

COMMITTEE OF THE WHOLE JUNE 18, 2001

**SITE DEVELOPMENT APPLICATION
YORK REGION DISTRICT SCHOOL BOARD
FILE: DA.01.036**

Recommendation

The Commissioner of Planning recommends:

THAT Site Plan Application DA.01.036 (York Region District School Board) BE APPROVED, subject to the following condition:

1. THAT prior to the issuance of a building permit.
 - a) the final site plan, building elevations, and landscape plans shall be to the satisfaction of the Community Planning and Urban Design Departments, including an upgrading of the south elevation and a reconfiguration of the proposed access;
 - b) the Owner shall submit a final coloured elevation identifying all building materials; and
 - c) the final stormwater management, site servicing and grading plans shall be to the satisfaction of the Engineering Department.

Purpose

On May 14, 2001, the York Region District School Board submitted a site development application for an elementary school with the following site statistics:

Total Lot Area	2.74ha (6.77 ac)
Total Gross Floor Area	4877.71m ²
Number of Teaching Classrooms	22 (plus 6 future portable locations)
Parking Spaces	60 (including 2 barrier-free spaces)

Background - Analysis and Options

Location

- south side of Melville Avenue, between Kettle Court and Cranston Park Drive
- Block 192, Registered Plan 65M-3095
- Part of Lot 24, Concession 4, City of Vaughan

Land Use Status

- Designation - Elementary School by OPA No. 350, (Maple Community Plan)
- Zoning - R3 Residential Zone by By-law 1-88

Site Description

- a 2.74 ha vacant site with 226.4m frontage on Melville Avenue
- the surrounding land uses are:

North - Melville Avenue; residential (R3, R4 and RM1 Residential Zones)
South - Mackenzie Glen District Park/soccer fields (OS2 Open Space Park Zone)
East - residential (R3 Residential Zone)
West - residential (R3 Residential Zone)

Elevations

The proposed two-storey school fronts onto Melville Avenue. The building is a flat-roofed, rectangular-shaped structure, utilizing clay brick, architectural block, concrete masonry finish, metal siding and glass as the main exterior cladding material. The north elevation contains the main entrance, oriented to function with the pedestrian and vehicular access points. Secondary entrances are located on the east and west elevations of the building. The mechanical penthouse, which extends above the second floor level, will be constructed of prefinished metal siding.

The south elevation, facing the future Mackenzie Glen District Park, consists of a broad wall with four windows. Staff recommend that this elevation be upgraded through increased fenestration and the introduction of additional building material or other design options.

The proposed school will accommodate 22 teaching classrooms and other ancillary areas, including, a gymnasium and library. The plan also provides for six future portables south of the main school building.

Pedestrian Access

Pedestrian access is provided by walkway connections from Melville Avenue. Staff recommend that the Applicant consult with the Urban Design Department to determine if a walkway connection from Cranston Park Avenue, through the future Mackenzie Glen District Park, is possible. This walkway should be constructed with a different paving material, which will clearly identify the pedestrian walkway and create a safer environment for pedestrians.

Vehicular Access and Parking

Vehicular access to the site is provided from Melville Avenue, opposite Sandway Crescent and Maple Meadows Lane. A one-way driveway is proposed along the front of the building, which includes a bus lay-by lane, a "kiss and ride" drop-off lane, and a thru-lane. Appropriate signage should be posted to identify the one-way driveway to ensure its proper operation. Buses and other vehicles will enter the site from the west access, travel along the front of the school, drop off the children, and exit the site via the most easterly access. Staff recommend that the proposed accesses be revised, in consultation with Engineering Staff to clearly delineate the access of buses and vehicles.

The main parking lot is located west of the school building and accommodates 45 parking spaces, including two barrier free spaces. An additional 15 parking spaces are located east of the main building and will likely service the kindergarten classrooms. An additional 9 spaces will be required if the 6 portables are located on the site. A total of 60 spaces are proposed on the site, whereas the by-law requires 33 spaces (1.5 spaces/classroom).

The main loading and garbage area is located along the east wall of the school and includes two overhead doors. This loading area is separate from the main traffic circulation pattern.

The Applicant will be required to satisfy all requirements of the Engineering Department with respect to on-site traffic circulation, signage and the final design.

Landscape Plans

The proposed school is located next to the future Mackenzie Glen District Park and therefore, the Urban Design Department will review the proposed landscape plan and details to ensure compatibility with the landscaping in the park. Appropriate landscaping should be provided along

the limits of the site to adequately screen the parking lot and loading area from the residential lots fronting onto Cranston Park Avenue.

The main outdoor amenity areas include a soccer field west of the main building, and a kindergarten play area on the east side.

Stormwater Management/Grading/Servicing Plans

The Applicant will be required to submit a stormwater management plan, and grading and site servicing plans for the review and approval of the Engineering Department.

Conclusion

The proposed elementary school has been reviewed in accordance with the policies of the Official Plan and the Zoning By-law. Staff have no objection to the proposed site development application, subject to the City approving the final site plan, building elevations, landscape plans, stormwater management and site servicing and grading plans.

Attachments

1. Location Map
2. Site Plan
3. Elevations
4. Elevations

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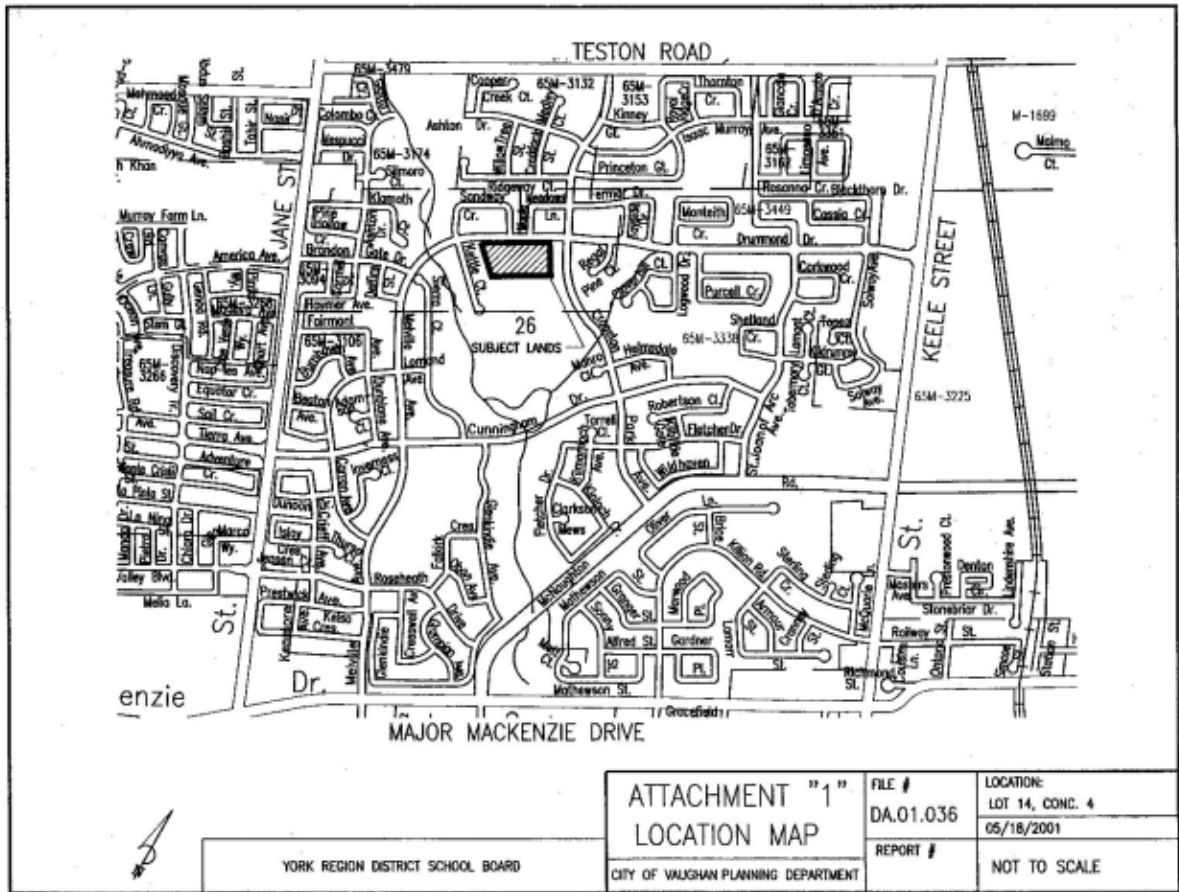
Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

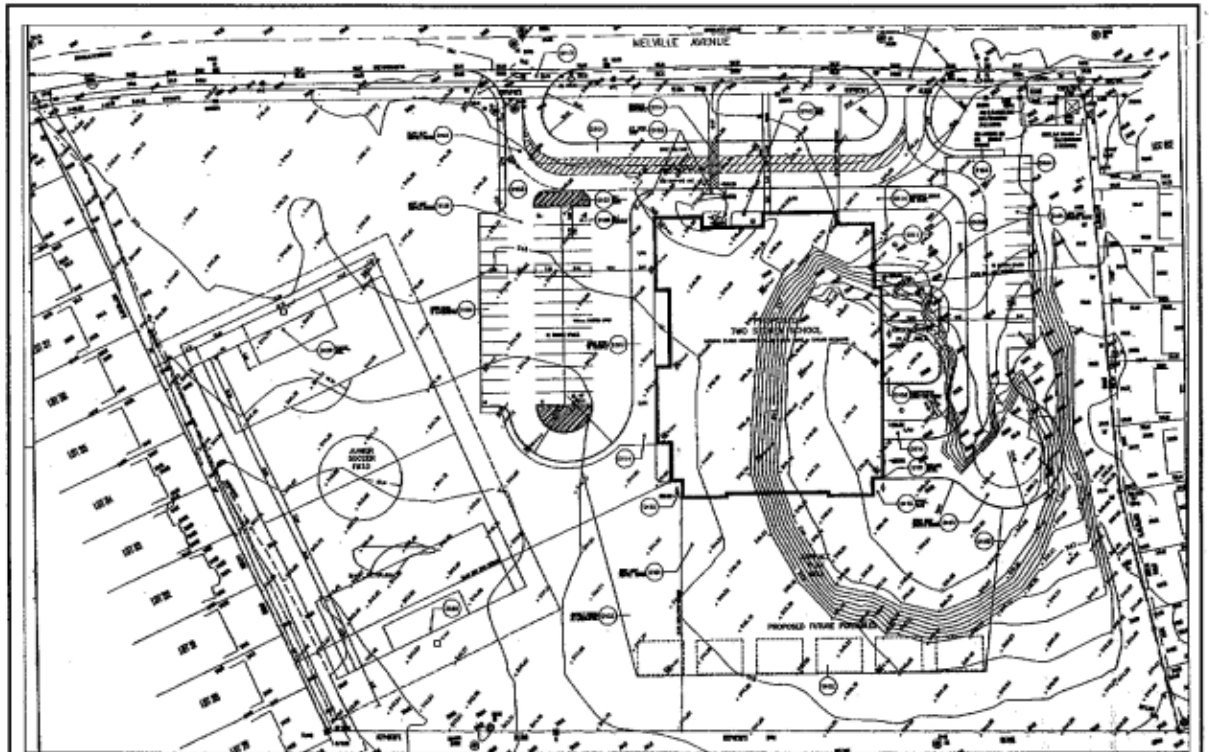
JOANNE R. ARBOUR
Director of Community Planning

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ATTACHMENT "1" LOCATION MAP	FILE #	LOCATION:
	DA.01.036	LOT 14, CONC. 4
YORK REGION DISTRICT SCHOOL BOARD CITY OF VAUGHAN PLANNING DEPARTMENT	REPORT #	05/18/2001
		NOT TO SCALE

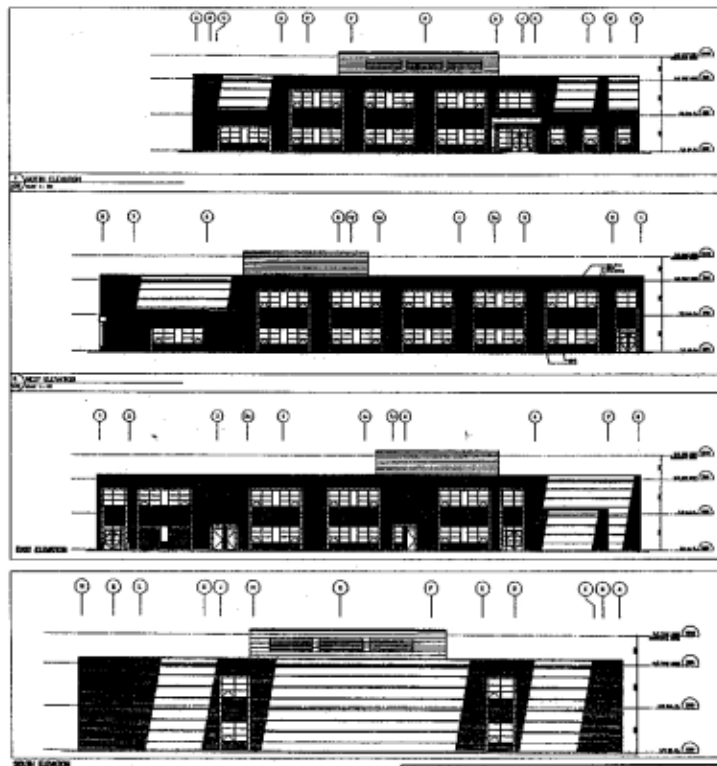


YORK REGION DISTRICT SCHOOL BOARD

ATTACHMENT "2"
SITE PLAN

FILE #
DA.01.036
REPORT #

LOCATION:
LOT 14, CONC. 4
05/18/2001
NOT TO SCALE



YORK REGION DISTRICT SCHOOL BOARD

ATTACHMENT "3"
ELEVATIONS

CITY OF VAUGHAN PLANNING DEPARTMENT

FILE #
DA.01.036
REPORT #

LOCATION:
LOT 14, CONC. 4
05/18/2001

NOT TO SCALE