

COMMITTEE OF THE WHOLE DECEMBER 9, 2002

**ZONING BY-LAW AMENDMENT FILE Z.02.027
SITE DEVELOPMENT FILE DA.02.025
YORK CATHOLIC DISTRICT SCHOOL BOARD
REPORT #2002.31**

Recommendation

The Commissioner of Planning recommends:

1. THAT Zoning By-law Amendment File Z.02.027 (York Catholic District School Board) BE APPROVED, subject to the following:
 - a) That the by-law:
 - i) permit the driving range and accessory uses in the A Agricultural Zone for a temporary period of 3 years; and,
 - ii) provide exceptions to implement the approved site plan.

2. THAT Site Development File DA.02.025 (York Catholic District School Board) BE APPROVED, subject to the following:
 - a) That prior to the registration of the site plan agreement:
 - i) the site plan be approved by the Community Planning and Building Standards Departments;
 - ii) the landscape plan be approved by the Urban Design Department;
 - iii) the site servicing and grading plan be approved by the Engineering Department;
 - iv) the site plan and access to Rutherford Road be approved by the Region of York; and
 - v) the site plan be revised to identify protective barrier or netting measures to the driving range to the satisfaction of the Community Planning Department in consultation with TRCA.

Purpose

On March 25, 2002, the Owner submitted an application to amend the Zoning By-law to permit driving range and mini-putt facility uses in the A Agricultural Zone, on a temporary basis (maximum 3 years).

A Site Development Application (File DA.02.025) was also submitted, which shows a gravel parking lot and temporary building at the southeast corner of the site, with access from Rutherford Road.

Background - Analysis and Options

The subject lands are located at the northeast corner of Rutherford Road and Islington Avenue, being Part 1 on Reference Plan 65R-14413, in Lot 16, Concession 7, City of Vaughan. The 6.09

ha site has approximately 183m of frontage on Rutherford Road and is currently vacant. The lands are designated "Secondary School" by OPA #600 and zoned A Agricultural Zone by By-law 1-88. The surrounding land uses are:

- North - valleyland (A Agricultural Zone)
- South - Rutherford Road; community centre (A Agricultural Zone)
- East - valleyland (A Agricultural Zone)
- West - Islington Avenue; commercial plaza, residential (C4 Neighbourhood Commercial Zone, RVM1(B) Residential Urban Village Multiple Dwelling Zone One)

On March 28, 2002, a notice of public hearing was circulated to all property owners within 120m of the subject lands, and the Carrying Place, Belvedere Estates, Islington Woods, Sonoma Heights and Wycliffe Ratepayer Associations. The recommendation of the Committee of the Whole at the Public Hearing on April 22, 2002, to receive the public hearing and forward a comprehensive report to a future Committee meeting, was ratified by Council on April 29, 2002. Council also approved the following recommendation:

"That the applicant be requested to meet with the Ratepayer Associations and the Ward 1 Sub-Committee to address any outstanding issues, prior to this matter being brought forward to a Committee of the Whole meeting."

On May 1, 2002, a meeting was held with the applicant, ratepayers, residents and Ward 1 Sub-Committee. A number of comments were received from residents and ratepayers. Their concerns were the following:

- traffic
- location of entrance
- type of temporary building
- regulation of temporary uses

Official Plan

The lands are designated "Secondary School" by OPA #600. OPA #600 permits temporary uses within new community areas, subject to specific policies. The proposed development conforms to the policies of the Official Plan.

Zoning

The lands are currently zoned A Agricultural Zone by By-law 1-88. Exceptions to the by-law standards are required to permit the driving range in the A Agricultural Zone. The by-law will limit the temporary use to a 3 year period. The applicant may submit a new zoning amendment application after 3 years, proposing the same use again.

Temporary Uses

Official Plan Amendment #600 permits temporary uses in the new community areas, subject to a zoning by-law amendment and the proposal being in conformity with a number of policies. The policies are that the proposed use:

- i) is substantially less intensive than the planned use
- ii) entails limited capital investment
- iii) does not require municipal water or sanitary services
- iv) requires buildings of a temporary nature only
- v) is not automotive or industrial in nature
- vi) does not require outside storage
- vii) is preferably not located within the City's existing residential or employment areas

- viii) does not conflict with the planned development pattern, including roads, parks, schools and valley areas

The proposed driving range is less intensive than the future school use and involves a limited capital investment. Water and sanitary services will be provided on-site and the single building is temporary in nature. The driving range is not automotive/industrial in nature and does not require any outside storage. The site, although near a residential area, is not within an existing residential or industrial area. The location of the driving range does not conflict with the future development of the area. As the York Catholic District School Board owns the property, the proposed use would be removed upon construction of the new school. The proposed development conforms to the policies of OPA #600 for temporary uses.

Site Plan

The proposed site consists of a parking area, pro shop and driving range. A small area is dedicated to putting and pitching greens. The gravel parking area is located at the southeast corner of the property. Parking for 112 cars, including 2 handicap spaces, is provided.

The pro shop, with a floor area of approximately 44 sq.m, is located on the west side of the parking lot. The driving range faces north and is 250 yards long. The Toronto and Region Conservation Authority has requested that protective netting be provided along the eastern property boundary to prevent errant balls from landing within the environmentally significant area and TRCA property. In addition, there may be protective measures required along the Islington Avenue frontage.

One exception to the zoning standards is required. The parking area and aisles will have a gravel surface, rather than asphalt as required by By-law 1-88. This is considered an appropriate exception given the temporary nature of the use.

Access

Access to the site is from a single entrance on Rutherford Road. As Rutherford Road is a regional road, the Region of York must approve this access. The Region's preliminary comments have indicated no objection to the location of this entrance.

Elevations

The front elevation of the pro shop features the main entrance, which includes a small porch with gable roof. The roof of the building is shingled in a charcoal slate colour and the green-grey siding is metal. There are three windows along the front, two on the back and one on the south elevation, facing Rutherford Road. Each window will have dark green wood shutters and a vinyl planter box beneath them.

Conclusion

The proposed driving range complies with the temporary use policies of the Official Plan. Some amendments to the plan are required to ensure that errant golf balls do not present a hazard to abutting roadways and properties. The temporary use by-law will ensure that the driving range operates for a maximum of 3-years, at which time the owner may reapply for the use, and that application will be subject to the same public process. Staff consider the proposed driving range to be a suitable temporary use for the property. Should Committee concur, the recommendation of this report can be adopted.

Attachments

1. Location Map
2. Site Plan
3. Servicing and Grading Plan
4. Landscape Plan
5. Elevations

Report prepared by:

Todd Coles, Planner, ext. 8634
Art Tikiryán, Senior Planner, ext. 8212
Marco Ramunno, Manager, Development Planning, ext. 8585

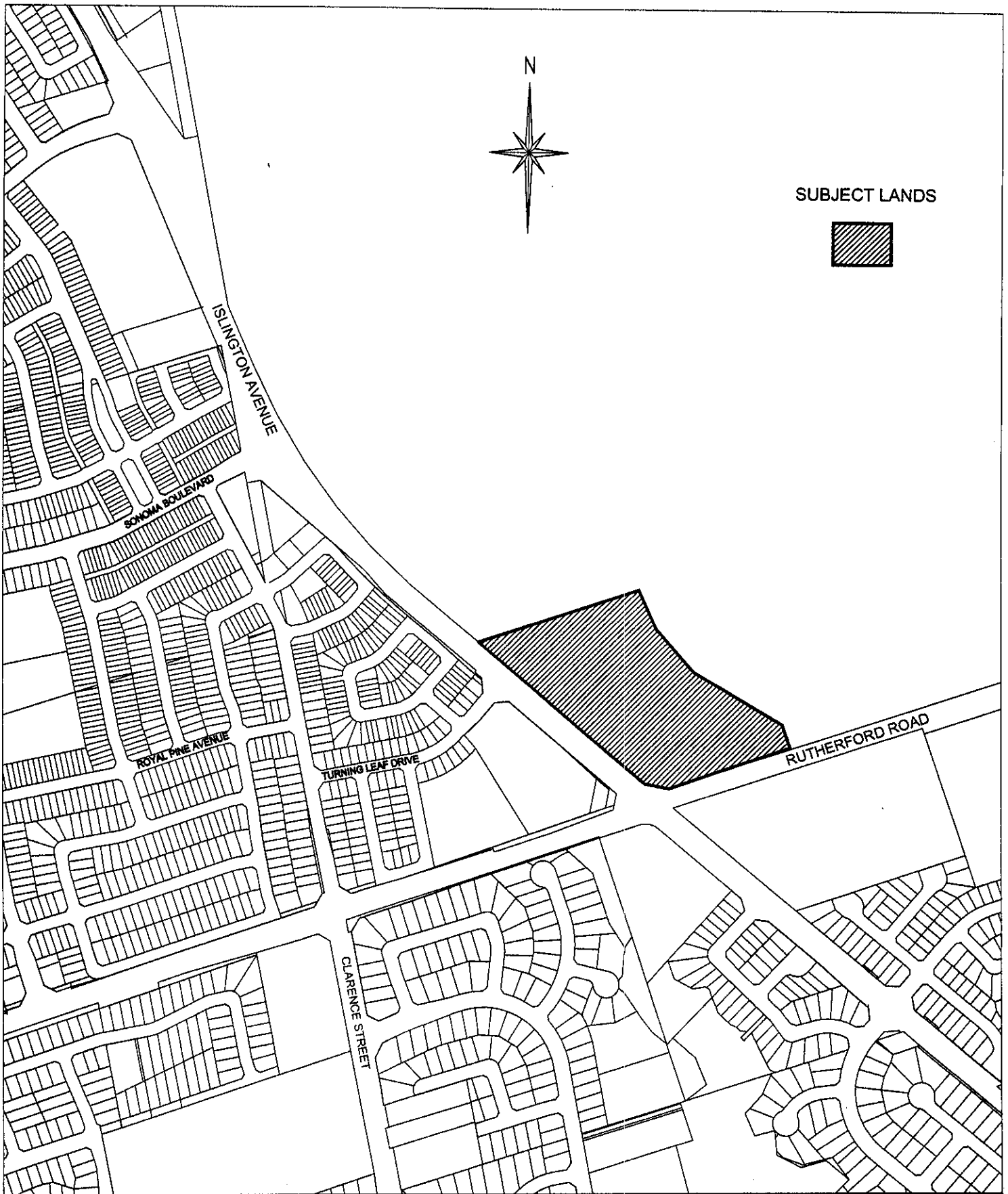
Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

/CM

R:\SER\WORKING\COLEST\HarryPutt.CW.dot



Location Map

Lot 16,
Concession 7

APPLICANT:
YORK CATHOLIC DISTRICT
SCHOOL BOARD



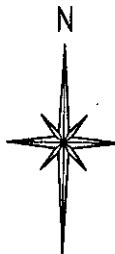
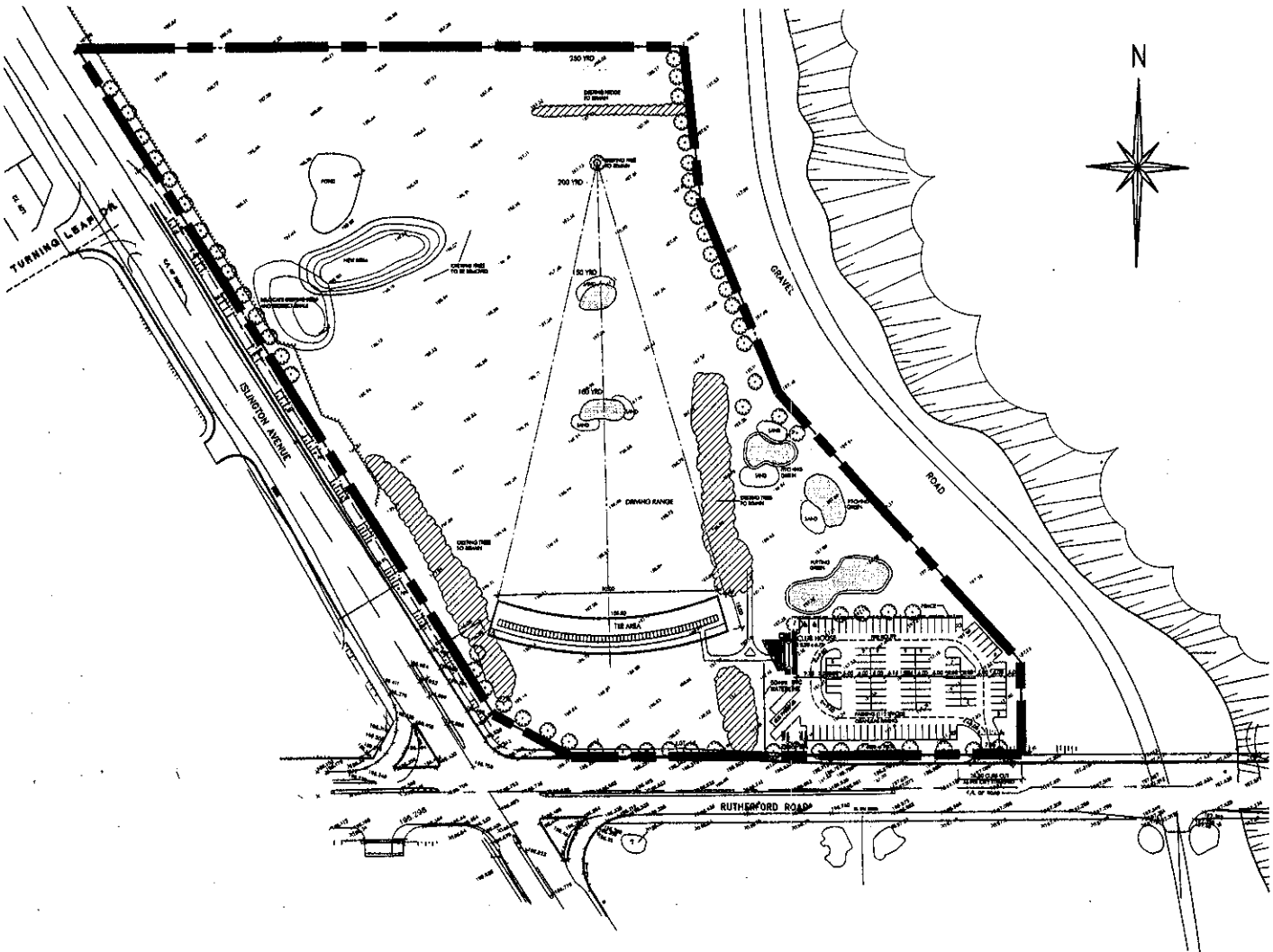
Community Planning Department

Attachment

FILE No.:
Z.02.027
DA.02.025

November 19, 2002
Not to Scale

1




 SUBJECT LANDS

SITE DEVELOPMENT DATA		
ZONING		
LOT AREA	60,936.37 SQ.M. 15.057 AC.	655,935.09 SQ.FT.
GROSS BUILDING AREA (INCLUDING TEE AREA)	324.33 SQ.M.	3,491.17 SQ.FT.
LOT COVERAGE		
GROSS GROUND FLOOR AREA	0.54%	
SETBACKS		
FRONT YARD	REQUIRED 6.00M	PROVIDED 34.30M
REAR YARD		
SIDE YARD (EXT.)	6.00M	15.00M
SIDE YARD (INT.)	12.00M	62.29M
PARKING		
	REQUIRED	PROVIDED 112 SPACES
LOADING SPACES		
	-	-
LANDSCAPED AREA		
PERCENTAGE	56,134.00 SQ.M. 92.11%	604,241.55 SQ.FT.
PAVED AREA		
PERCENTAGE	4,478.00 SQ.M. 7.35%	48,202.00 SQ.FT.

Site Plan

Lot 16,
Concession 7

APPLICANT:
 YORK CATHOLIC DISTRICT
 SCHOOL BOARD



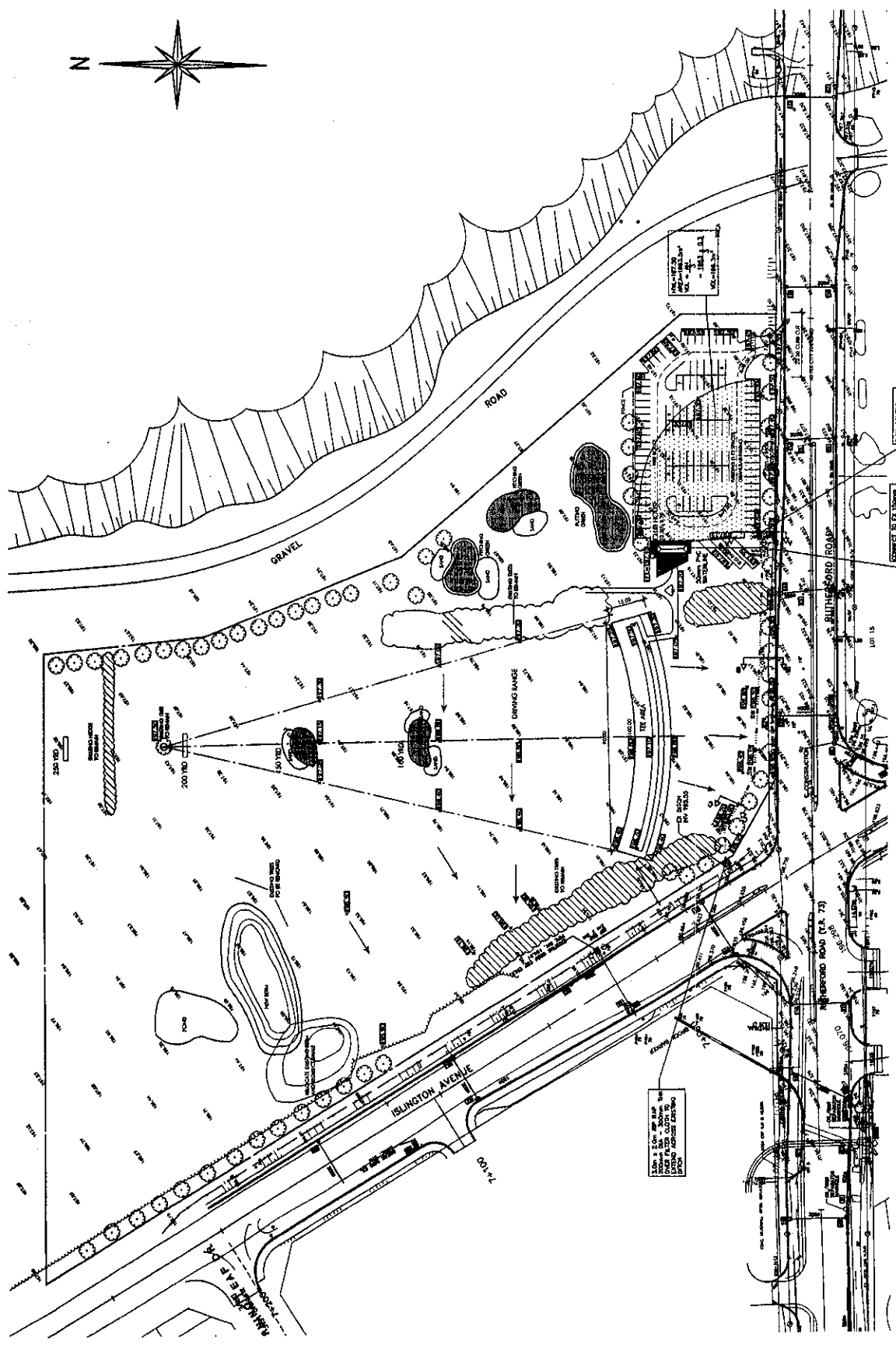
Community Planning Department

Attachment

FILE No.:
 Z.02.027
 DA.02.025

November 19, 2002
 Not to Scale

2



Not to Scale

Attachment 3

FILE No.:
Z.02.027
DA.02.025
November 19, 2002

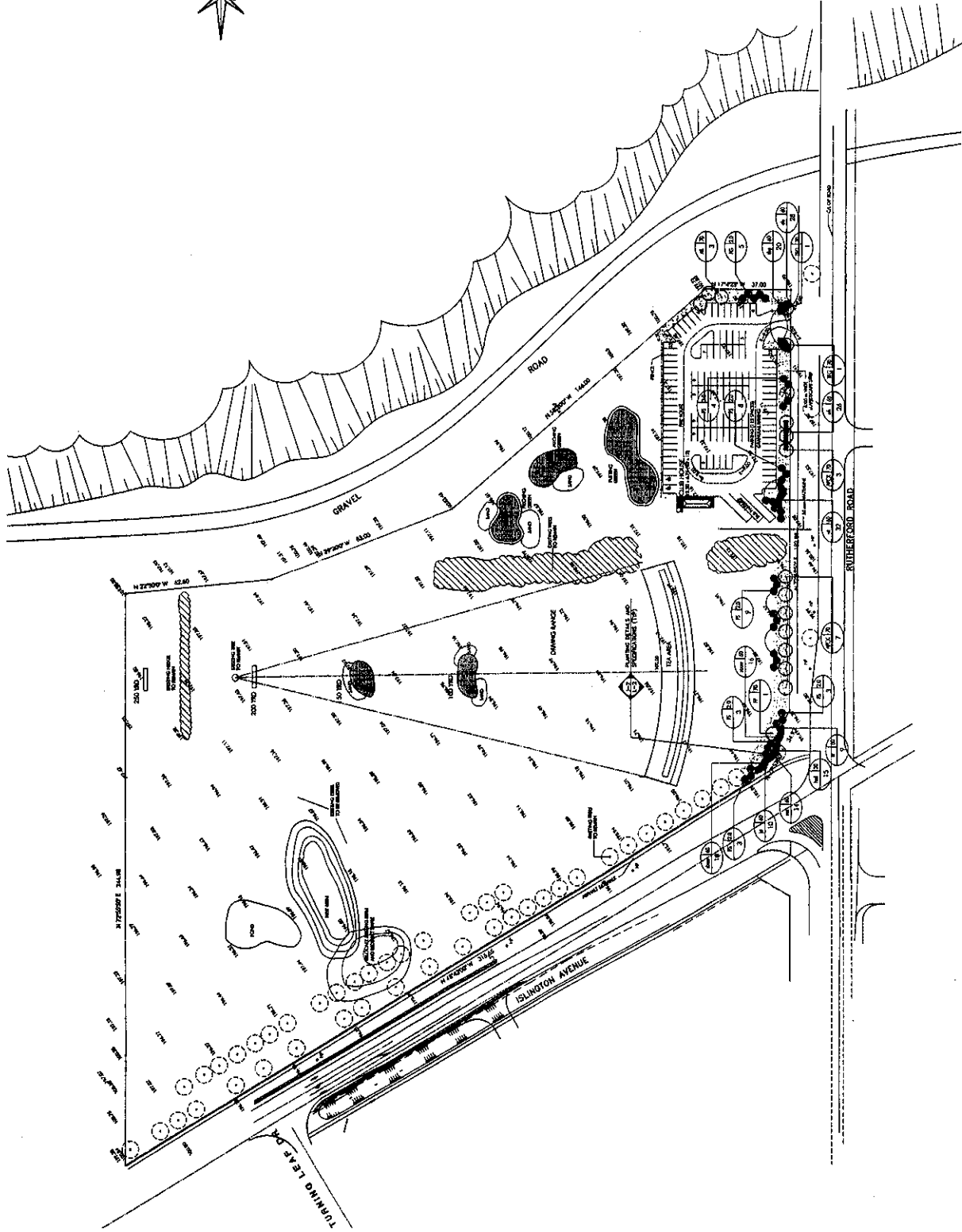
City of Vaughan

Community Planning Department

Servicing & Grading Plan

Lot 16,
Concession 7

APPLICANT:
YORK CATHOLIC DISTRICT
SCHOOL BOARD



Not to Scale

Landscape Plan

Lot 16,
Concession 7

APPLICANT:
YORK CATHOLIC DISTRICT
SCHOOL BOARD

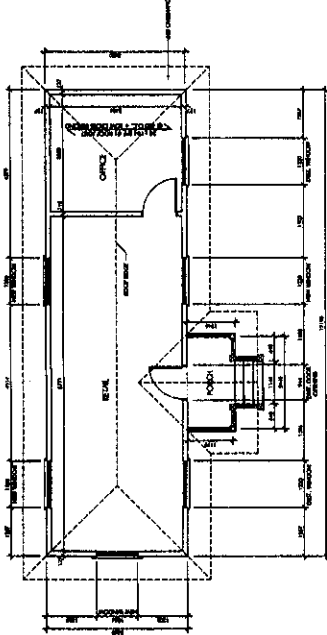


Community Planning Department

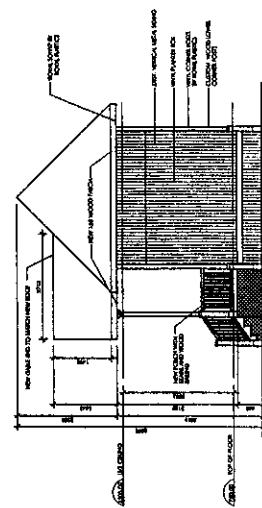
Attachment 4

FILE No.:
Z.02.027
DA.02.025

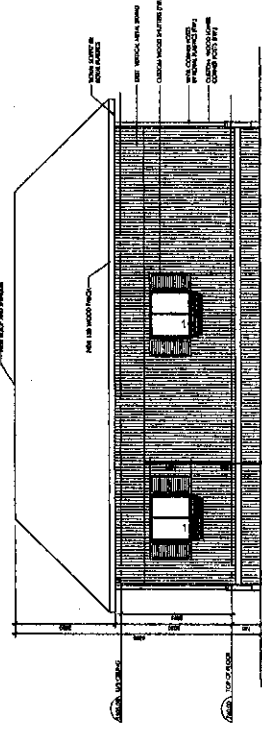
November 19, 2002



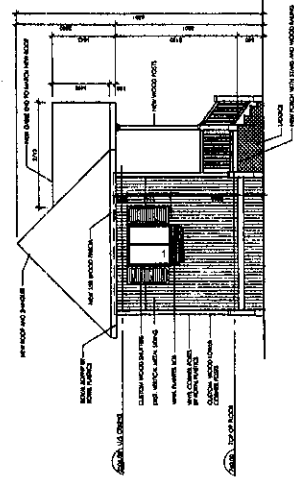
FLOOR PLAN
SCALE = 1/8"



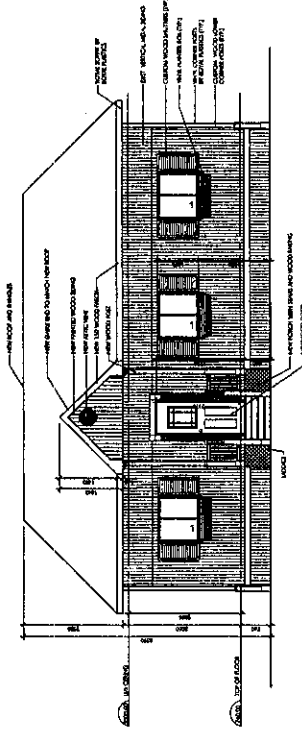
RIGHT ELEVATION
SCALE = 1/8"



REAR ELEVATION
SCALE = 1/8"



LEFT ELEVATION
SCALE = 1/8"



FRONT ELEVATION
SCALE = 1/8"

Not to Scale

Elevations

Lot 16,
Concession 7

APPLICANT:
YORK CATHOLIC DISTRICT
SCHOOL BOARD



Community Planning Department

Attachment 5

FILE No.:
Z.02.027
DA.02.025

November 19, 2002