

COMMITTEE OF THE WHOLE JUNE 3, 2002

SITE DEVELOPMENT FILE DA.02.010 **RIOCAN HOLDINGS INC.**

Recommendation

The Commissioner of Planning recommends:

THAT Site Development Application DA.02.010 (Riocan Holdings Inc.) BE APPROVED, subject to the following conditions:

- a) that prior to the execution of the site plan agreement:
 - i) the final site plan and elevation drawings, including additional beige trim on the garbage enclosure, shall be approved by the Community Planning and Urban Design Departments;
 - ii) the final landscape plan shall be approved by the Urban Design Department;
 - iii) the final site servicing and grading plans, stormwater management report, and on-site circulation shall be approved by the Engineering Department;
 - iv) all requirements of Hydro Vaughan Distribution Inc. shall be satisfied; and,
 - v) the required variance shall be obtained from the Committee of Adjustment, and shall be final and binding.

- b) that the site plan agreement include the following provision:
 - i) the Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands in accordance with the Planning Act, prior to the issuance of a building permit. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Purpose

On February 23, 2002, the Owner submitted a Site Development Application for a one-storey, 464m² eating establishment with a 75m² patio (proposed Kelsey's Restaurant) on a portion of the 5.26 ha commercial plaza.

Background - Analysis and Options

The site is located on the northwest corner of Centre Street and New Westminster Drive, being Part 1 on Plan 65R-11604 (1020 Centre Street), in Part of Lot 6, Concession 2, City of Vaughan.

Official Plan

The subject lands are designated "*General Commercial*" by OPA #210 (Thornhill-Vaughan Community Plan), which permits retail stores for the buying, leasing and exchanging of goods and services, restaurants, banks and business and professional offices. The proposed development conforms to the Official Plan.

Zoning

The subject lands are zoned C2 General Commercial Zone by By-law 1-88, which permits the proposed restaurant and outdoor patio uses. An exception to the By-law is required to reduce the minimum 6m wide landscape strip to 0.7m along New Westminster Drive, to facilitate the outdoor patio.

Staff is satisfied the proposed exception to the by-law is appropriate to achieve the urban design objectives of the site plan. As a condition of site plan approval, a variance application to provide the setback exception must be approved and in effect prior to registration of the site plan agreement.

Site Design

The site plan consists of a one-storey, 464m² eating establishment with a 75m² outdoor patio shown as Block 'F' on Attachment '2'), as a new free-standing extension to the existing commercial plaza. The building is oriented in a north/south direction with the main entrance facing Centre Street. A screened garbage enclosure is located to the north of the restaurant, facing the parking lot.

The outdoor patio is proposed on the east side of the building, adjacent to New Westminster Drive, with direct patron access from the restaurant, and is enclosed by 1.8m high brick and metal pillars separated by glass panels.

Parking/Access

Vehicle access to the plaza is from two existing full movement driveways, one on Centre Street and the other on New Westminster Drive, which also serves the proposed restaurant.

On September 6, 2001, Committee of Adjustment, File No. A238/01 was approved to permit a reduction in parking on the overall commercial complex from 800 spaces to 770 spaces to facilitate, in part, the proposed restaurant building. The parking area on the west side of the building has been re-aligned to accommodate the restaurant, including new painted lines, one new barrier free parking stall and ramp, and new curbing detail to define the aisles and parking stall edges. On-site vehicular circulation must be to the satisfaction of the Engineering Department.

Building Elevations

The restaurant consists of a brown-toned brick facade with beige trim, and includes a band of reddish-brown stucco finish between the edge of the brick and the brown metal pre-finished roof flashing. Decorative wood door-like features are proposed on the north and east elevations. A stucco-finished parapet covers the main entrance and blue awnings cover the windows on the south, east and west elevations. Illuminated corporate signage is proposed for the north and south elevations and dark brown pre-finished aluminium siding screens the roof-top mechanical unit.

The garbage enclosure located on the north side of the building, is screened on the north and east sides by the same architectural treatment as the main building, with wood trellis roof screening, and double access doors facing the parking area to the west. Staff recommends that the beige trim used on the main building also be placed along the top edge of the garbage enclosure on the east and north facades.

Landscaping

The landscape plan consists of a mix of deciduous and coniferous trees along Centre Street and New Westminster Drive, with additional shrubs, bushes, and planting beds along the south side of the building adjacent to the main entrance. A 1.5m - 2.68m wide concrete walkway provides

pedestrian access around the building and defines the edge between the building and the asphalt parking area. A walkway is also proposed to connect into the public sidewalk on New Westminster Drive. The final landscape plan must be to the satisfaction of the Urban Design Department.

Servicing

The Engineering Department advises that the subject lands have access to municipal services, including sanitary and storm sewers and water. The Owner has submitted revised engineering drawings to address minor servicing details, which must be approved by the Engineering Department.

All hydro requirements must be addressed to the satisfaction of Hydro Vaughan Distribution Inc.

Conclusion

Staff have reviewed the site plan in accordance with the Official Plan and Zoning By-law, and have no objections. Committee of Adjustment approval of a landscape strip reduction along the east boundary is required prior to finalizing the site plan agreement.

Therefore, Staff recommends approval of the Site Development Application to facilitate the proposed development within the existing commercial plaza, subject to conditions. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Elevations (east, north and south)
4. Elevations (west)
5. Landscape Plan

Report prepared by:

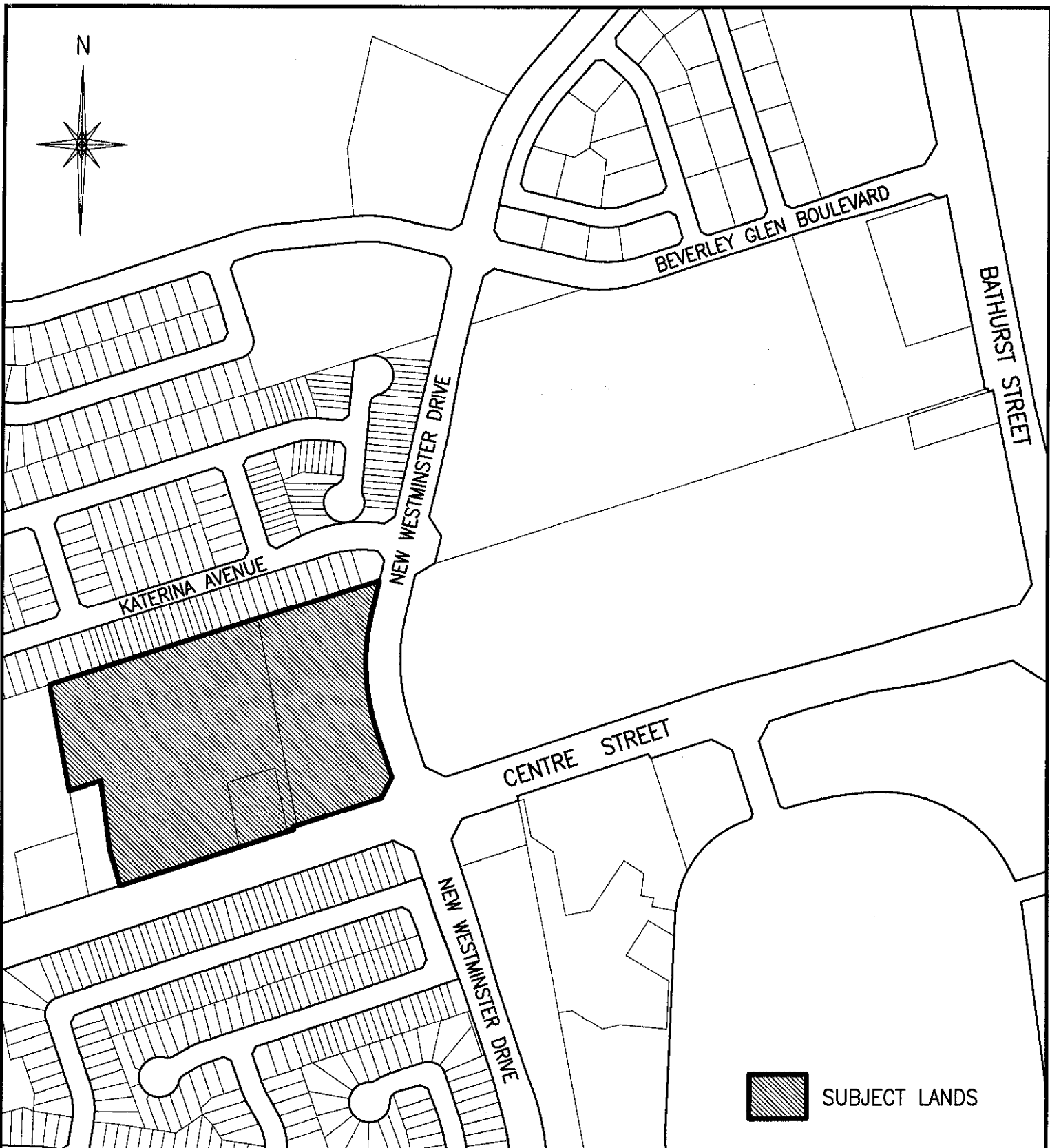
Jason Sheldon, Planner, ext. 8320
Grant A. Uyeyama, Senior Planner, ext. 8635
Marco Ramunno, Manager, Development Planning, ext. 8485

Respectfully submitted,

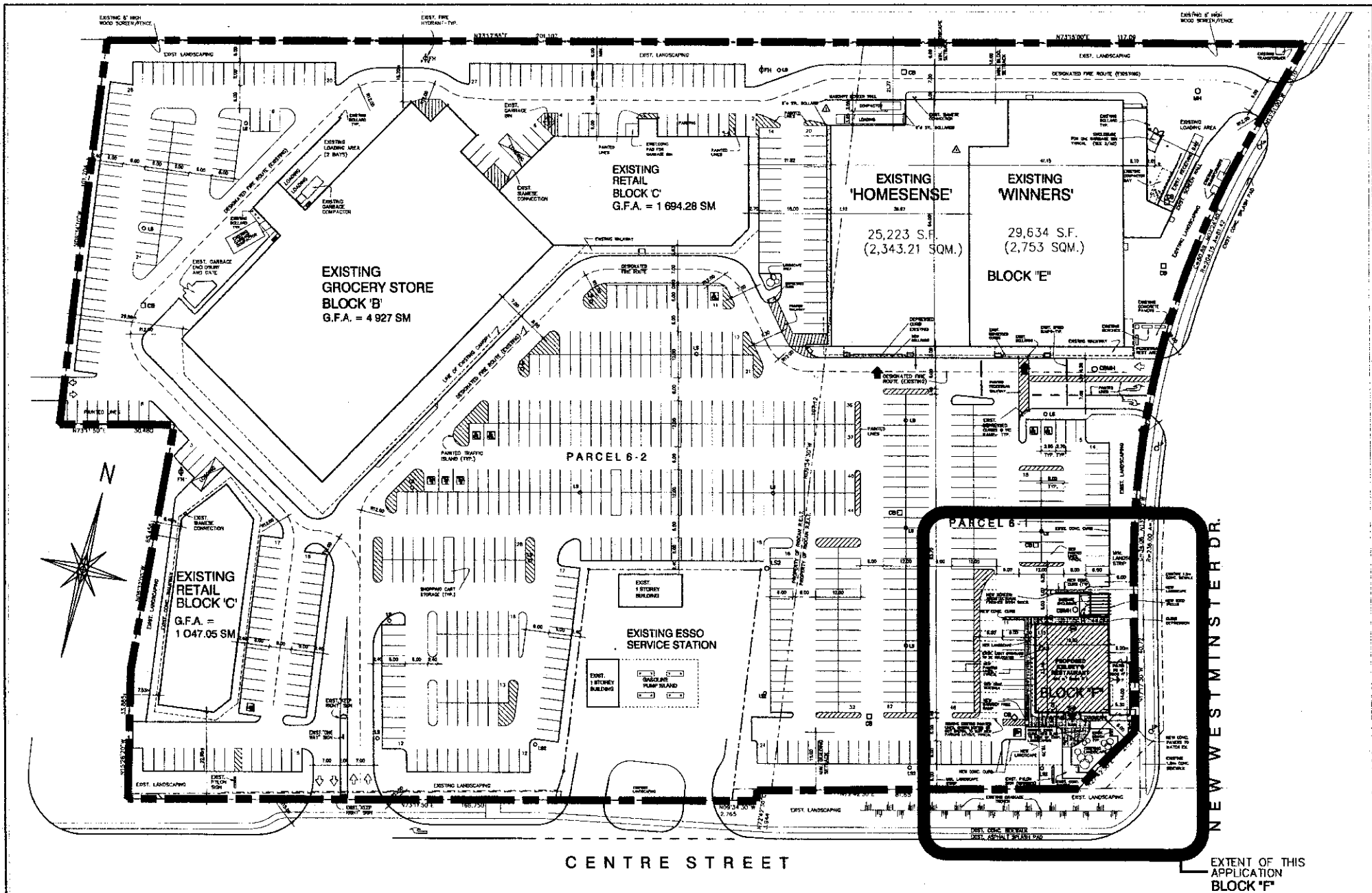
MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

/LG



ATTACHMENT '1' LOCATION MAP	FILE #:	REPORT #:	DATE: 03/01/2002
	DA.02.010	LOCATION: PART OF LOT 6, CON. 2	SCALE: NOT TO SCALE
CITY OF VAUGHAN PLANNING DEPARTMENT		APPLICANT:	RIOCAN HOLDINGS INC.

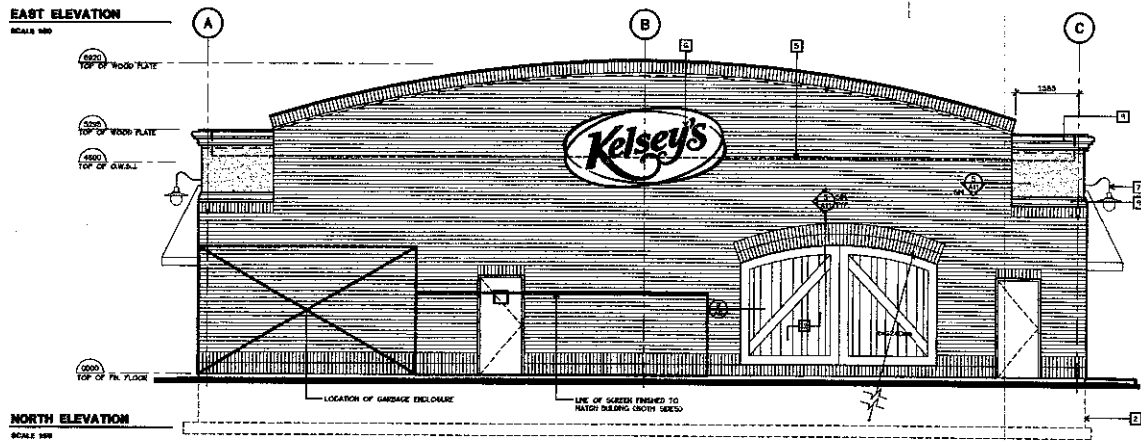
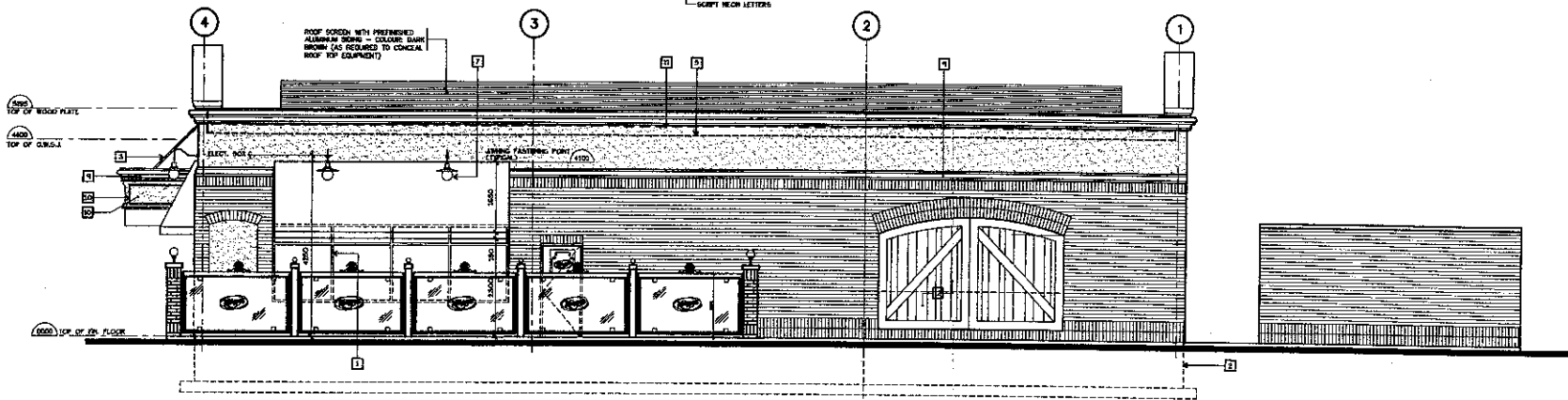
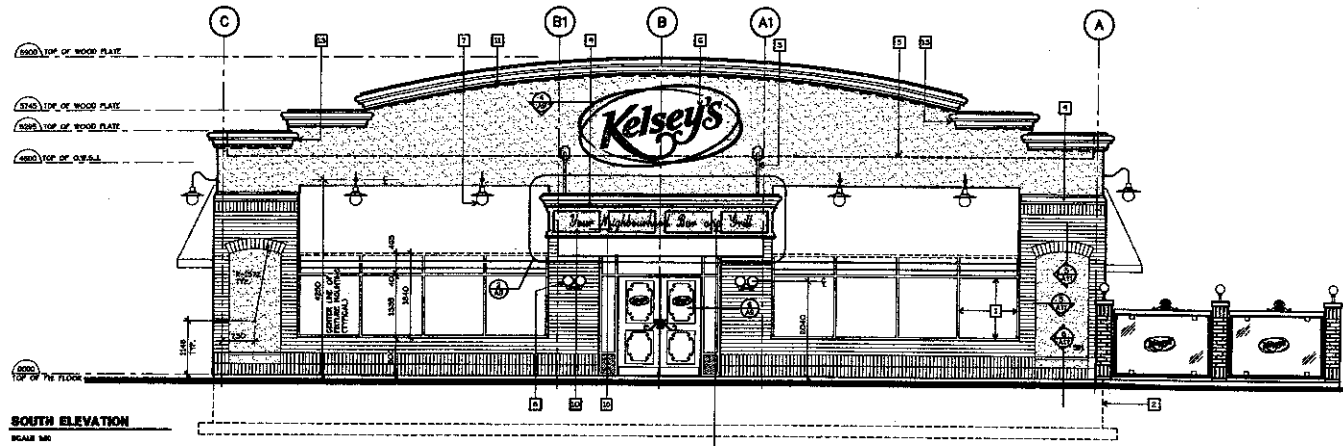


ATTACHMENT '2'
SITE PLAN

FILE #:	REPORT #:
DA.02.010	LOCATION: PART OF LOT 6, CONCESSION 2

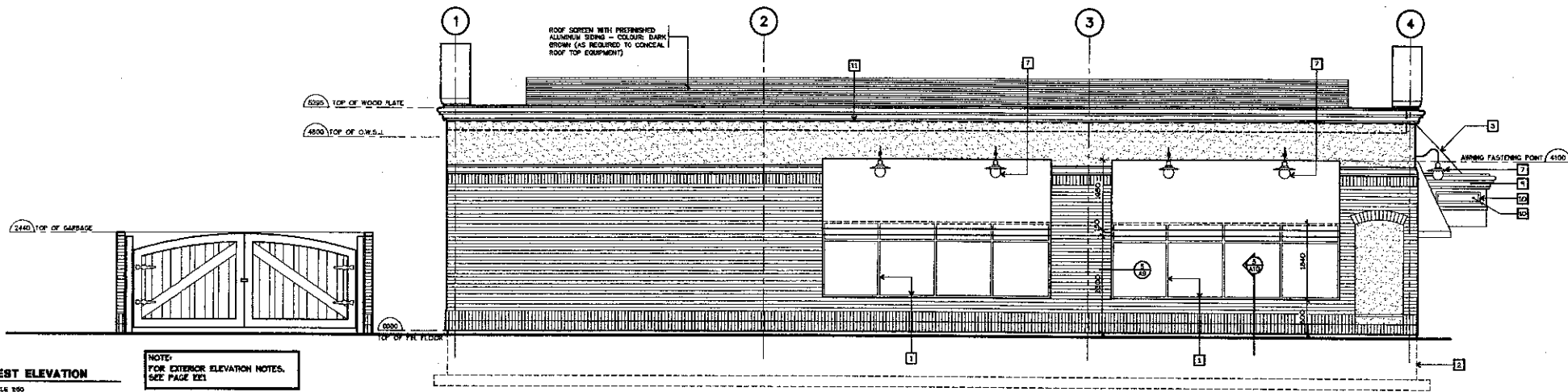
--- SUBJECT LANDS ---
CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:	DATE: 04/17/2002
RIOCAN HOLDINGS INC.	SCALE: NOT TO SCALE



ATTACHMENT '3'
ELEVATIONS

FILE #: DA.02.010	REPORT #:	CITY OF VAUGHAN PLANNING DEPARTMENT	DATE: 03/01/2002
	LOCATION: PART OF LOT 6, CONCESSION 2		APPLICANT: RIOCAN HOLDINGS INC.
			SCALE: NOT TO SCALE

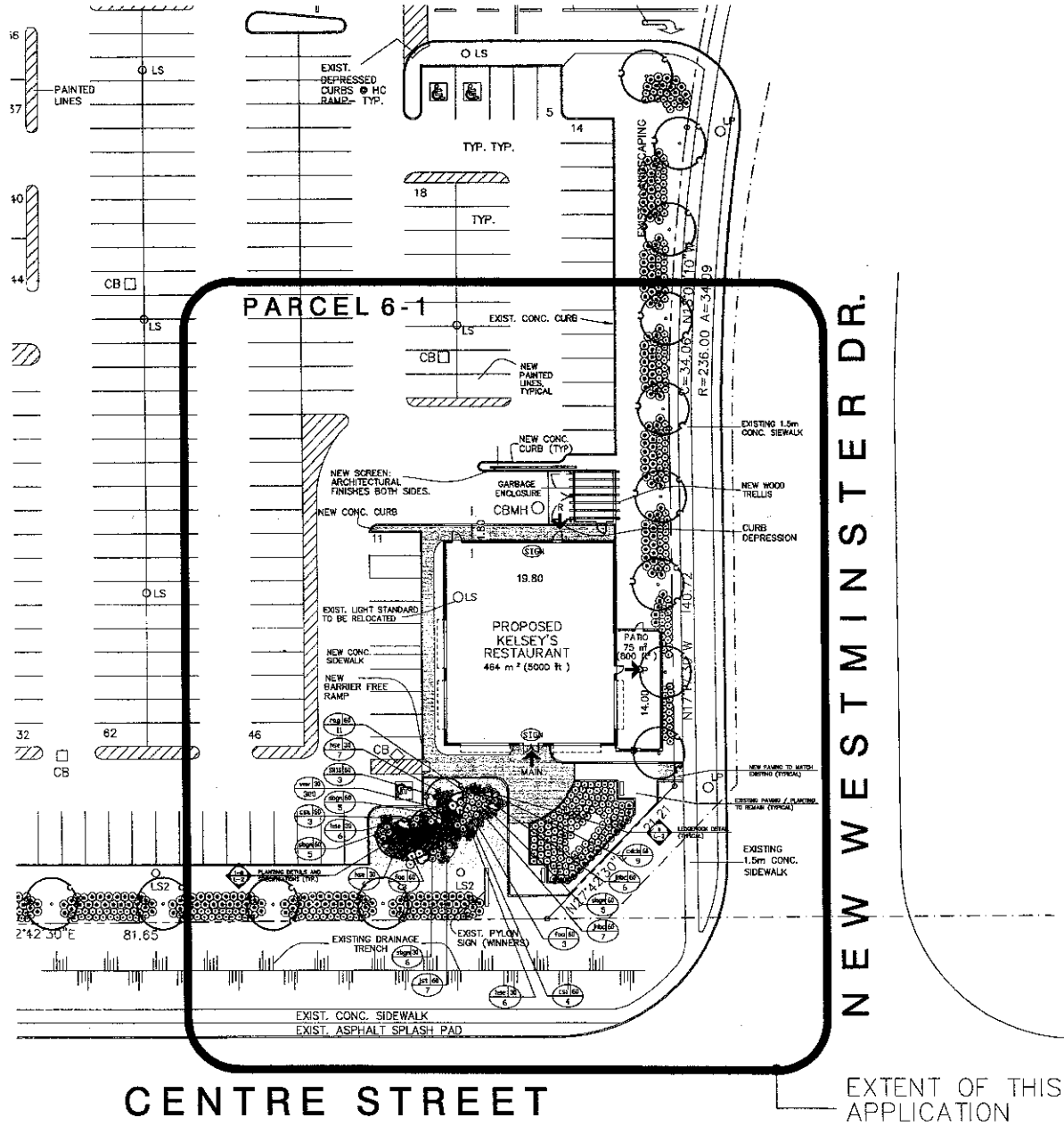
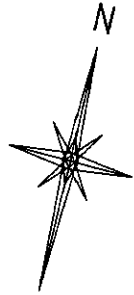


WEST ELEVATION
SCALE: 1/8"

NOTE:
FOR EXTERIOR ELEVATION NOTES,
SEE PAGE 121

ATTACHMENT '4' ELEVATIONS

FILE #: DA.02.010	REPORT #:	CITY OF VAUGHAN PLANNING DEPARTMENT	DATE: 03/01/2002
	LOCATION: PART OF LOT 6, CONCESSION 2		APPLICANT: RIOCAN HOLDINGS INC.
			SCALE: NOT TO SCALE



ATTACHMENT '5'
LANDSCAPE PLAN

FILE #:
DA.02.010

REPORT #:
LOCATION:
PART OF LOT 6,
CONCESSION 2

CITY OF VAUGHAN
PLANNING DEPARTMENT

APPLICANT:
RIOCAN HOLDINGS INC.

DATE: 03/01/2002
SCALE: NOT TO SCALE