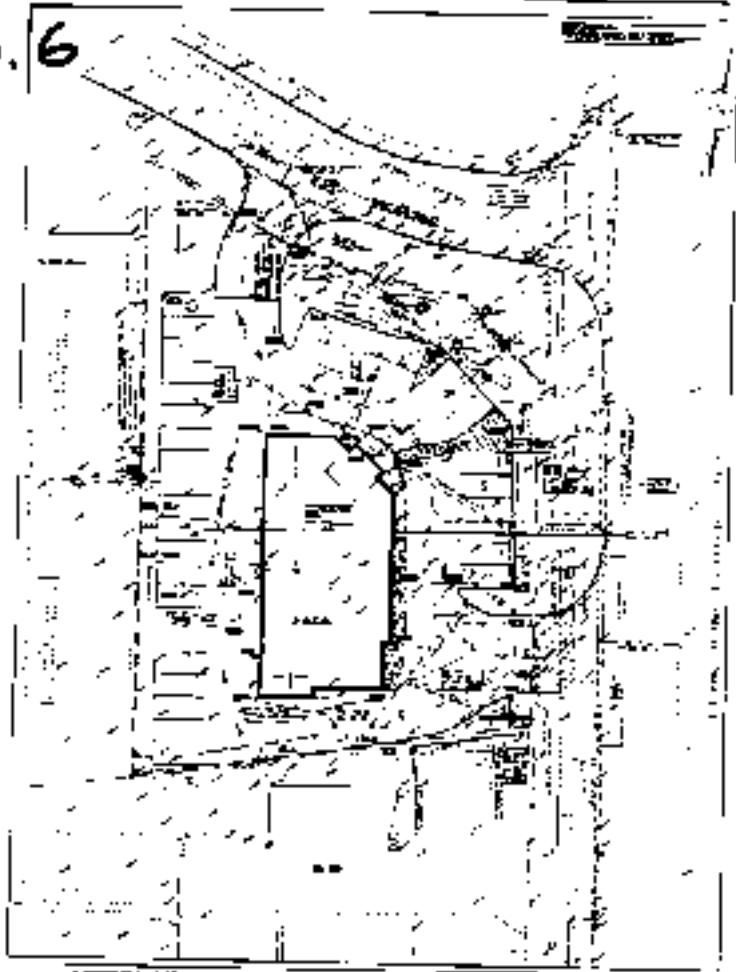
Attachments

1. Location Map
2. Site Plan
3. Elevations
4. Landscape Plan
5. Council Extract, Item 9, Report No. 32 of the Committee of the Whole

Report prepared by: Jason Sheldon, Planner 1, ext. 8320
Grant A. Uyeyama, Senior Planner, ext. 8635
Bianca M.V. Bielski, Manager, Development Planning, ext. 8485

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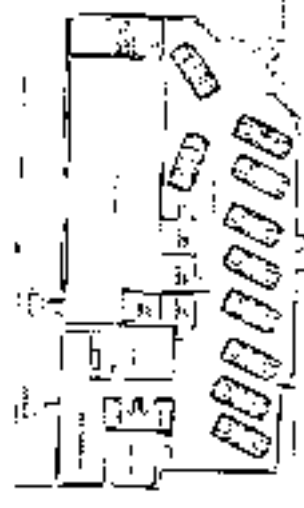
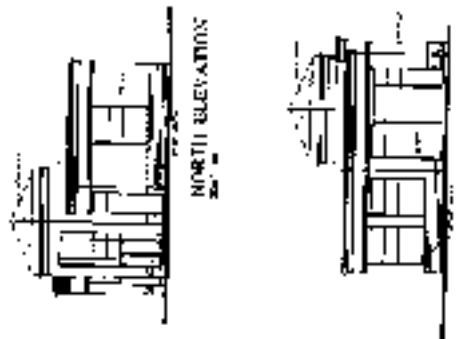
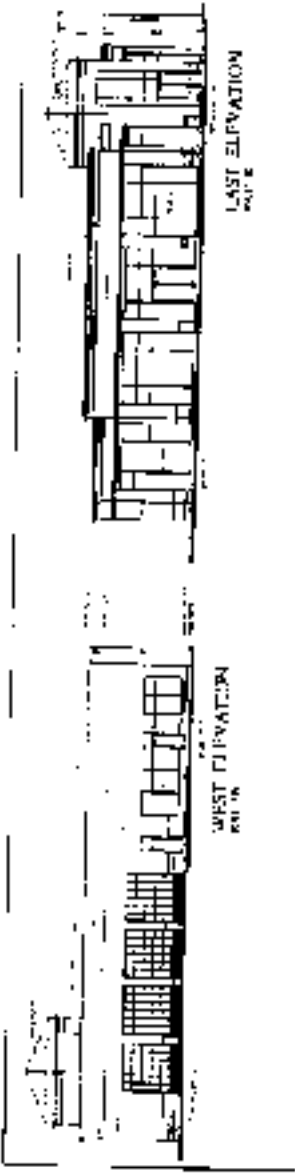


<p>Legend</p> <p>1. Proposed Building Footprint</p> <p>2. Existing Building Footprint</p> <p>3. Proposed Parking</p> <p>4. Existing Parking</p> <p>5. Proposed Driveway</p> <p>6. Existing Driveway</p> <p>7. Proposed Easement</p> <p>8. Existing Easement</p> <p>9. Proposed Utility</p> <p>10. Existing Utility</p> <p>11. Proposed Fencing</p> <p>12. Existing Fencing</p> <p>13. Proposed Site Boundary</p> <p>14. Existing Site Boundary</p>
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<p>ATTACHMENT 12</p> <p>SITE PLAN</p>	<p>P.L. #</p> <p>04.00370</p>	<p>PROJECT #</p> <p>17 17 26 000</p>	<p>DATE</p> <p>April 27, 2001</p>
	<p>BY</p> <p>17 17 26 000</p>	<p>FOR</p> <p>17 17 26 000</p>	<p>SCALE</p> <p>NOT TO SCALE</p>

1-800-541-6677(557.5176)

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ATTACHMENT 2
LLEWYN

1000 2000
PROJECT NO. 1000

DATE: 10/15/2011
 DRAWN BY: J. SMITH
 CHECKED BY: J. SMITH
 PROJECT NO.: 1000 (REV. 1.0)

EXTRACT FROM COUNCIL MEETING MINUTES OF APRIL 30, 2001

Item 5. Report No. 32, of the Committee of the Whole, which was adopted, as amended by the Council of the City of Vaughan on April 30, 2001, as follows:

By referring this matter to the Committee of the Whole meeting of May 7, 2001.

**9. SITE DEVELOPMENT APPLICATION
1291359 ONTARIO LTD. (DAEWON)
FILE DA00079**

The Committee of the Whole recommends:

- 1) That this matter be referred to the Council meeting of April 30, 2001; and
- 2) That the coloured elevation drawing submitted by the applicant be received.

Recommendation:

The Committee of Planning & Urban Design recommends:

THAT Site Development Application DA00079 (1291359 Ontario Ltd.) **BE APPROVED**, subject to the following conditions:

- i) that prior to the execution of the site plan agreement
 - a) the final site plan, including the replacement of the parking area at the west end of the east wall and the outdoor amenity area with minor landscaping and tree elevation drawings, shall be approved by the Community Planning Department;
 - b) the final landscape plan shall be approved by the Urban Design Department;
 - c) the final site servicing and grading plans and a stormwater management report shall be approved by the Engineering Department;
 - d) access and site level calculations shall be approved by the Engineering Department and the Region of York Transportation and Works Department; and
 - e) all requirements of Hydro-Vaughan Distribution Inc. shall be satisfied.
- ii) that the site plan agreement include the following provisions:
 - a) the Owner shall provide any required road widening, daylight trenches and 3.0m reserved, 1.0m 2.0m and 3.0m wide easements, to the appropriate agencies or authority as required; and
 - b) the Owner shall pay to the City by way of certified cheque, cash or less of the occasion of parking equivalent to 25% of the value of the subject lands in accordance with the Parking Act, or its the applicable by-law permit. The Owner shall submit an approval request to an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division and the approved appraiser shall submit to the City on the cash in full payment.

Location:

- 1) Southwest corner of Yonge Street and Bunker Road (1824) Yonge Street
- 2) Block 7 in Registered Plan M1991
- 3) Part of Lot 24, Concession 3, Town of Vaughan

EXTRACT FROM COUNCIL MEETING MINUTES ON APRIL 30, 2003Item 5. W. Hoggan Ho. 30 - ZoningBackgroundProcess

On August 8, 2000, the Owner submitted a Site Development Application to develop a 6,021 sq. metre site located at 11 Yonge St. (4611 km² lot) for vehicle sales, service, repair, maintenance, service bays, administrative offices and a car wash with 20 parking spaces.

Location/Status

- Designated "Service Station" by OPA #210 of Town of Vaughan Community Plan
- Zoning - CA Highway Commercial Zone by By-Law 188

Site Description

- A 6,021 sq. metre irregular site with 41.5 m frontage on Bunker Road and 27.7 m frontage on Yonge Street
- developed with a Service Station layout
- the surrounding context is as follows:

North - Bunker Road, potential R2 Residential Zone
 South - 11 Yonge Street, potential C1 Restricted Commercial Zone and potential
 Future R1V (40-40) Residential Zone
 East - Yonge Street, Commercial (Town of Markham)
 West - residential and past R1V Old Village Residential Zone

Official Plan

The "Service Station" designator permits the sale of parts, oil and lubricants and the repair, maintenance and servicing of vehicles. The official OPA permit designated service station may be developed in accordance with the adjacent land use description. The General Government of designation to the south permits retail stores for the buying, leasing and packaging of goods and services, restaurants, cafes, and taverns and professional offices which would permit a motor vehicle sales establishment. The proposed use conforms to the policies of the Official Plan.

Zoning

The CA Highway Commercial Zone permits an automobile gas bar and service station, car wash, car detail agency, motor establishment, parking maintenance and repair operation, an automotive with a service station, more and more, and a public garage for the sale, repair or replacement of motor vehicles, and a motor vehicle sales establishment.

On June 28, 2000, Council approved Zoning Amendment Application Z-05-001 (1901 Bunker Road Ltd.) to permit a motor vehicle sales establishment, with exceptions for a R-3 residential (south and east) frontage adjacent to Bunker Street. The implementing by-law was to be enacted upon Council's approval of the site plan application.

Site Design

The site plan consists of a 1,000 sq. m building for office use, including a front showroom for trucks, a service bays accessed from the rear, together with parts storage, administrative offices and a customer waiting area. A full-service car wash to be provided at Yonge Street and a 40-m² off-site delivery or dumpster located

EXTRACT FROM COUNCIL MEETING MINUTES OF APRIL 30, 2003Item 9. City Report No. 39 Page 3Public Enquiries

The 1-storey, flat-roofed building is centrally located on the site, with the local door being the 9.2 m high entrance at the north-east corner. The building consists of a semi-transparent screen, light and shaded with dark grey architectural blocks along the main of the building, and smoked, tempered glass on all four sides. A thin line of semi-transparent screen runs along the top edge of the glass, with a gutter around the building along the edge of the screen, as well as below the green metal roof-pitch of the parapet.

The front elevation (east) consists of an illuminated identification sign, located directly above the windows and doors along the front wall, and two customer entrance points, leading into the vehicle showroom. The entrance along the elevation then proceeds to show the cars and the showroom.

The rear of the building (west) consists of four service bay doors, a row of smoked tempered glass windows, a customer entrance leading to the parts and service area, and an employee entrance leading to the service bay.

Signage consistent with the proposed building is available.

Site Planning

By-laws 1.68 requires a minimum of 14 parking spaces (800 m^2 x 0.3 spaces/ m^2 area), whereas 36 spaces have been provided, including 7 spaces for the physically challenged. The site meets the minimum parking requirements with a surplus of 22 spaces. A total of 24 parking spaces are located along the west side, with the remaining 12 spaces adjacent to the landscaping on Bunker Road and Forge Street. A 6 m wide driveway area provides continuous movement around the building.

The Engineering Department advised that all vehicles using the site shall be directed to Forge Street via a full-access driveway on Forge Street, and a right-of-way driveway on Bunker Road. In addition, as per Engineering's direction, the site plan has been revised to show two (two) 'No Left Turn' signs at the right-hand end of driveway to Bunker Road.

Parking and on-site vehicular circulation shall be in the satisfaction of the Engineering Department.

The site plan includes yellow painted lines along the base of the decorative fence and for the pedestrian way-way connection between the building and sidewalk. Staff recommends that the painted lines be revised to include paving unit colours that match the building and the Applicant's signage.

Landscaping

The site plan indicates a 6 m wide landscape strip along Bunker Road and a 6 m wide landscape strip along Forge Street, with site planted with Juniper trees, shrubs, and flowering beds. The landscape strip along Forge Street also includes a 1.2 m high decorative metal bollard fence.

Along the west property line, a 1.8 m high wood acoustic privacy fence, together with an existing 1.5 m high hedge with a 2.4 m wide landscape strip, will screen the residential and vehicular properties to the west. A 1.8 m high wood acoustic fence has also been provided along the south side line to screen the site from the commercial plaza to the north.

The site includes a 6 m high illuminated sign sign at the south-east corner of the site, and two 1 m high pedestrian access light elements located along the perimeter of the site. The outdoor light standards must direct light upwards and downwards, and away from the adjacent properties.

EXTRACT FROM COUNCIL MEETING MINUTES OF APRIL 20, 2021

Item 3, CW Report No. 02 – Page 3

The landscape plan shall be to the satisfaction of the Urban Design Department. The parking and other requirements must be satisfied through a 25% commercial cash-in-lieu payment, prior to the issuance of a Building Permit.

Response

The Engineering Department advises that the subject area have access to municipal services including sanitary and storm sewers and water. The Owner has submitted revised engineering drawings to address minor servicing details, which must be approved by the Engineering Department.

All other requirements must be addressed to the satisfaction of the York Region. Confirmation by the Region of York has advised that they have no objection to the site plan subject to conditions, which will be included in the site plan agreement.

Conclusion

Staff have reviewed the proposed site plan in accordance with the policies of the Official Plan and Zoning By-law, and have no objection to the proposed commercial development.

Therefore, Staff recommends approval of the Site Development Application in permit in most vehicle sales establishments, subject to conditions. This would include the repositioning of the parking lot at the base of the east driveway fence and the pedestrian connection with the existing parking. Should the Committee concur the Recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Elevation
4. Landscape Plan

Report prepared by: Jason Shotton, Planner I, ext. 8596
 Grant A. Uppjuma, Senior Planner, ext. 8635
 Russell M. Riel, Manager, Development Planning, ext. 0445

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A copy of the attached items referred to in the foregoing report have been forwarded to each Member of Council and a copy thereof is also on file in the office of the City Clerk.

