

COMMITTEE OF THE WHOLE JUNE 18, 2001

**DRAFT PLAN OF CONDOMINIUM
ROBERT COLALILLO ENTERPRISES INC. ET AL
FILE: 19CDM-01V04**

Recommendation

The Commissioner of Planning recommends:

THAT Draft Plan of Condominium 19CDM-01V04 (Robert Colalillo Enterprises et al), prepared by Mainline Planning Services Inc., and dated May 17, 2001, BE DRAFT APPROVED, subject to the conditions of draft approval contained within Attachment 1.

Purpose

On May 18, 2001, the Owner submitted an application for a Draft Plan of Condominium for a one-storey, 4-unit employment use building, with a total gross floor area of 4,284.87m², and 85 parking spaces.

Background - Analysis and Options

Location

- Southeast of Pine Valley Drive and Strada Drive, in the Pine Valley Business Park
- Lot 45, Registered Plan 65M-2167 (810 Rowntree Dairy Road)
- Lot 4, Concession 6, City of Vaughan

Official Plan/Zoning

The subject lands are designated "Prestige Area" by OPA #450 (Employment Area Plan), which provides opportunities for industrial development with no outside storage.

The subject lands are zoned EM1 Prestige Employment Area Zone by By-law 1-88, which permits employment uses with no outside storage.

Site Description

The 0.94 ha, rectangular-shaped through lot has 65 m frontage on Rowntree Dairy Road and a depth of 145m. The site abuts Pine Valley Drive, with access from two driveways on Rowntree Dairy Road. The irregular-shaped building containing 4 units (Unit 1: 953 m²; Unit 2: 1,028 m²; Unit 3: 1,115 m²; and Unit 4: 1,180 m²) is centrally located on the site, with 85 parking spaces located around the perimeter of the site and building. Two loading spaces are provided within a courtyard, and are not visible to roads. Landscaping is provided within a 9.1 m strip adjacent to Pine Valley Drive, and a 3.1m strip along Rowntree Dairy Road.

Application Review

The draft plan of condominium is in accordance with the site plan agreement registered on September 27, 1984. The building was constructed in 1984.

Conclusion

The draft plan of condominium is consistent with the approved site plan. Staff has no objections to the draft plan of condominium, subject to conditions. Should the Committee concur, Draft Plan of Condominium 19CDM-01V04 can be draft approved with the adoption of the recommendation of this report.

Attachments

1. Conditions of Draft Approval
2. Location Map
3. Draft Plan of Condominium 19CDM-01V04

Report prepared by:

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Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

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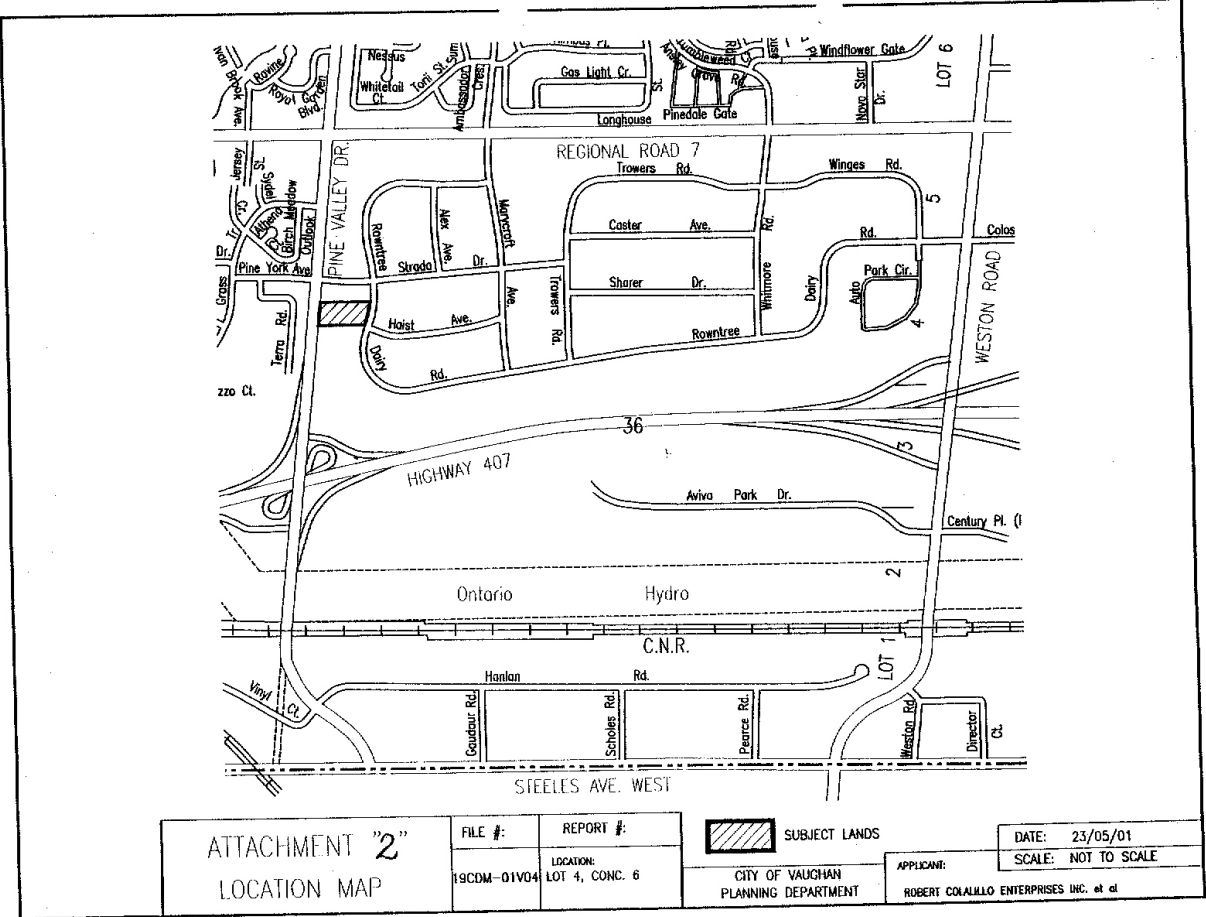
ATTACHMENT NO. 1


CONDITIONS OF DRAFT APPROVAL

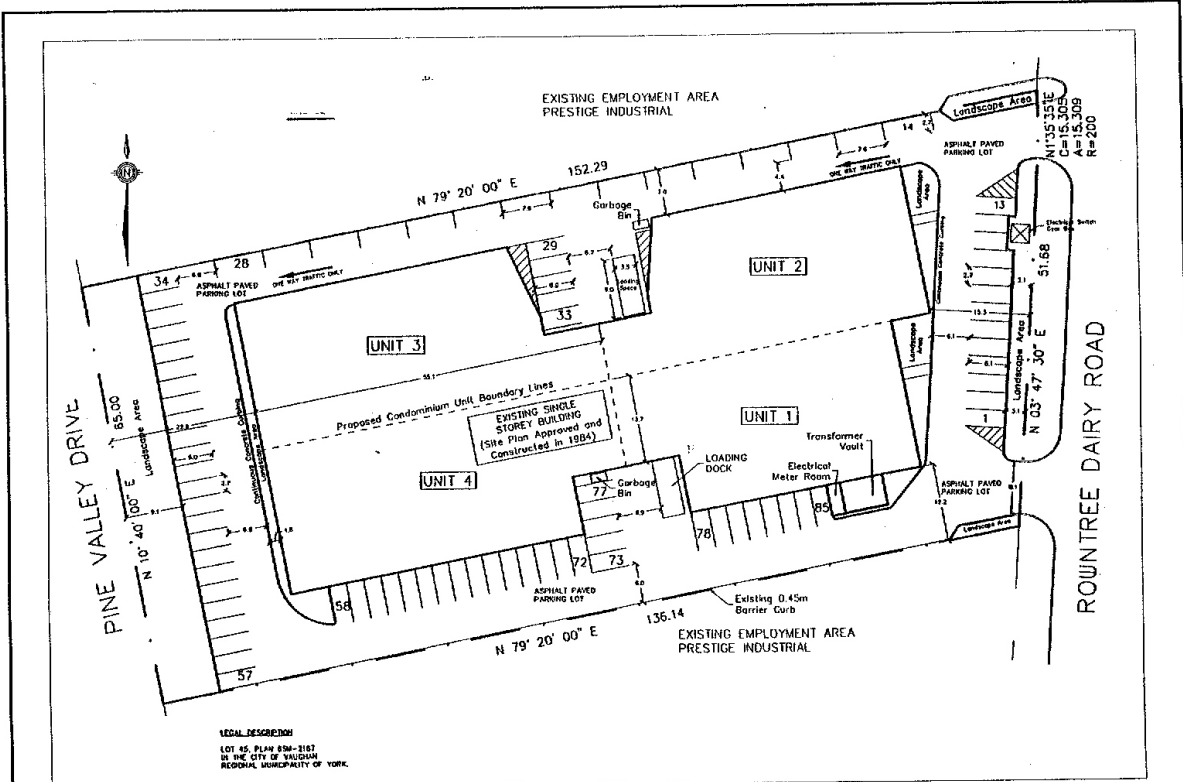
THE CONDITIONS OF THE COUNCIL OF THE CITY OF VAUGHAN THAT SHALL BE SATISFIED PRIOR TO THE RELEASE FOR REGISTRATION OF PLAN OF CONDOMINIUM 19CDM-01V04 (ROBERT COLALILLO ENTERPRISES INC. ET AL), CITY OF VAUGHAN, ARE AS FOLLOWS:

City of Vaughan Conditions:

1. Approval shall relate to a draft plan of condominium prepared by Mainline Planning Services Inc., dated May 17, 2001.
2. Prior to the execution of the condominium agreement, the Owner shall submit a pre-registered plan of condominium to the Community Planning Department.
3. The Owner shall enter into a condominium agreement with the City of Vaughan, and shall agree to satisfy any conditions with respect to such matters as landscaping and site development, as well as, any matters that the City may consider necessary, which may be outstanding from the Site Plan process.
4. The condominium agreement shall be registered on title against the lands to which it applies, at the cost of the Owner.
5. Prior to final approval, the Owner shall submit an "as-built" survey to the satisfaction of the Building Standards Department.
6. Prior to final approval, the Owner shall confirm to the Community Planning Department that all required easements and rights-of-way for utilities, drainage and construction purposes have been granted to the appropriate authorities.
7. Prior to final approval, the Owner shall confirm to the Community Planning Department that they have paid all outstanding taxes, development charges and levies, as may be required by the Finance Department.
8. The following provision shall be included in the condominium agreement:
 - a) the Condominium Corporation shall be responsible to regularly clean and maintain all driveway catch basins.



ATTACHMENT "2" LOCATION MAP	FILE #: 19CDM-01V04	REPORT #: LOCATION: LOT 4, CONC. 6	 SUBJECT LANDS	DATE: 23/05/01 SCALE: NOT TO SCALE
	CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: ROBERT COLAVALLO ENTERPRISES INC. et al	



LEGAL DESCRIPTION
 LOT 45, PLAN 85M-3187
 IN THE CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK.

ATTACHMENT "3" DRAFT PLAN CONDOMINIUM 19CDM-01V04	FILE #:	REPORT #:	DATE: 23/05/01
	19CDM-01V04	LOT 4, CONC. 6	SCALE: NOT TO SCALE
	CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: ROBERT COLALILLO ENTERPRISES INC. et al