

**COMMITTEE OF THE WHOLE JUNE 18, 2001**

**SITE DEVELOPMENT APPLICATION  
LOBLAW PROPERTIES LTD.  
REPORT #P. 98.129  
FILE: DA.00.133**

**Recommendation**

The Commissioner of Planning recommends:

1. THAT Site Development Application DA.00.133 (Loblaw Properties Ltd.) BE APPROVED subject to the following conditions:
  - a) That prior to the execution of the site plan agreement:
    - i) the final site plan, and elevations shall be revised to address the concerns set out in this report to the satisfaction of the Community Planning and Urban Design Departments;
    - ii) the final site servicing and grading plan and stormwater management plans/reports shall be to the satisfaction of the Engineering Department;
    - iii) all requirements of the Region of York shall be satisfied;
    - iv) the final landscape plans, including treatment to the curb, shall be to the satisfaction of the Urban Design Department;
    - v) the Maple Streetscape Community Advisory Committee's concerns shall be addressed;
    - vi) plans shall be submitted, identifying the proposed screening for the roof-top mechanical equipment to the satisfaction of the Urban Design and Community Planning Departments;
    - vii) coloured elevations shall be submitted; and,
    - viii) the Owner shall pay to Vaughan by way of certified cheque, cash in lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a building permit, in accordance with the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

**Purpose**

On December 8, 2000 the Owner submitted a Site Development Application to permit seven commercial/retail buildings, with the following site statistics:

Total Site Area	25,235.1m <sup>2</sup>
Landscaped Area	4,521.9m <sup>2</sup>

### Building Gross Floor Area (GFA)

Building "A" – Eating Establishment With Outdoor Patio  
Proposed GFA 491.1m<sup>2</sup>

Building "B" – Professional Office

- Ground Floor 235.27m<sup>2</sup>
- Mezzanine Floor 74.32m<sup>2</sup>
- Proposed GFA 309.59m<sup>2</sup>

Building "C" – Eating Establishment Convenience With Drive Thru  
Proposed GFA 343.6m<sup>2</sup>

Building "D" – Financial Institution With Drive Thru  
Proposed GFA 420m<sup>2</sup>

Building "E" – L.C.B.O. Outlet and Retail Stores

- L.C.B.O Outlet 1,064.0m<sup>2</sup>
- Retail Stores 393.2m<sup>2</sup>
- Storage Room 18.36m<sup>2</sup>
- Proposed GFA 1,475.56m<sup>2</sup>

Building "F" – Retail Store and Pharmacy

- Retail Stores & Garbage Room 649.74m<sup>2</sup>
- Pharmacy 958.73m<sup>2</sup>
- Proposed GFA 1,637.77m<sup>2</sup>

Building "G" – Eating Establishment Convenience, With Drive Thru  
Proposed GFA 579.77m<sup>2</sup>

TOTAL PROPOSED GFA 5,288.96m<sup>2</sup>

Parking Provided 307 Spaces (including 8 spaces for physically challenged)

### Background - Analysis and Options

#### Location

- Southeast corner of Major Mackenzie Drive and Jane Street
- Part of Lot 20, Concession 4, City of Vaughan

#### Land Use Status

- Designation - "Neighbourhood Commercial " by OPA No. 350 (Maple Community Plan) as amended by OPA No. 513
- Zoning - Zoned C2 General Commercial Zone by By-law 1-88, as amended by the Ontario Municipal Board (Decision Order No. 318) dated February 27, 2001, as further amended by Decision Order No. 491 issued on April 3, 2001.

This site is subject to an Ontario Municipal Board (OMB) Decision, which resulted in the

implementation of OPA No. 513 and a site specific zoning by-law to guide the development of the lands.

#### Site Description

- a vacant 2.5 ha (6.2 ac) site with frontage onto Major Mackenzie Drive and Jane Street
- the lands are currently being prepared for development
- the surrounding land uses are:

North - Major Mackenzie Drive; retail/commercial/gas bar (C4 Neighbourhood and C6 Highway Commercial Zones)

South - future residential under OPA No. 513

East - supermarket (C4 Zone)

West - Jane Street; Paramount Canada's Wonderland

#### Official Plan

The "General Commercial" designation permits a range of retail stores, restaurants, banks and business and professional offices. The proposed development conforms to the Official Plan.

#### Zoning

The site is zoned C2 General Commercial Zone by By-law 1-88, as amended by By-law 165-2001. The Ontario Municipal Board approved the zoning for this site under Decision Order #318, as amended by Order #491.

#### Site Plan

The site consists of seven buildings located around the perimeter of the site. Buildings "A", "B" and "C" are located close to the intersection, providing a visual focus at the Jane Street and Major Mackenzie Drive intersection. An outdoor patio and hard surfaced open space area are located between Buildings "A" and "B", providing a pedestrian presence along the street. Buildings "C" and "D" are located along the Major Mackenzie Street frontage with associated parking. Buildings "E" and "F" are parallel to the east and south property lines, respectively, and provide a buffer between the commercial development and the residential uses to the southeast. Building "G" is located along the Jane Street frontage, with the double drive-thru lane, resulting in a 21m building setback from the property line.

A pedestrian circulation system facilitates access to all buildings, including the Fortino's Supermarket. The site plan and landscape plans do not identify the building materials for the walkway connections, however, Staff recommend they be constructed with a contrasting paving material, such as interlock stone or coloured concrete.

Two access points are proposed to the site from Major Mackenzie Drive, including a full movement driveway to serve both the subject lands and the adjacent supermarket development. This driveway will align directly opposite the main access to the commercial development on the north side of Major Mackenzie Drive. A right-in/right-out access is proposed on Major Mackenzie Drive, between the full movement access and Jane Street, serving primarily the subject lands. One Jane Street access driveway is proposed at the southerly limit of the site. This driveway will ultimately form part of the circulation system for commercial lands located immediately south of the subject lands.

Loading areas for the larger users have been screened from the major arterial frontages. All garbage areas will be enclosed and form part of the building.



## Building Elevations

Staff is satisfied with the elevations for the business and professional office (Building “B”), which include white horizontal prefinished siding, black widow shutters, and black asphalt shingles. Staff are also satisfied with the Building “G” elevations, which consist of a light brown brick veneer with stucco accent and appropriate glazing on the main front elevation.

The one-storey bank (Building “D”) exterior is clad with a rust-coloured brick veneer and a light taupe accent stucco panels. A tower entrance structure is capped with an asphalt shingle roof. The main front façade is oriented westward and the Major Mackenzie Drive elevations include windows and an automated bank machine. Staff is satisfied with the proposed elevations.

Buildings “E” and “F” are located in the southeast quadrant of the site with the main front entrances oriented towards the parking area. These buildings are one-storey to a maximum height of 7.9m for the main building. The building exteriors will be finished with horizontal wood and vinyl siding, glazed windows and asphalt roof shingles. A tower structure complements the main front elevation of each building. The rear elevations of these buildings will face an approved residential subdivision and therefore, should be upgraded to be more visually appealing.

The main front façade of Buildings “A” and “C” do not face either Jane Street or Major Mackenzie Drive. It is important that the design of the side and rear facades of each building make a positive contribution to the streetscape.

The one-storey eating establishment (Building “A”) is finished in a red brick veneer and stucco. The main front elevation faces north and includes a covered entrance, fabric window canopies and decorative lamps to provide visual interest to the building. The Jane Street elevation is composed of four windows, a continuation of the fabric canopies, tenant signage and a large blank wall area. Staff recommend that the blank wall portion of this elevation be upgraded with treatments such as windows and the continuation of the fabric canopies.

The exterior of Building “C” (eating establishment) is finished primarily with horizontal prefinished wood and vinyl siding and an asphalt shingle roof. The main front entrance of the building is oriented to the south, and a blank wall with 4 glass panels faces Major Mackenzie Drive. Staff recommend that the north elevation be upgraded to provide more visual interest along the Major Mackenzie frontage.

## Drive-Thru Facilities

Buildings “C”, “D”, “F” and “G” include drive-thru facilities. In the case of Buildings “C” and “D”, amenities such as a drive-thru lane, ancillary service window, and an automated bank machine are located between the building and Major Mackenzie Drive. It is recommended that the drive-thru facilities be appropriately screened and buffered from Major Mackenzie Drive by berms, landscaping or other appropriate measures. Alternatively, the design of these uses should be such that the drive-thru is provided on the interior of the site.

## Maple Streetscape and Urban Design Guidelines

The site is subject to the Maple Streetscape and Urban Design Guidelines (MSUDGs). The Maple Streetscape Community Advisory Committee has reviewed the application and recommends:

“THAT although the Committee generally approves of the project in principle, that a report be prepared indicating in detail the types and quality of trees, benches, lighting, and lamp posts proposed to be used, including a site plan showing their locations;



THAT the site plan development goes to the curb;

THAT an enhanced comprehensive pedestrian linkage extends to Jane Street and throughout the site, specifically the single loaded road in the Ramsey Fiston subdivision;

THAT the green metal roof of the *Tim Horton's* structure incorporate a more traditional roof in colour and fabrication, to be consistent with the overall development;

THAT the *Kelsey's* structure incorporate more peaks and gables such that it will conform to a traditional Victorian standard as in the rest of development;

THAT samples of brick colour and roofing material be provided for the Committee's approval; and,

THAT design drawings of the proposed signage for the site be presented for the Committee's review."

The MSUDGs address design matters such as the relationship of the buildings and parking area to the street, pedestrian linkages, and architecture. Staff is satisfied with the placement of the buildings on the site. The combination of Buildings "A", "B" and "C" and the proposed landscape treatment should provide an attractive focus at the Jane Street and Major Mackenzie Drive intersection. In addition, minimal parking is located directly adjacent to the property line. As noted above, a pedestrian circulation system is proposed for the site and subject to the comments in this report, appears satisfactory.

Buildings "B", "E" and "F" incorporate building materials and architectural features into the design of each structure that are consistent with the MSUDGs. The remaining buildings are more modern in design but feature some design elements such as peaked roofs, which are intended to respond to the MSUDGs. The Applicant will also be required to satisfy the requirements of the Urban Design Department with respect to compliance with the MSUDGs.

#### Landscaping

The landscape plans have been reviewed by the Department of Urban Design, with the following comments:

1. Pylon signage submitted as a component of this development application has not provided detail depicting 'Village of Maple' signage.
2. The northern edge of the development must include street treatment to the curb of Major Mackenzie Drive; as a gateway to Maple, the treatment must conform to the Maple Streetscape Plan and Urban Design Guidelines.
3. The decorative pedestrian lighting should be increased as shown on the red-lined plans, using the standard light pole and fixture selected for use throughout the Maple Streetscape.
4. In the vicinity of Building 'B', the walkway connections should be redesigned to better accommodate the desired lines of pedestrian flow around this building, and avoid sodding damage and maintenance problems.
5. Vegetative screening must be increased as noted in the red-line drawings to properly screen the drive-through areas, with a combination of berming extensions with shrub plant material or coniferous planting.

6. The roofing material on Building 'G' indicates a green metal roof rather than dark grey, as per discussions with the Maple Streetscape Committee and the applicant.

The Real Estate Division has identified that the Owner will be required to pay cash-in-lieu of the dedication of parkland.

#### Parking

The implementing zoning by-law for the subject lands requires that 5 parking spaces be provided for every 100m<sup>2</sup> of gross floor area. Accordingly, 265 parking spaces are required for the proposed development, whereas 307 spaces (including 8 barrier free spaces) are provided.

#### Traffic Study

A traffic study has been submitted in support of the proposed application, the adjacent Fortino's development and the vacant parcel of land immediately south of the site. The report prepared by RGP Transtech, dated February 2001, as amended by an addendum report dated April 2001, was reviewed by the Engineering Department, who advise as follows:

“The Transportation Division has no major concerns with the findings of this addendum report. Estimation of the surrounding intersection volumes and generation of Saturday mid-day peak site trips has been provided and documented. We agree that in terms of capacity, the Saturday mid-day peak will operate at comparative levels to the weekday p.m. peak hour.”

To date, comments have not been received from the Region of York Transportation and Works Department respecting the traffic study. The Applicant will be required to satisfy Regional requirements.

Staff is aware that the Region of York Transportation and Works Department is considering changes to the Major Mackenzie Drive Road profile (i.e. introducing medians) as it relates to the subject proposal, the Fortino's development and the commercial uses on the north side of Major Mackenzie Drive.

#### Rooftop Mechanical Equipment

It is expected that all or most of the proposed buildings will have rooftop mechanical equipment as part of the building design. Given the location of the buildings relative to future residential uses and along two major arterial roads, the rooftop mechanical equipment must be adequately screened. Prior to the execution of the site plan agreement, the Applicant will be required to submit plans illustrating the proposed screening techniques for the rooftop mechanical equipment.

#### Servicing

The applicant has submitted site servicing, grading and stormwater management plans for the proposed development and will be required to satisfy all requirements of the Engineering Department.

#### Vaughan Hydro & Fire Departments



The City of Vaughan Hydro and Fire Departments have forwarded several standard comments that the applicant will be required to satisfy prior to final site plan approval.

## **Conclusion**

OPA No. 513 designates the subject lands "General Commercial", which permits the proposed retail and commercial uses. The implementing by-law, which was approved by the Ontario Municipal Board, also permits the proposed uses.

Staff have reviewed the proposed site plan in accordance with the policies of the Official Plan and the requirements of the Zoning By-law and find the proposed development to be appropriate.

Staff is satisfied that, subject to conditions being satisfied through the normal site plan process, the proposed site plan application can be recommended for approval. In particular, the landscape plan and elevations will need to be revised to address the Maple Streetscape and Urban Design Guidelines and objectives to the satisfaction of the Urban Design Department and the Community Advisory Committee.

Staff can support approval of the site plan, subject to conditions. Should the Committee concur, the Recommendation section of this report can be adopted.

## **Attachments**

1. Location Map
2. Site Plan
3. Elevations - Buildings "A" & "G"
4. Elevations - Building "B"
5. Elevations - Building "C"
6. Elevations - Building "D"
7. Elevations - Building "E"
8. Elevation - Building "F"
9. Elevation - Building "F"

## **Report prepared by:**

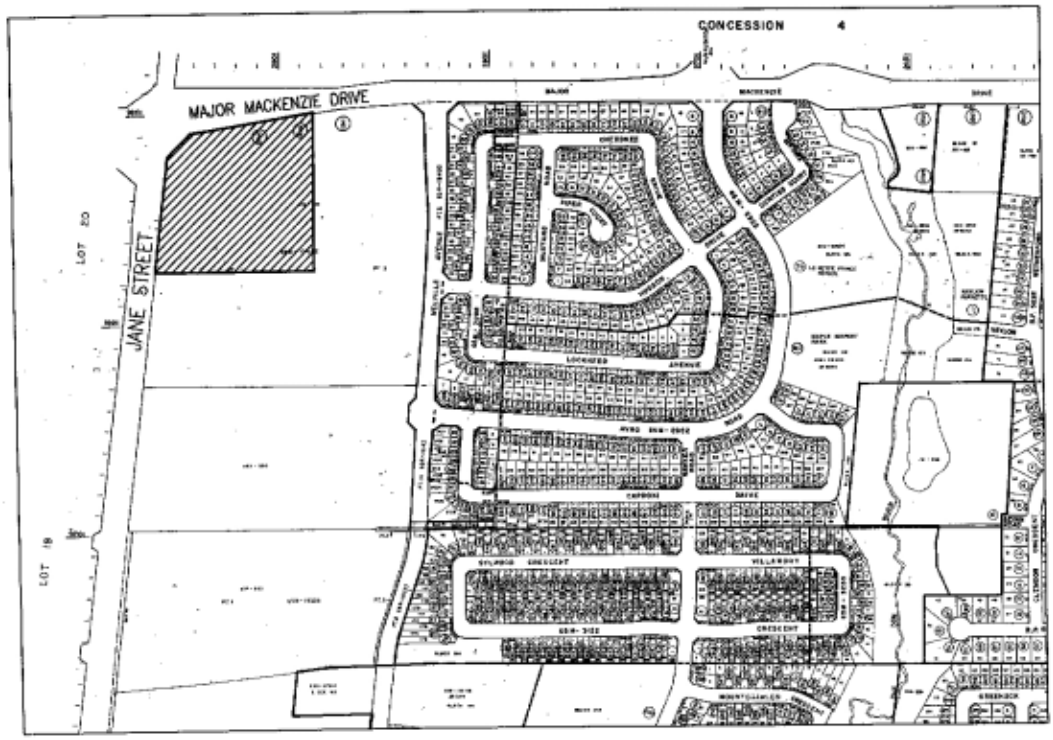
Mauro Peverini, Planner, ext. 8407  
Art Tikiryan, Senior Planner, ext. 8212  
Bianca M.V. Bielski, Manager, Development Planning, ext. 8485

Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

JOANNE R. ARBOUR  
Director of Community Planning

/CM



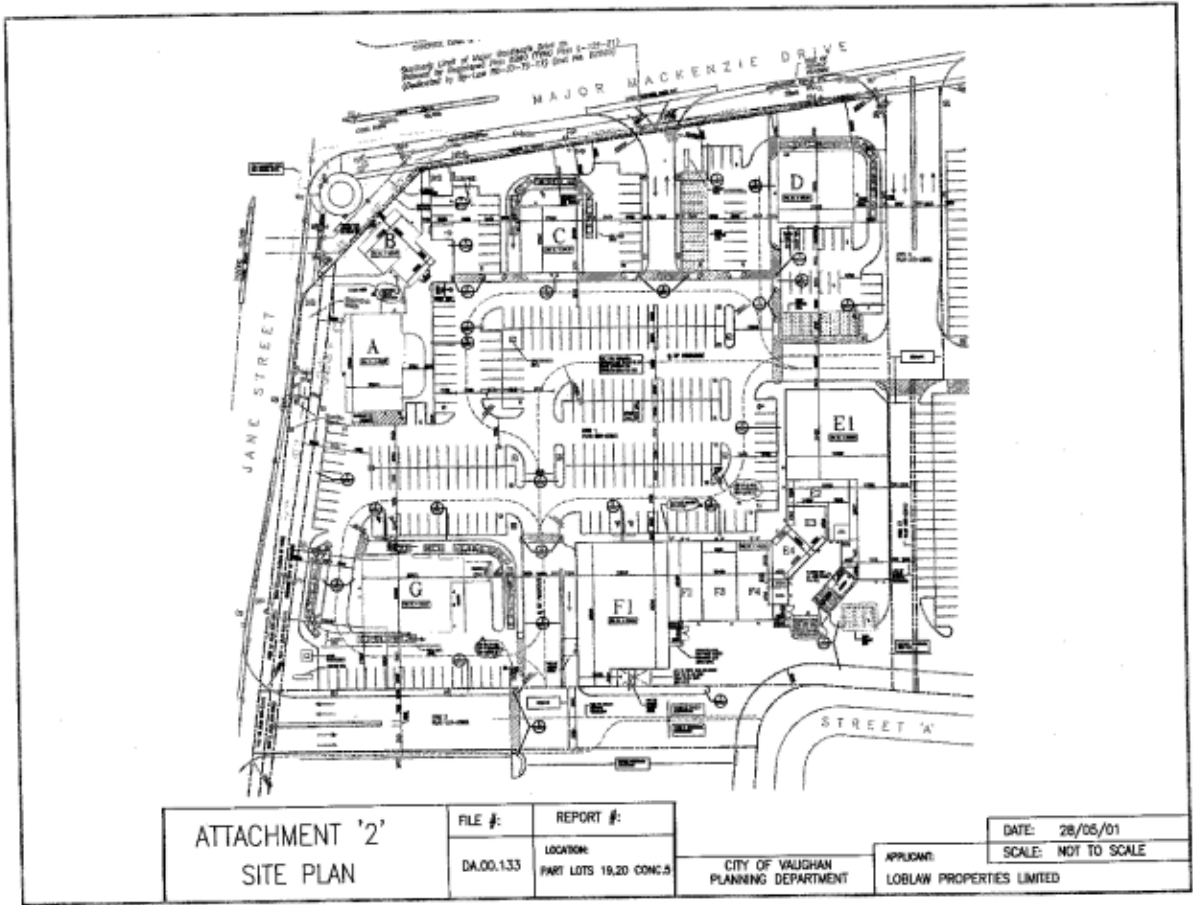
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LOCATION MAP

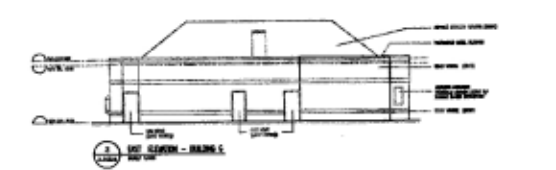
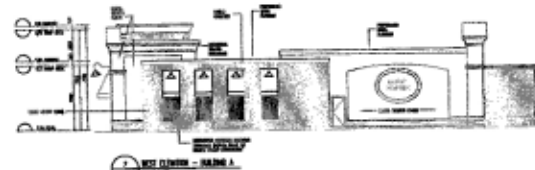
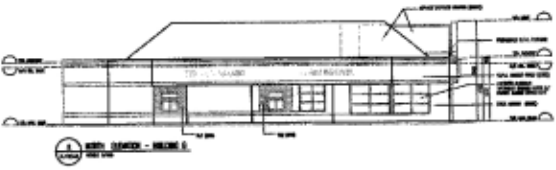
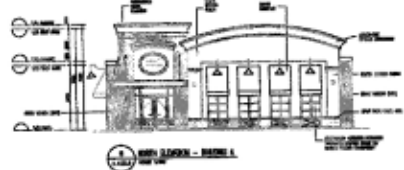
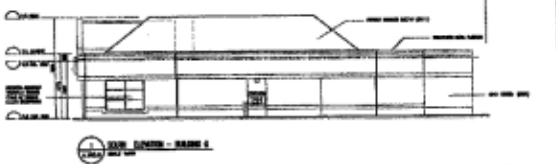
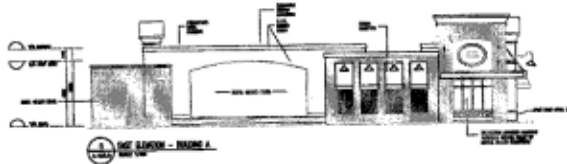
FILE #:	REPORT #:
DA.00.133	PART LOTS 19,20 CONC.5

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
LOBLAW PROPERTIES LIMITED

DATE:	00/12/13
SCALE:	NOT TO SCALE





ATTACHMENT '3'  
ELEVATIONS

FILE #:	REPORT #:
DA.00.133	LOCATION: PLOT LOTS 10,20 CONC.5

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
LOBLAW PROPERTIES LIMITED

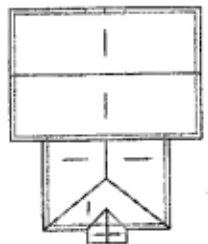
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**BUILDING B - NORTH ELEVATION**  
SCALE 1/8" = 1'-0"



**BUILDING B - SOUTH ELEVATION**  
SCALE 1/8" = 1'-0"



**BUILDING B - ROOF PLAN**  
SCALE 1/8" = 1'-0"

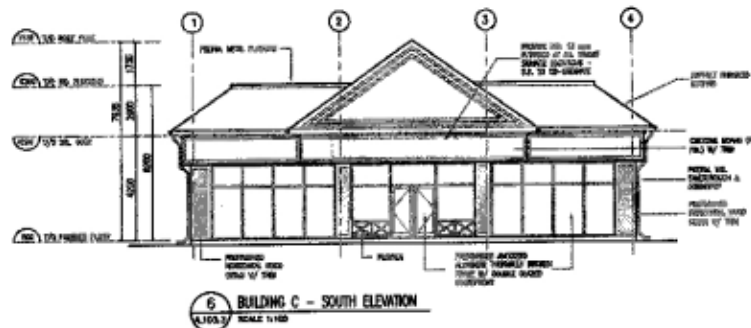


**BUILDING B - WEST ELEVATION**  
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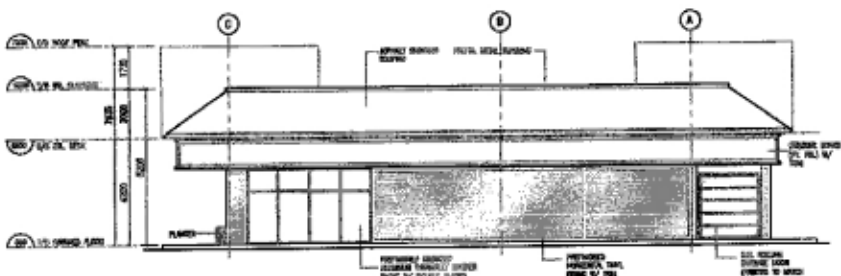


**BUILDING B - EAST ELEVATION**  
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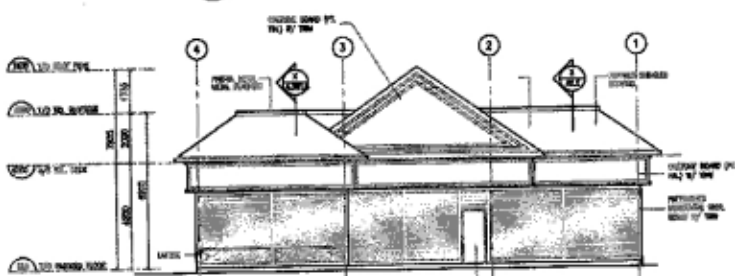
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		APPLICANT:	SCALE: NOT TO SCALE
		LOBLAW PROPERTIES LIMITED	



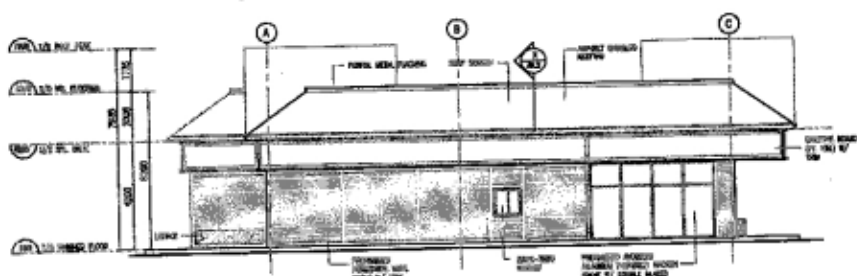
6 BUILDING C - SOUTH ELEVATION  
SCALE 1/4"=1'-0"



7 BUILDING C - EAST ELEVATION  
SCALE 1/4"=1'-0"

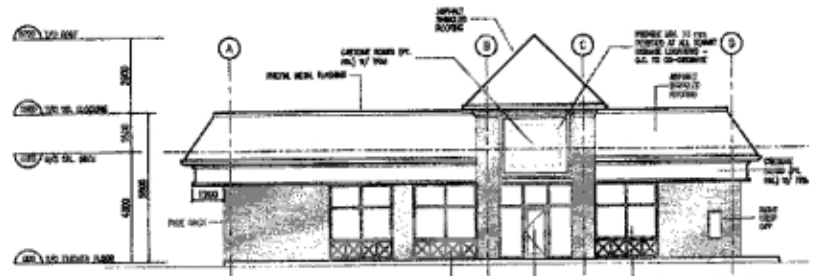


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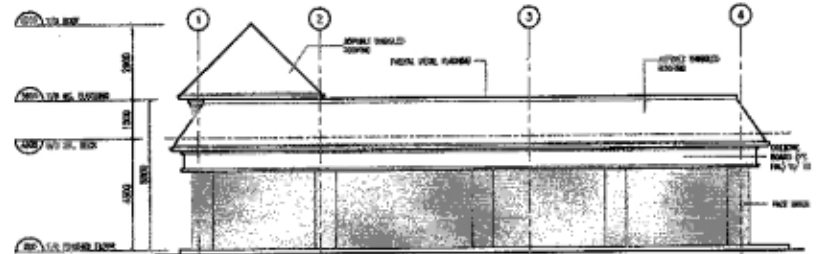


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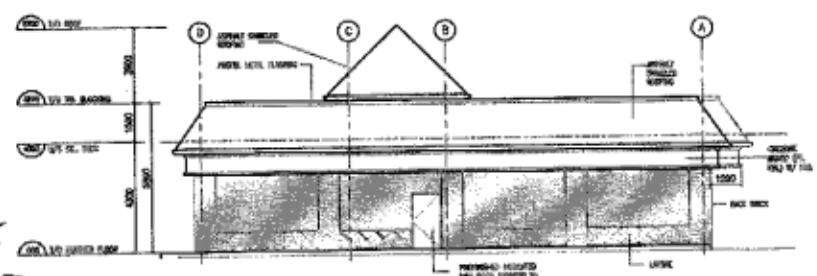
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	CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: LOBLAW PROPERTIES LIMITED



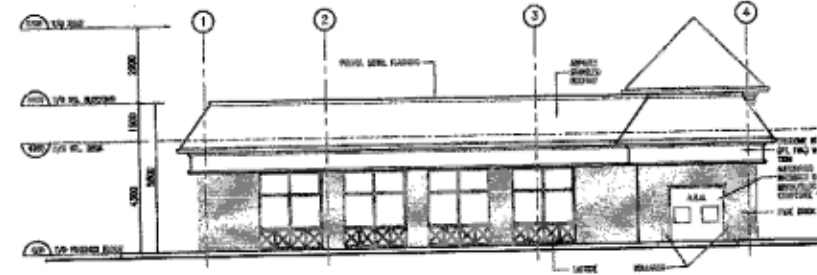
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A.103.4 SCALE 1:100



7 BUILDING D - SOUTH ELEVATION  
A.103.4 SCALE 1:100



8 BUILDING D - EAST ELEVATION  
A.103.4 SCALE 1:100



9 BUILDING D - NORTH ELEVATION  
A.103.4 SCALE 1:100

ATTACHMENT '6'  
ELEVATIONS

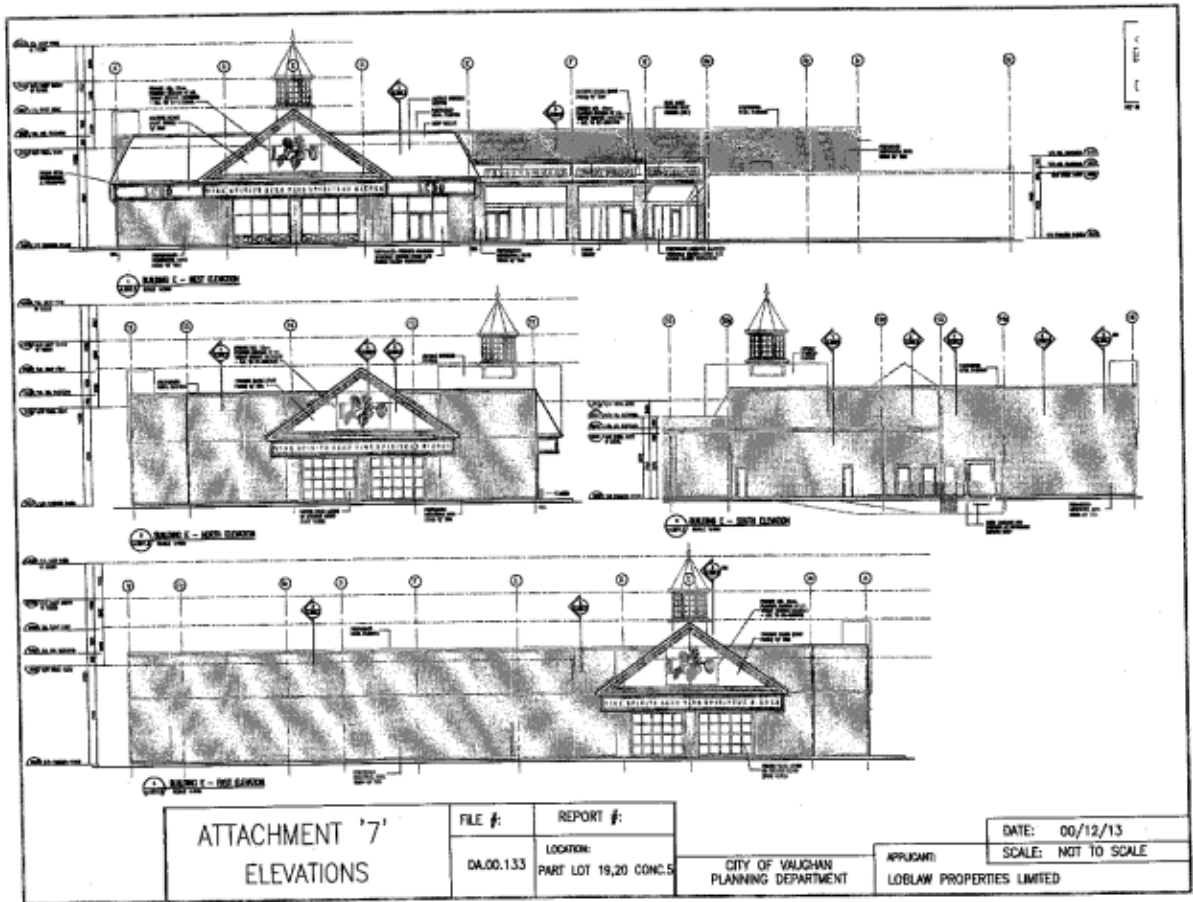
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DA.00.133	LOCATION: PART LOT 18,20 CONC.5

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
LOBLAW PROPERTIES LIMITED

DATE: 28/05/01  
SCALE: NOT TO SCALE





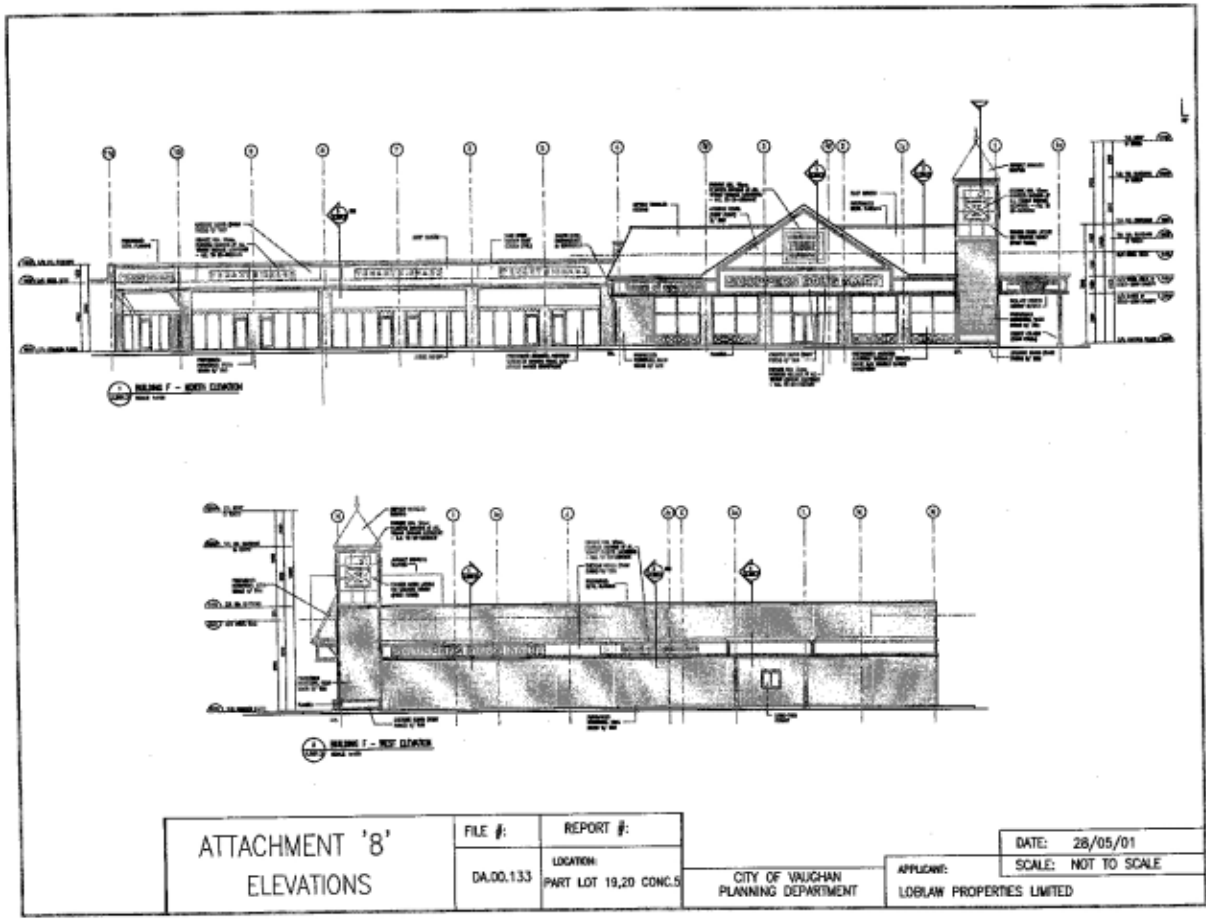
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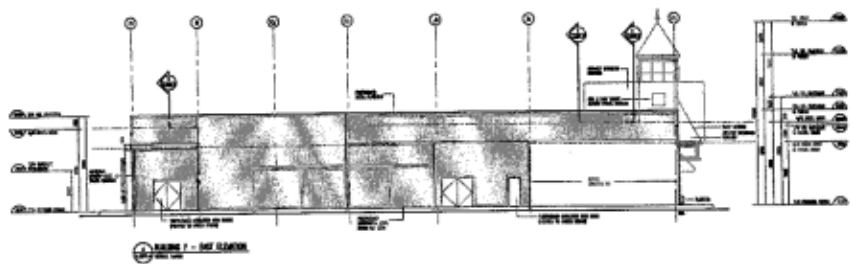
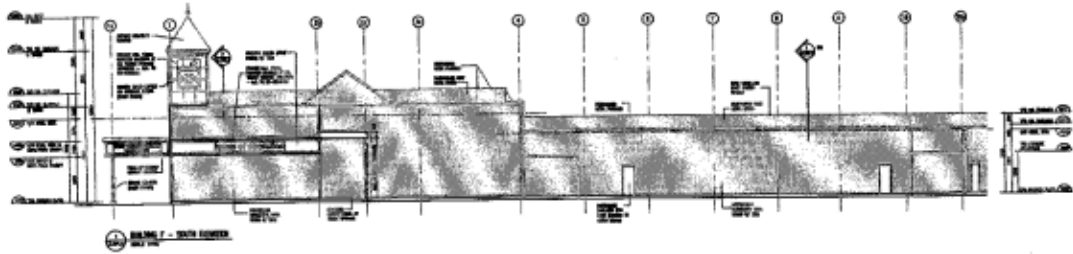
CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:  
LOBLAW PROPERTIES LIMITED

DATE:	00/12/13
SCALE:	NOT TO SCALE



<b>ATTACHMENT '8'</b> <b>ELEVATIONS</b>	FILE #:	REPORT #:	DATE: 28/05/01
	DA.00.133	LOCATION: PART LOT 19,20 CONC.5	SCALE: NOT TO SCALE
	CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: LOBLAW PROPERTIES LIMITED



ATTACHMENT '9' ELEVATIONS	FILE #:	REPORT #:	DATE: 28/05/01
	DA.00.133	LOCATION: PART LOT 19,20 CONC.5	SCALE: NOT TO SCALE
	CITY OF NAUHAN PLANNING DEPARTMENT	APPLICANT: LOBLAW PROPERTIES LIMITED	