

**COMMITTEE OF THE WHOLE JUNE 18, 2001**

**SITE DEVELOPMENT APPLICATION  
LORWOOD HOLDINGS INC.  
FILE: DA.01.008**

**Recommendation**

The Commissioner of Planning recommends:

THAT the building elevations for Site Development Application DA.01.008 (Lorwood Holdings Inc.) BE APPROVED.

**Purpose**

On January 25, 2001, the Owner submitted a Site Development Application for a 3,709.04m<sup>2</sup> industrial warehouse building on a 2.09 ha site.

**Background - Analysis and Options**

**Location**

- Between Jane Street and Caldari Road, south of Riverrock Gate
- Block 1, Registered Plan 65M-3381
- Part of Lot 14, Concession 4, City of Vaughan

**Land Use Status**

- Designation - "Prestige Area" by OPA #450
- Zoning - EM1 Prestige Employment Area Zone by By-law 1-88

**Building Design**

The irregular-shaped building is proposed to be constructed with a flat-roof to a height of 8.35m. White precast concrete panels with an exposed aggregate finish are used throughout the building. The west elevation abutting Jane Street is accented with two horizontal rows of green tinted aluminum frames, the upper half showing a continuous band and the bottom portion showing four separate groupings of the same frames. The northwest corner of the west elevation contains the main entrance to the building. The entrance is comprised of the green tinted aluminum double doors with one block of the same material on both sides of the double doors. Above the main entrance, there are three rows of spandrel glass panels in a complimentary colour and a single row of green tinted aluminum frames integrated as architectural accents, increasing the height of the building to 9.5 m.

The east (adjacent to Caldari Road) and north elevations have incorporated the same white precast concrete panels, with vertical rows of green tinted aluminum frames and spandrel glass as architectural accents forming vertical strips.

Two loading spaces and one overhead door are located on the south elevation and are not visible from Jane Street. A screen wall constructed of the same material as the building is proposed along the east elevation to obstruct the view of loading from Caldari Road.

**Conclusion**

Staff are satisfied with the proposed building elevations therefore, should Committee concur, the recommendation in this report can be adopted.

**Attachments**

1. Location Map
2. Site Plan
3. Elevations

**Report prepared by:**

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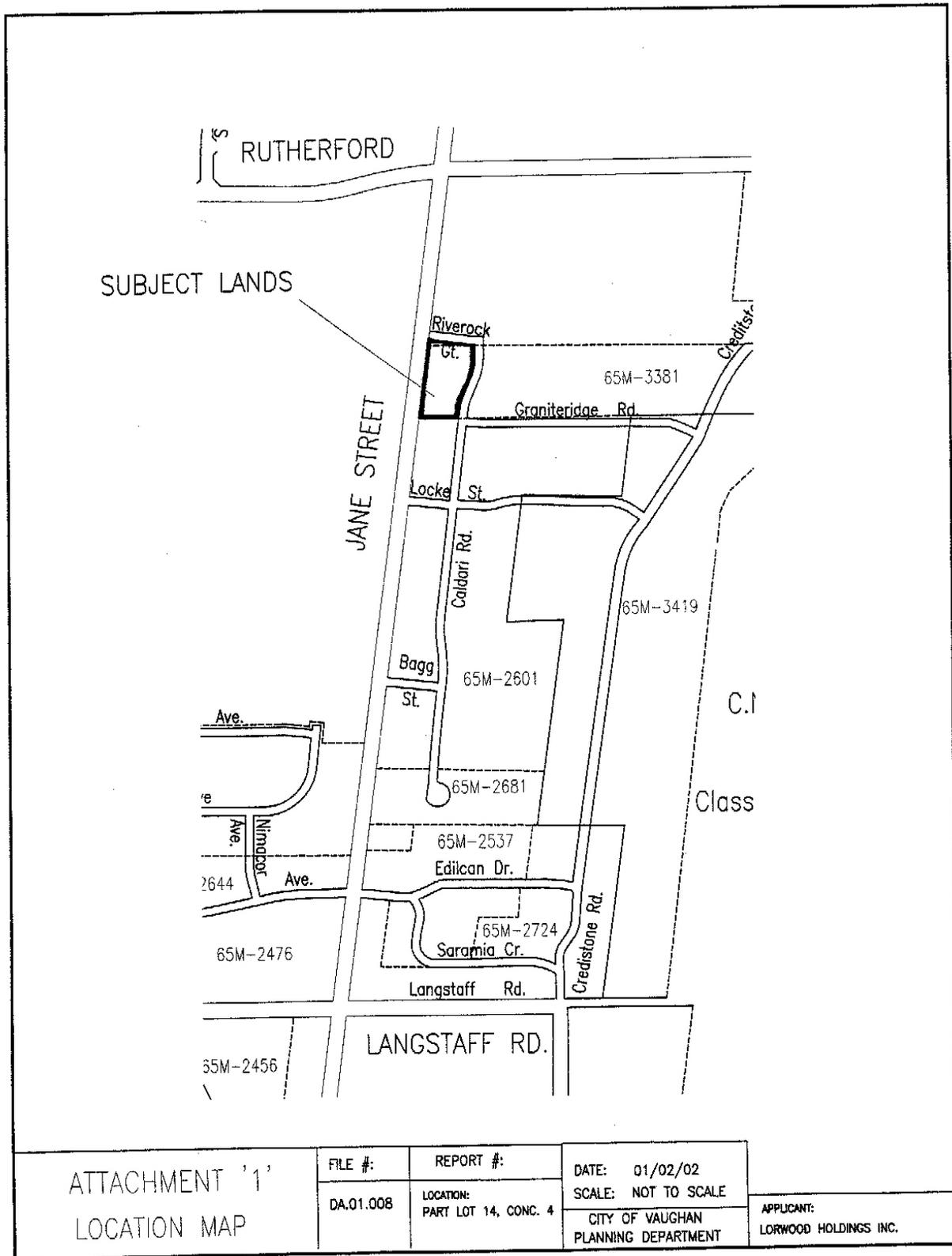
Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

JOANNE R. ARBOUR  
Director of Community Planning

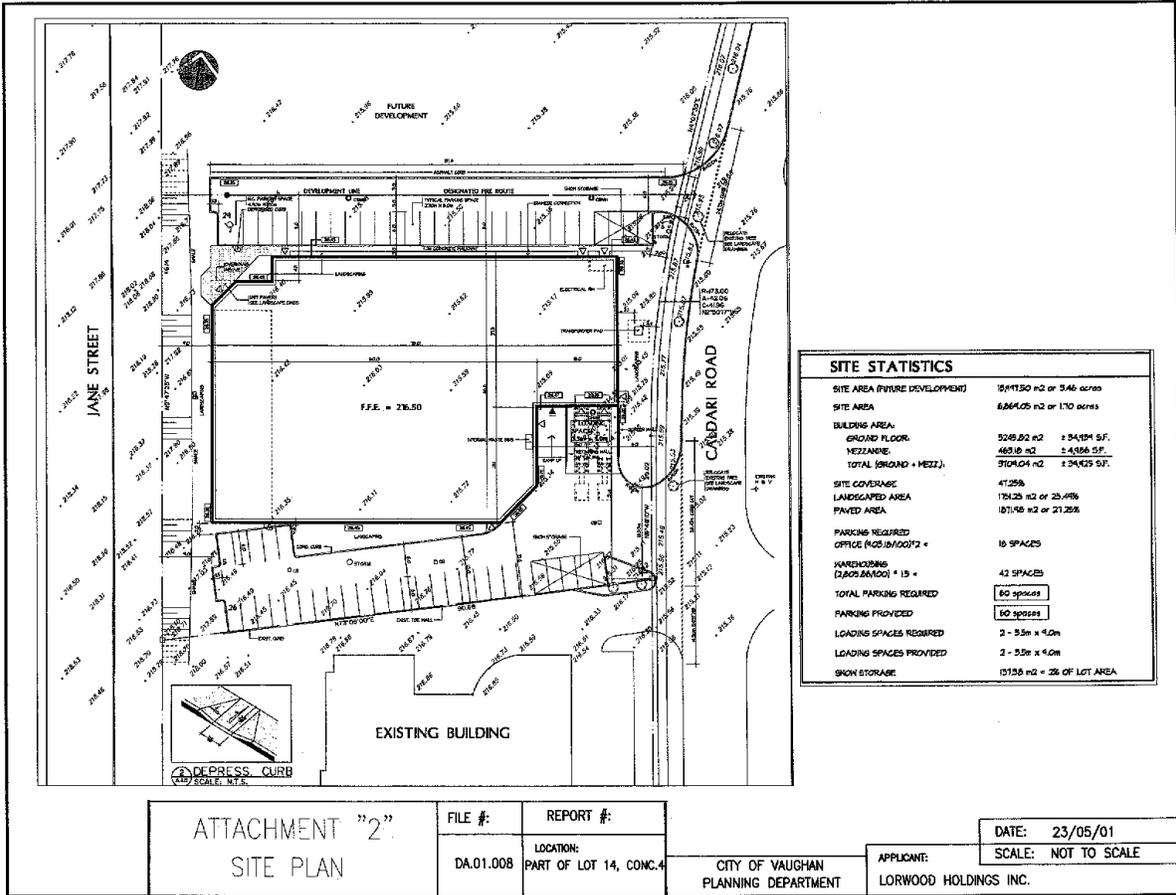
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ATTACHMENT '1'  
LOCATION MAP

FILE #:	REPORT #:	DATE: 01/02/02	APPLICANT: LORWOOD HOLDINGS INC.
DA.01.008	LOCATION: PART LOT 14, CONC. 4	SCALE: NOT TO SCALE	
		CITY OF VAUGHAN PLANNING DEPARTMENT	



SITE STATISTICS	
SITE AREA (FUTURE DEVELOPMENT)	15115.50 m <sup>2</sup> or 3.46 acres
SITE AREA	6864.05 m <sup>2</sup> or 1.70 acres
<b>BUILDING AREA:</b>	
GROUND FLOOR	5249.82 m <sup>2</sup> ± 54,151 S.F.
MEZZANINE	462.18 m <sup>2</sup> ± 4,958 S.F.
TOTAL (GROUND + MEZZ.)	5712.04 m <sup>2</sup> ± 59,109 S.F.
<b>SITE COVERAGE:</b>	
LANDSCAPED AREA	41.25%
PAVED AREA	151.28 m <sup>2</sup> or 25.44%
<b>PARKING REQUIRED:</b>	
OFFICE (400,000/1000) ±	16 SPACES
AMUSEMENTS (200,000/1000) ± 15 =	42 SPACES
TOTAL PARKING REQUIRED	58 SPACES
PARKING PROVIDED	60 SPACES
<b>LOADING SPACES REQUIRED:</b>	
2 - 5.5m x 4.0m	
LOADING SPACES PROVIDED	2 - 5.5m x 4.0m
SNOW STORAGE	15128 m <sup>2</sup> = 26% OF LOT AREA

ATTACHMENT "2" SITE PLAN	FILE #:	REPORT #:	DATE:
	DA.01.008	LOCATION: PART OF LOT 14, CONC.4	23/05/01
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT:	SCALE: NOT TO SCALE
		LORWOOD HOLDINGS INC.	

