

COMMITTEE OF THE WHOLE JUNE 18, 2001

**SITE DEVELOPMENT APPLICATION
MAPLEWOOD VILLAGES LTD. (CENTRAL PARK LODGES)
FILE DA.01.012 (RELATED FILE Z.00.090)**

Recommendation

The Commissioner of Planning recommends:

THAT Site Development Application DA.01.012 (Maplewood Villages Ltd.) BE APPROVED, subject to the following:

- a) That prior to the execution of the site plan agreement:
 - i) the final site plan and elevations shall be approved by the Community Planning Department;
 - ii) the final landscape plan, including a detailed landscape cost estimate, fencing and elevations shall be approved by the Urban Design Department;
 - iii) the final storm water management, grading and servicing plan(s)/report(s) shall be approved by the Engineering Department;
 - iv) the requirements of Hydro Vaughan Distribution Inc. shall be satisfied;
 - v) the Consent Applications B37/01 and B38/01 shall be final and binding; and,
 - vi) the development agreement shall be registered.
- b) If required, the Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 5% of the value of the subject lands, prior to the issuance of a building permit, in accordance with the Planning Act and City Policy. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Purpose

On February 2, 2001, the Owner submitted Site Plan Application DA.01.012 to permit a 2-storey nursing home (care bed facility) limited to 96 beds, with 47 parking spaces.

Background - Analysis and Options

Land Use Status

- Designated - "Special Residential" by OPA #332, as amended by OPA #535
- Zoned - RVM2 Residential Urban Village Multiple Zone Two, by By-law 1-88, subject to Exception Paragraph 9(946) [By-law 336-2000, as amended]

Site Description

- southeast of Kirby Road and of Keele Street
- Lot 25, Concession 3, City of Vaughan
- a 1.035 ha site, with 65 m frontage onto proposed Street "A" (Vista Gate)

- the surrounding land uses are:

North - vacant (future church/commercial blocks), (OS2 Open Space Park and C3 Local Commercial Zones)

South - vacant (future residential), (RM2-H Multiple Residential Zone)

West - storm water management pond, (OS1 Open Space Conservation Zone)

East - vacant (future street townhouses), (RVM1(A) Residential Urban Village Multiple Zone One)

Official Plan

The "Special Residential" designation allows various forms of assisted-living housing, in an adult lifestyle community, aimed for adults' age 55 or older. The proposed development conforms to the Official Plan.

Zoning

The implementing By-law 336-2000 for Draft Plan of Subdivision 19T-99V05, which includes the subject lands, was amended on March 19, 2001 with Council's enactment of By-law 125-2001, as amended by By-law 156-2001.

The subject lands are zoned RVM2 Residential Urban Village Multiple Zone Two, by By-law 1-88, subject to Exception Paragraph 9(946), which permits the nursing home, limited to 96 beds.

On March 30, 2001, Council enacted a by-law to lift the Holding Symbol (H) from By-law 336-2001, as the holding conditions, which included the execution of a density bonusing agreement and approval of the architectural design guidelines, had been satisfied.

On April 19, 2001, the Committee of Adjustment approved, with conditions, Consent Applications B37/01 and B38/01 submitted by the Owner to sever the nursing home lands from Plan 19T-99V05 to enable the intended owner, Central-Versa Development Corporation (Central Park Lodges), to acquire the site and proceed to develop the nursing home. The Owner is to enter into a development agreement with the City to address, but not limited to, the provision of municipal services, roads and applicable Plan 19T-99V05 draft conditions. The Consent Applications have to be final and binding and the development agreement has to be registered, prior to the execution of the site plan agreement.

Oak Ridge Moraine Protection Act, 2001

The Oak Ridges Moraine Protection Act, which received Royal Assent on May 28, 2001, effectively prohibits, among other procedures, enactment of a zoning by-law under Section 36 of the Planning Act to lift an "H" Holding Symbol, affecting lands defined as being within the Oak Ridges Moraine, until November 17, 2001 when the Act is automatically repealed. The Act does not apply to Section 41 regarding site plans.

The subject lands are located within Lot 25, Concession 3, a portion of which has been shown in the Act as being within the Oak Ridges Moraine. Section 6 of the Act provides that the Lieutenant Governor-in-Council may make regulations clarifying the boundaries to which the Act applies may exempt lands, upon request from the landowner to the Ministry of Municipal Affairs and Housing, although the criteria to address a request has not yet been established. As such, prior to the lifting of the Holding Symbol "H" on the site, either the Act must be repealed or clarification will be required from the Province on the applicability of the Act to the subject lands.

Site Plan

The site plan proposes a 2-storey building, with the main entrance facing east towards the future residential area. The parking and delivery/service areas are to the north end of the site, which will minimize the infiltration of delivery traffic into the rest of the community with some parking in front of the main entrance. A terrace area and balcony are in the interior yard, at the west end of the site facing the storm pond. A 28 m²-gated garden is in the rear yard, at the south end of the site. The site slopes downward approximately 5 m from east to west, requiring fill and a 5.5 m high retaining wall along the storm pond block facing Keele Street.

The site statistics are as follows:

- Lot Area 1.03 ha
- Gross Floor Area 6,308 m²
- Building Coverage 31% (3,089 m²)
- Height 9 m
- Landscaped Area 45% (4,635 m²)
- Number of Beds 96
- Parking:
 - Required 48 spaces, includes 1 space for the physically challenged
 - Provided 47 spaces, includes 2 spaces for the physically challenged
- Loading 1 space

Building Design

The 2-storey “X” shaped building features four wings, to maximize the number of residential rooms with windows. The windows are generally of similar proportion for both storeys. The building material consists primarily of aluminum siding with pre-finished hard paneling, and brick is used on the ends of the wings. Asphalt shingles cover the sloped portion of the roof and the wings of the building have flat roofs.

The main entrance is defined with a covered canopy, supported by brick and concrete columns, which traverse along the east elevation and terminate at the northwest wing at the parking area. The main entrance is further delineated with the adjacent brick wall featuring glazing that is 2-storeys in height. The west façade of the building provides a 2nd floor balcony, which provides a covered canopy supported by brick and concrete columns for the ground floor terrace area. The building colours will need to be provided.

Architectural Design

On April 17, 2001, Council approved the Architectural Design Guidelines, prepared by Michael Spaziani Architect Inc., for Maplewood Villages Ltd. Plan of Subdivision 19T-99V05, known as Maple Highlands. The Guidelines establish several design principles, such as providing architectural details on the building, defining building entrances and screening parking areas to provide an attractive streetscape and a pedestrian friendly environment.

The 2-storey height and massing of the nursing home building have been reviewed in the context of being compatible with the future residential area and complementary to the future commercial and institutional uses.

The building's elevations will need to be signed and stamped approved by Michael Spaziani Architect Inc., the control architect for the Maple Highlands community, in accordance with Architectural Design Guidelines.

Urban Design/Gateway Feature

The location of the nursing home at the south-west corner of Vista Gate and Ravineview Drive is identified as one of the “neighbourhood gateways/pedestrian entrances” into the Maple Highlands community. A gateway is intended to highlight the entrance into a community with architectural details and/or landscaping, which requires the subject building and landscaping to be sensitively designed and visually aesthetic.

The site plan proposes trees along the north property line, which serve to screen the parking and delivery/service areas from the street. Trees are also proposed along the east property line, with shrubs in the landscape strip between the 2 driveways, to screen the parking area.

The west façade, which faces the adjacent storm pond, features a concrete paved terrace and a 2 m wide landscaped area adjacent to the retaining wall, which incorporates landscaping in the tiered north and south ends. The south end of the building between the east and west wings features a gated garden with a gazebo.

Overall, the landscaping component needs enhancement with substantial planting material and decorative paving at the north-east corner of the site, close to the Vista Gate and Ravineview Drive intersection, to prominently define the neighbourhood gateway in accordance with the Urban Design Guidelines and Landscape Master Plan. Further, along all the property lines, additional landscaping and berming is required to more adequately screen the parking and delivery/service areas from the street.

The Urban Design Department advised that there are no objections, provided their concerns related to the elevations and landscaping are addressed, and the final site plan, landscaping plan and elevations are approved to their satisfaction.

Servicing

The Engineering Department advised that there are no objections, provided that the final site plan, storm water management, grading and servicing plan(s)/report(s) are approved to their satisfaction.

Conclusion

The proposed nursing home development has been reviewed in accordance with the Official Plan and Zoning By-law and has been found to conform. The proposal has also been reviewed within the context of the Architectural and Urban Design Guidelines and generally meets their requirements. Therefore, the proposal can be supported by Staff, conditional upon the approval of the final site plan, elevations, landscape plan, and stormwater management, grading and servicing plan(s) by the City.

Should Committee concur, Site Development Application DA.01.012 (Maplewood Villages Ltd.) can be approved, subject to conditions, with the adoption of the “Recommendation” of this report.

Attachments

1. Location Map
2. Draft Plan of Subdivision 19T-99V05
3. Site Plan
4. Elevations

Report prepared by:

Judy Jeffers, Planner, ext. 8645

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Bianca M.V. Bielski, Manager, Development Planning, ext. 8485

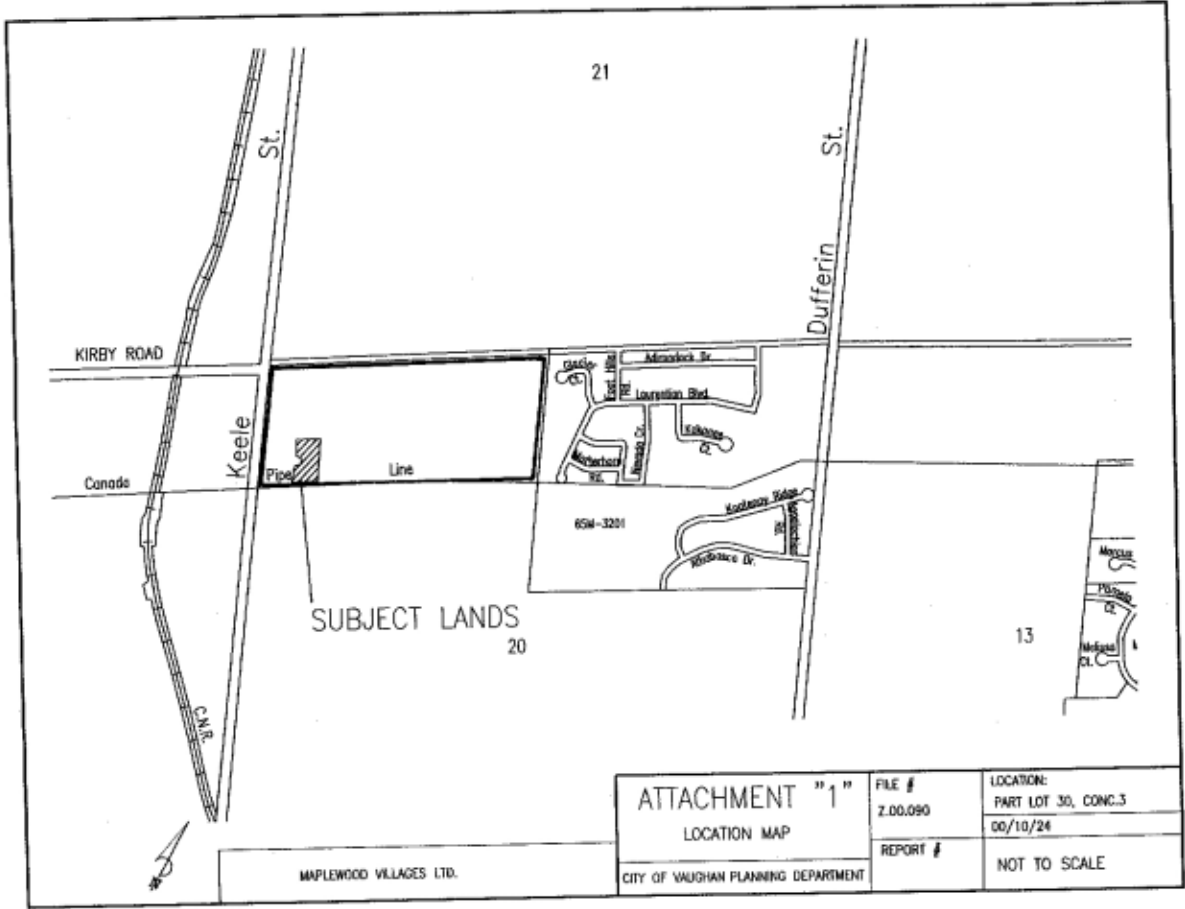
Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

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SUBJECT LANDS
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MAPLEWOOD VILLAGES LTD.

ATTACHMENT "1" LOCATION MAP	FILE #	LOCATION:
	Z.00.090	PART LOT 30, CONC.3
REPORT #	00/10/24	
CITY OF VAUGHAN PLANNING DEPARTMENT	NOT TO SCALE	

PLAN OF SUBDIVISION OF
PART OF LOT 30, CONCESSION 3,
HURONVILLE TOWNSHIP OF VAUGHAN,
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
19T-99V05

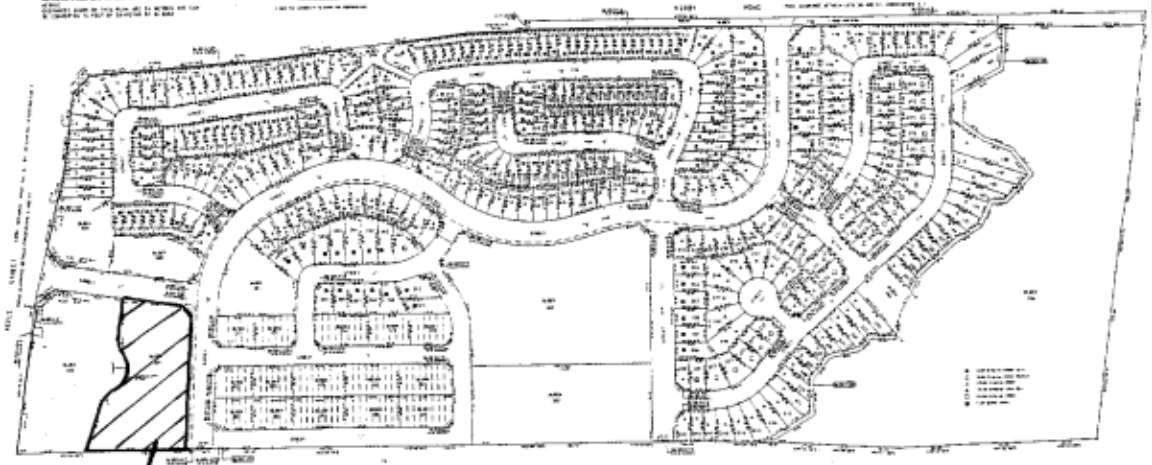
DATE OF APPROVAL: 00/10/24
DRAWN BY: [Name]
CHECKED BY: [Name]

SURVEYOR'S COMPILATE
[Name]
[Address]

FILE #
2.00.090

REPORT #

NOT TO SCALE



SUBJECT LANDS

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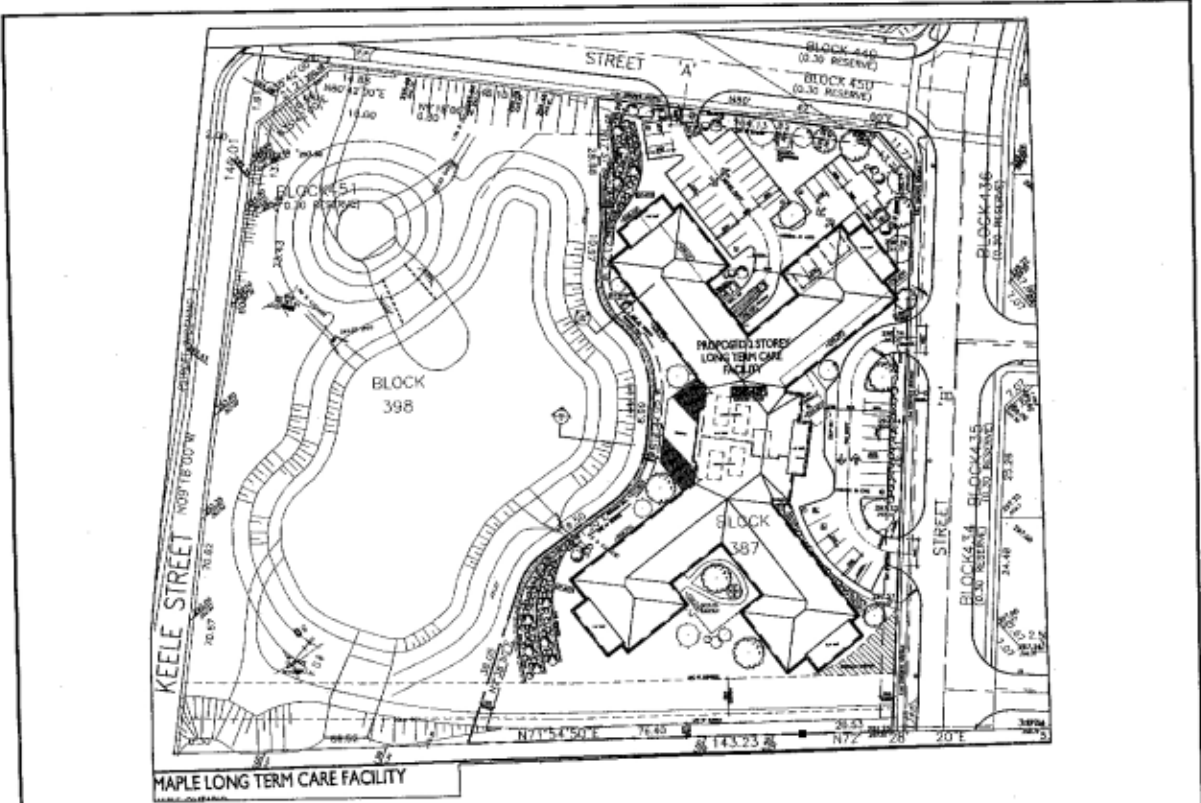


MAPLEWOOD VILLAGES LTD.

ATTACHMENT "2"
DRAFT PLAN OF
SUBDIVISION 19T-99V05
CITY OF VAUGHAN PLANNING DEPARTMENT

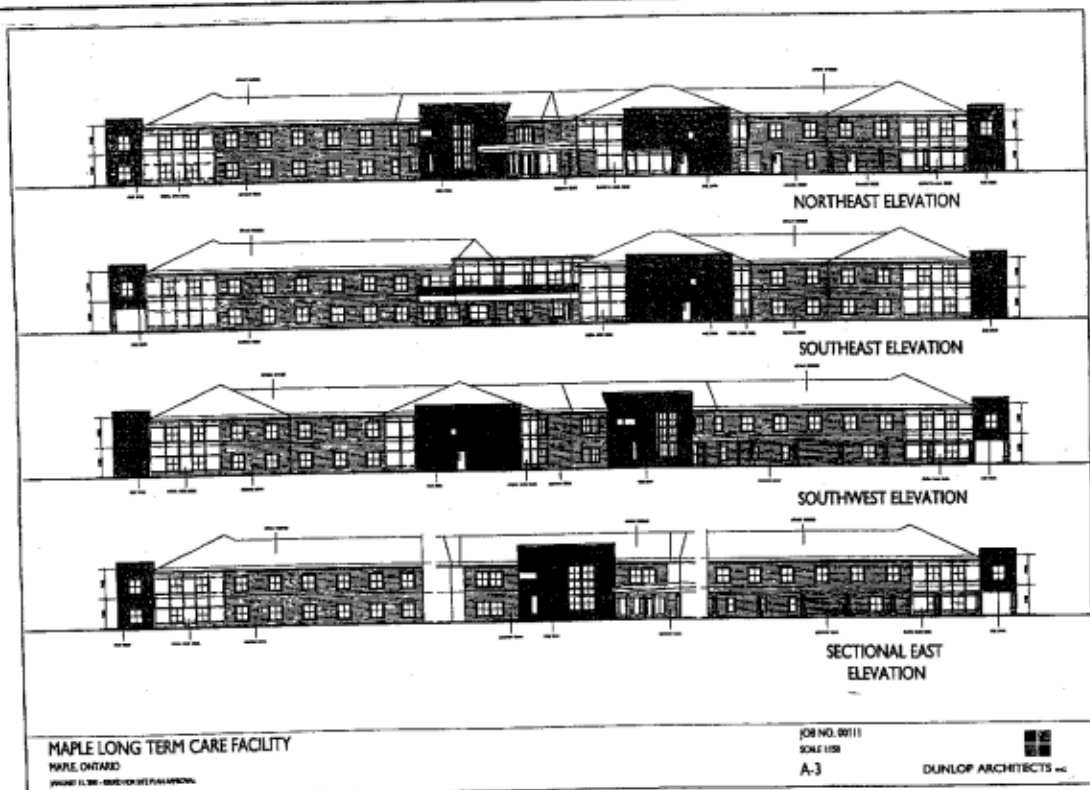
FILE #
2.00.090
REPORT #

LOCATION:
PART LOT 30, CONC.3
00/10/24
NOT TO SCALE



MAPLE LONG TERM CARE FACILITY

<p>ATTACHMENT "3" SITE PLAN</p>	FILE #:	REPORT #:	DATE: 01/02/07
	DA.01.012	LOCATION: LOT 29,30 CONC. 3	SCALE: NOT TO SCALE
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: MAPLEWOOD VILLAGES LTD.	



ATTACHMENT "4" ELEVATIONS	FILE #:	REPORT #:	DATE: 01/02/07
	DA.01.012	LOCATION: LOT 29,30 CONC. 3	SCALE: NOT TO SCALE
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: MAPLEWOOD VILLAGES LTD.	

