

COMMITTEE OF THE WHOLE FEBRUARY 4, 2002

**ZONING BY-LAW AMENDMENT FILE Z.01.070
K.L. LAI INVESTMENTS LIMITED
REPORT #P.2001.74**

Recommendation

The Commissioner of Planning recommends:

That Zoning By-law Amendment File Z.01.070 (K.L. Lai Investments Limited) BE APPROVED, to permit a Personal Service Shop use in the EM1 Zone.

Purpose

On October 3, 2001, the Owner submitted an application to amend the Zoning By-law to permit a Personal Service Shop use in the EM1 Prestige Employment Area Zone. The zoning exception would facilitate a hair salon and aesthetics establishment in Unit 7 (160 m²) of a multi-unit building on the site.

Background - Analysis and Options

The site is located at the northwest corner of Steeles Avenue West and Scholes Road, east of Pine Valley Drive (4120 Steeles Avenue West), being Lot 50, Plan M-2009, in Lot 1, Concession 6, City of Vaughan. The 1.86 ha site is developed with two multi-unit industrial buildings and a freestanding convenience eating establishment, with a total combined GFA of 5199.52 m² and 264 parking spaces.

The subject lands are designated "Prestige Area" by OPA #450 and zoned EM1 Prestige Employment Area Zone, and deemed a Commercial Complex by Zoning By-law 1-88, subject to Exception 9(1082). The surrounding land uses are:

- North - employment (EM1 Prestige Employment Area Zone)
- South - Steeles Avenue West; employment (City of Toronto)
- East - Scholes Road; employment (EM1 Zone)
- West - employment (EM1 Zone)

On October 26, 2001, a notice of Public Hearing was circulated to all property owners within 120 metres of the subject lands. To date, no comments have been received. The recommendation of the Committee of the Whole at the Public Hearing on November 19, 2001, to receive the public hearing and forward a comprehensive report to a future Committee meeting, was ratified by Council on November 26, 2001.

Official Plan

The subject lands are designated "Prestige Area" by OPA #450, which accommodates a wide range of industrial, office, business and civic uses, with no outside storage. The lands are also consistent with the "Service Node" policies of the Official Plan, which permit uses that provide for the day-to-day convenience and service needs of businesses, industries and their employees, and are located at the intersections of arterial and/or collector roads. The proposed use conforms to the Official Plan.

Zoning

The site is zoned EM1 Prestige Employment Area Zone, and deemed a Commercial Complex by By-law 1-88, subject to Exception 9(1082). An exception to the EM1 Zone is required to permit the proposed personal service shop use and added use.

Compatibility

The site is developed with two multi-unit industrial buildings, which contain employment uses, eating establishments and offices. A freestanding convenience eating establishment with drive-through is located on the southeast corner of the site. The lands surrounding this site are occupied by a mix of employment and commercial/office uses. The proposed use is compatible with the existing uses on the site and in the surrounding area.

Parking

The parking provided on the site is 264 spaces. The revised parking requirement for the site with the addition of a Personal Service Shop in Unit 7, is calculated as follows:

Proposed Personal Service Shop in Unit #7 (160 m ² @ 6/100 m ²)	10 spaces
2 multi-unit industrial buildings (4689.97 m ² @ 2/100 m ²)	94 spaces
Convenience Eating Est. & Outdoor Patio Use (347.16 @ 16/100 m ²)	56 spaces
Parking Required:	160 spaces
Parking Provided:	<u>264 spaces</u>
Parking Surplus:	104 spaces

According to the above calculations, the site has a surplus of 104 parking spaces, which is more than sufficient for the entire site, with the addition of the proposed use.

Conclusion

Staff have reviewed the proposed application in accordance with the policies of the Official Plan and are satisfied that the proposed hair salon and aesthetics establishment is in keeping with the intent of the Plan. The use is compatible with the uses on the site and in the surrounding area, and the parking supply is sufficient to accommodate the additional use.

To this end, Staff recommends approval of the zoning amendment application to permit a personal service shop use, limited to 160 m² in Unit 7 of the building on the subject lands. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan

Report prepared by:

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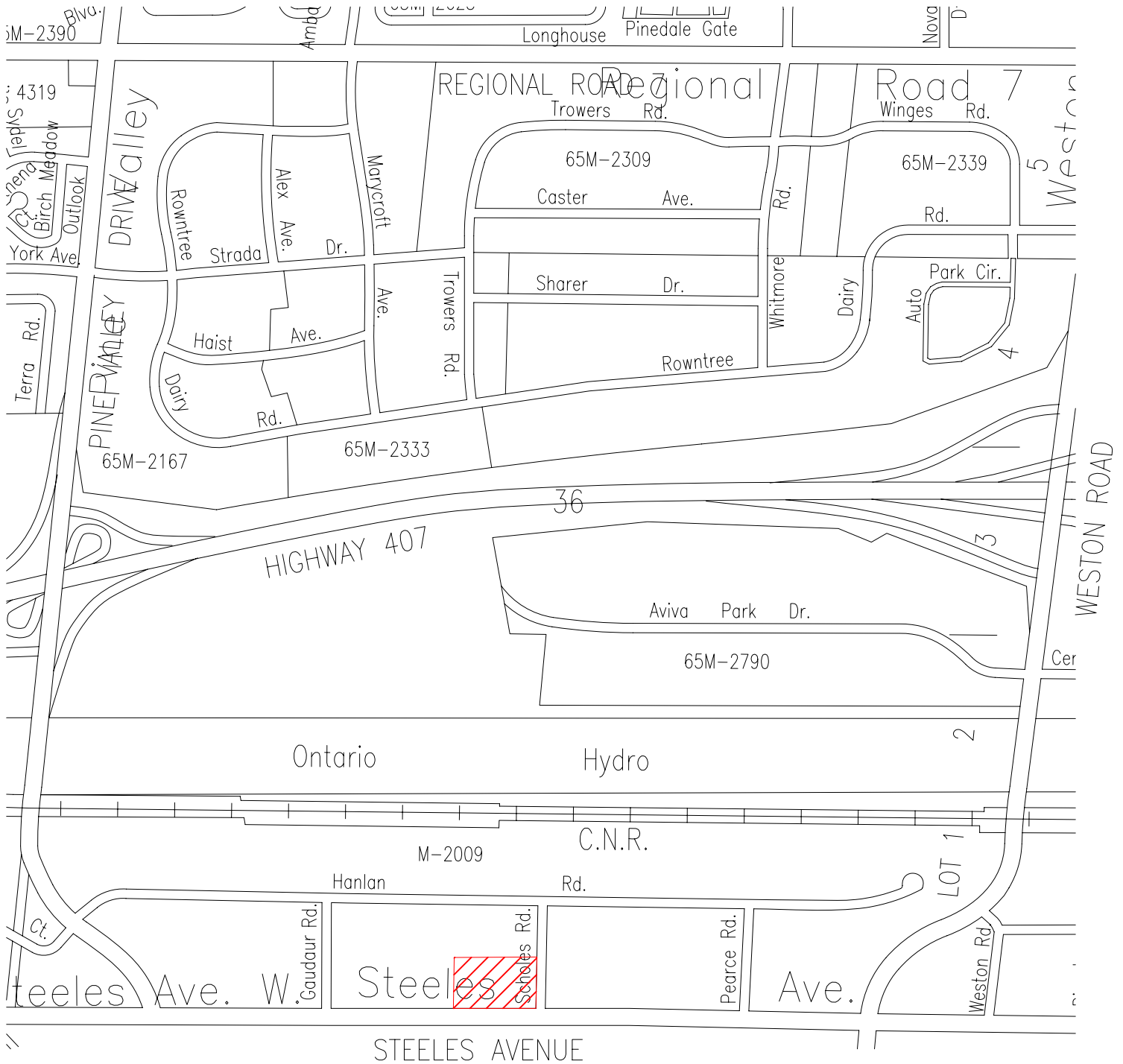
Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

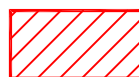
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ATTACHMENT "1"
LOCATION MAP

FILE #:	REPORT #:
Z.01.070	LOCATION: LOT 1, CONC. 6

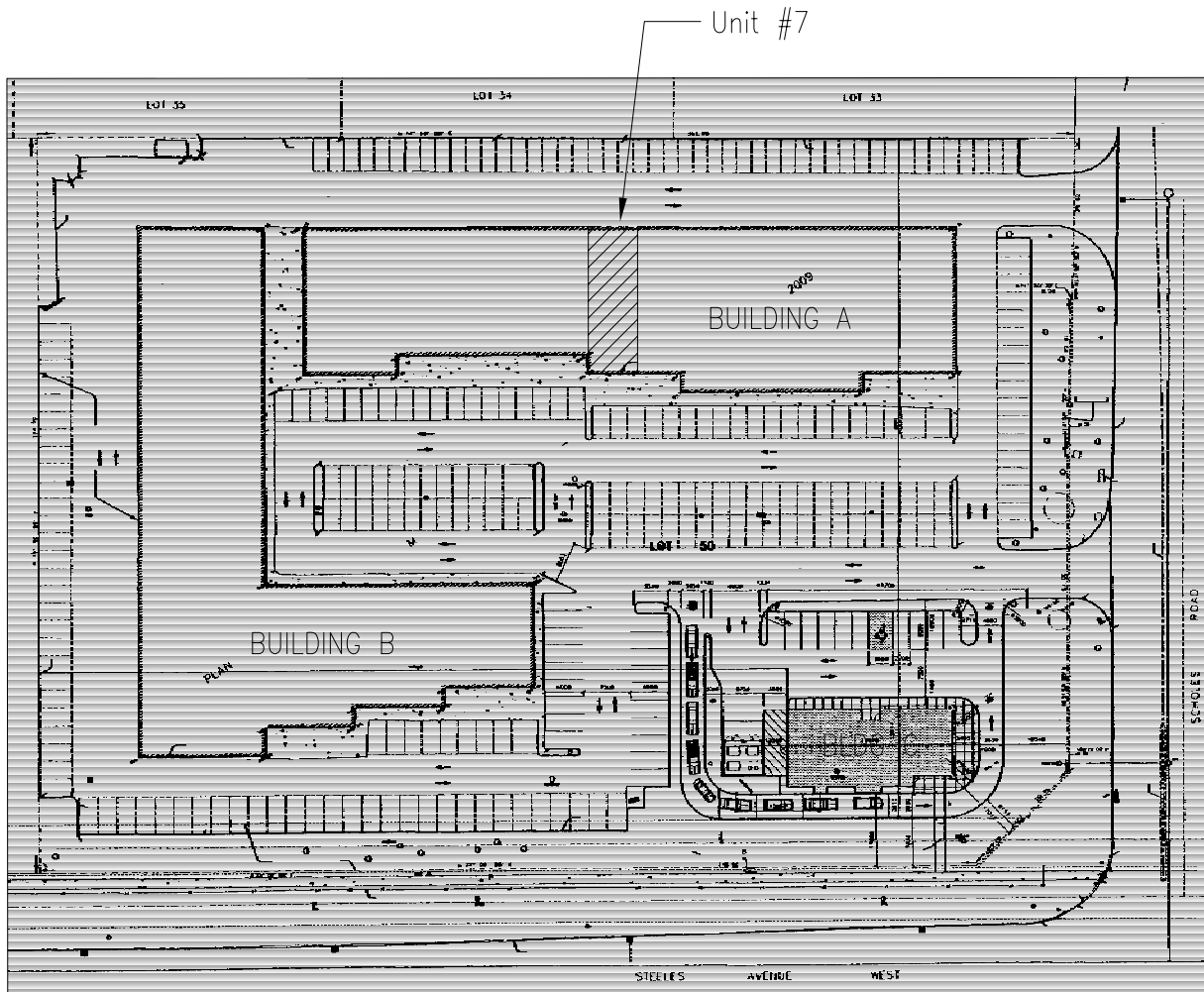


SUBJECT LANDS

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:
K.L. LAI INVESTMENTS LTD.

DATE: 10/22/2001
SCALE: NOT TO SCALE



SITE STATISTICS

Lot Area:	1.86 ha
Unit #7 GFA:	160m ²
Bldg.'s A & B GFA:	4849.97m ²
Bldg. C (convenience eating establishment) GFA (including outdoor patio):	349.55m ²
Total GFA:	5199.52m ²
Total parking provided:	264 spaces



<p>ATTACHMENT "2" SITE PLAN</p>	FILE #:	REPORT #:	DATE: 10/22/2001
	Z.01.070	LOCATION: LOT 1, CONC. 6	SCALE: NOT TO SCALE
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT: K.L. LAI INVESTMENTS LTD.	