

COMMITTEE OF THE WHOLE DECEMBER 9, 2002

SITE DEVELOPMENT FILE DA.02.028
LANGSTAFF CONTWO INVESTMENTS LIMITED

Recommendation

The Commissioner of Planning recommends:

THAT Site Development File DA.02.028 (Langstaff Contwo Investments Limited) BE APPROVED, subject to the following conditions:

- a) That prior to the execution of the site plan agreement:
 - i) the final site plan and elevation drawings shall be approved by the Community Planning and Urban Design Departments;
 - ii) the final landscape plan shall be approved by the Urban Design Department;
 - iii) the final site servicing and grading plans, stormwater management report, and noise report shall be approved by the Engineering Department;
 - iv) access and on-site vehicular circulation shall be approved by the Engineering Department and the Region of York Transportation and Works Department;
 - v) the approved engineering drawings for Plan of Subdivision 19T-98V05 (Langstaff Contwo Investments Limited) shall be amended to show the revised location of the curb cut through the centre median on Thornhill Woods Drive, to the satisfaction of the Engineering Department;
 - vi) all requirements of Hydro Vaughan Distribution Inc., including relocating the switchgear foundation on Regional Road #7 to a location acceptable to the Engineering and Urban Design Departments, shall be satisfied; and,
 - vii) the required variances and hydro easement shall be obtained from the Committee of Adjustment, and shall be final and binding.
- b) That the site plan agreement include the following provision:
 - i) the Owner shall dedicate any required road widenings, daylight triangles and 0.3m reserves, free of all costs and encumbrances, to the appropriate agency or authority as required.

Purpose

On April 12, 2002, the Owner submitted a Site Plan Application to develop a 0.49ha site for an Esso automobile gas bar, including a 173.3m² customer service kiosk with accessory take-out eating establishment (Tim Horton's) and drive-through, five self-serve fuelling stations with canopy cover, and a 109.5m² car wash.

Background - Analysis and Options

The subject lands are located on the northeast corner of Regional Road #7 and Thornhill Woods Drive, being Block 16 on Plan 65M-3535, in Part of Lot 10, Concession 2, City of Vaughan. The 0.49 ha site has 48.9m frontage on Regional Road #7 and 81.5m flankage along Thornhill Woods Drive. The surrounding land uses are:

North - stormwater management pond (OS1 Zone)
South - Regional Road #7
East - stormwater management pond (OS1 Zone)
West - Thornhill Woods Drive, residential (RVM1 Zone)

Official Plan

The subject lands are designated “Medium Density Residential/Commercial” and subject to the “*Local Convenience Commercial*” policies in OPA #600, as amended by OPA #561. The Official Plan permits uses that provide opportunities for convenience level shopping and personal services such as retail stores, personal service shops, offices and similar uses, and service stations and gas bars with drive-through, a mechanical car wash, and eating establishments (take-out and convenience). The proposed site development conforms to the Official Plan.

Zoning

The subject lands are zoned C3 Local Commercial Zone by By-law 1-88, subject to Exception 9(1063), which would permit an automobile gas bar with drive-through, take-out eating establishment, retail store and car wash uses.

The following variances to the C3 Zone standards are required to be obtained from the Committee of Adjustment to implement the proposal:

- 7 3m rear yard, rather than a minimum of 9m;
- 7 1.5m wide landscape strip (east), whereas 2.4m is required;
- 7 4m wide landscape strip abutting the sight triangle, whereas 6m is required;
- 7 minimum 13 parking spaces, whereas 15 spaces are required; and
- 7 minimum 10 car stacking lane for the car wash, whereas 20 is required.

Staff is supportive of the proposed variances to the by-law, which are required to implement the site plan.

Site Design

The site plan consists of a 173.3m² customer service kiosk with accessory take-out eating establishment and drive-through, a 109.5m² car wash, and five self-serve fuelling stations with 5.35m high canopy cover. The kiosk and fuelling station are located central to the site and face Regional Road #7. The drive-through for the Tim Horton’s is located on the north side of the kiosk. An external screened garbage enclosure is attached to the east side of the kiosk.

The car wash is located along the north property line, with the entrance on the east side. Two vacuum islands are located at the exit of the car wash. A noise report has been submitted in support of the car wash facility, and must be approved to the satisfaction of the Engineering Department.

To ensure that the external lighting does not extend to the adjoining residential community, the final drawings must be consistent with the site plan agreement provision that requires all outside lighting to be directed downward and inward from adjacent land uses and public streets. If, in the opinion of Vaughan Engineering Department or other authorities having jurisdiction, lighting shields are necessary to stop direct peripheral lighting to adjacent residential areas and streets, then the Owner will be responsible to install the shields.

Access

Site access is from full-movement driveways on Regional Road #7 and Thornhill Woods Drive. The existing curb cut through the centre median on Thornhill Woods Drive is being closed and relocated 24m south, with a width of 11m, in accordance with the site plan. The Engineering Department has advised that the engineering drawings approved for Plan of Subdivision 19T-98V05 (Langstaff Contwo) must be amended to show the cut in the centre median.

The entrance to the car wash stacking lane is along the east property line and can accommodate 10 cars. The entrance to the Tim Horton's drive-through is between the kiosk and the car wash, and consists of a loop that can accommodate 8 cars.

A sidewalk connection is provided from Thornhill Woods Drive to the main entrance of the kiosk. Currently, the City is undertaking the Regional Road #7 policy review. The study is to carry out a comprehensive evaluation of planning and development opportunities along the entire length of Regional Road #7. The results of this study will likely include pedestrian links/walkways along Regional Road #7. To provide a linkage to this road, a pedestrian connection has been red-lined on the site plan, requiring the removal of one parking space in front of the kiosk and one adjacent to Regional Road #7, as well as revisions to the planting within the landscape strip.

Parking

The Engineering Department and the Region of York Transportation and Works Department must approve the access on Regional Road #7 and Thornhill Woods Drive, the curb cut within the centre median on Thornhill Woods Drive, and on-site vehicular circulation.

The required parking for the proposed development is 15 spaces, based on the following standards:

- Convenience Retail Store (5.5 spaces/100m² x 173.3m²): 10 spaces + 8 drive-through spaces
- Car Wash: 5 spaces + 20 stacking spaces

Of the 16 parking spaces proposed, two have been eliminated to provide for the walkway connections, resulting in a total of 14 spaces. Staff can support the one space deficiency and the reduction in the car wash stacking spaces from 20 to 10 spaces. The site plan has also been red-lined to increase the size of the parking space for the physically challenged to the minimum by-law standard of 3.9m x 6m.

Building Elevations

The customer service kiosk and garbage enclosure will be constructed with a light brown/pink stone façade. Glazed windows set in pre-finished aluminium frames and tempered glass customer access doors are provided on the front (south) façade, with the drive-through pick-up window located on the north façade. A charcoal grey coloured, asphalt-shingled, pitched roof encloses the rooftop mechanical units.

The car wash facility also consists of the same light brown/pink stone façade, with large glazed windows on the south elevation. The vehicle entrance/exit doors are constructed of clear anodized overhead doors. The roof design is consistent with the kiosk.

The customer service kiosk, canopy cover, pylon sign, fuelling stations, and car wash include red, blue, yellow and white illuminated corporate signage representing Esso. All service doors and garbage enclosure doors, including the doorframes, are to be painted to match the stone façade. The final elevations must be to the satisfaction of the Community Planning and Urban Design Departments.

Landscaping

The site will be landscaped with an extensive mix of deciduous and coniferous trees and shrubs, bushes, planting beds and sodded areas, around the perimeter of the property and adjacent to the stacking lanes for the car wash and drive-through. A 1.5m high black vinyl chain link fence will be provided along the east and north property lines, adjacent to the stormwater management pond. A 7.5m high Esso pylon sign is located within the landscape strips, adjacent to each access. The final landscape plan and signage must be to the satisfaction of the Urban Design Department.

The parkland dedication requirements under the Planning Act have been satisfied through the registration of Plan of Subdivision 19T-98V05, and no further dedication or cash-in-lieu payment is required upon registration of the site plan agreement.

Servicing

The site has access to hydro, water, and sanitary and storm sewers. The applicant has submitted detailed engineering drawings, including site servicing and grading plans and a stormwater management report, which must be approved by the Engineering Department.

All hydro requirements, including relocating the switchgear foundation on Regional Road #7 to a location acceptable to the Urban Design Department, must be addressed to the satisfaction of Hydro Vaughan Distribution Inc. A hydro easement in favour of Hydro Vaughan will be required to be provided along Regional Road #7, and will require a consent application to be approved by the Committee of Adjustment.

Conclusion

Staff has reviewed the Site Plan Application in accordance with the Official Plan and Zoning By-law, and have no objections to its approval. The proposed site plan would facilitate the construction of an Esso automobile gas bar, including a 173.3m² customer service kiosk with accessory take-out eating establishment component and drive-through, a 109.5m² car wash, and five self-serve fuelling stations with canopy cover. Minor exceptions to the by-law with respect to setbacks, landscaping, parking and stacking queues, and a hydro easement, are required and must be approved by the Committee of Adjustment, prior to entering into a site plan agreement.

Staff recommends approval of the Site Plan Application to facilitate the proposed development, subject to conditions. Should the Committee concur, the recommendation in this report can be adopted.

Attachments

1. Location Map
2. Site Plan, as redlined
3. Landscape Plan, as redlined
4. Kiosk Elevations (south)
5. Kiosk Elevations (north, east, and west)
6. Car Wash Elevations
7. Canopy Elevations
8. Pylon Sign

Report prepared by:

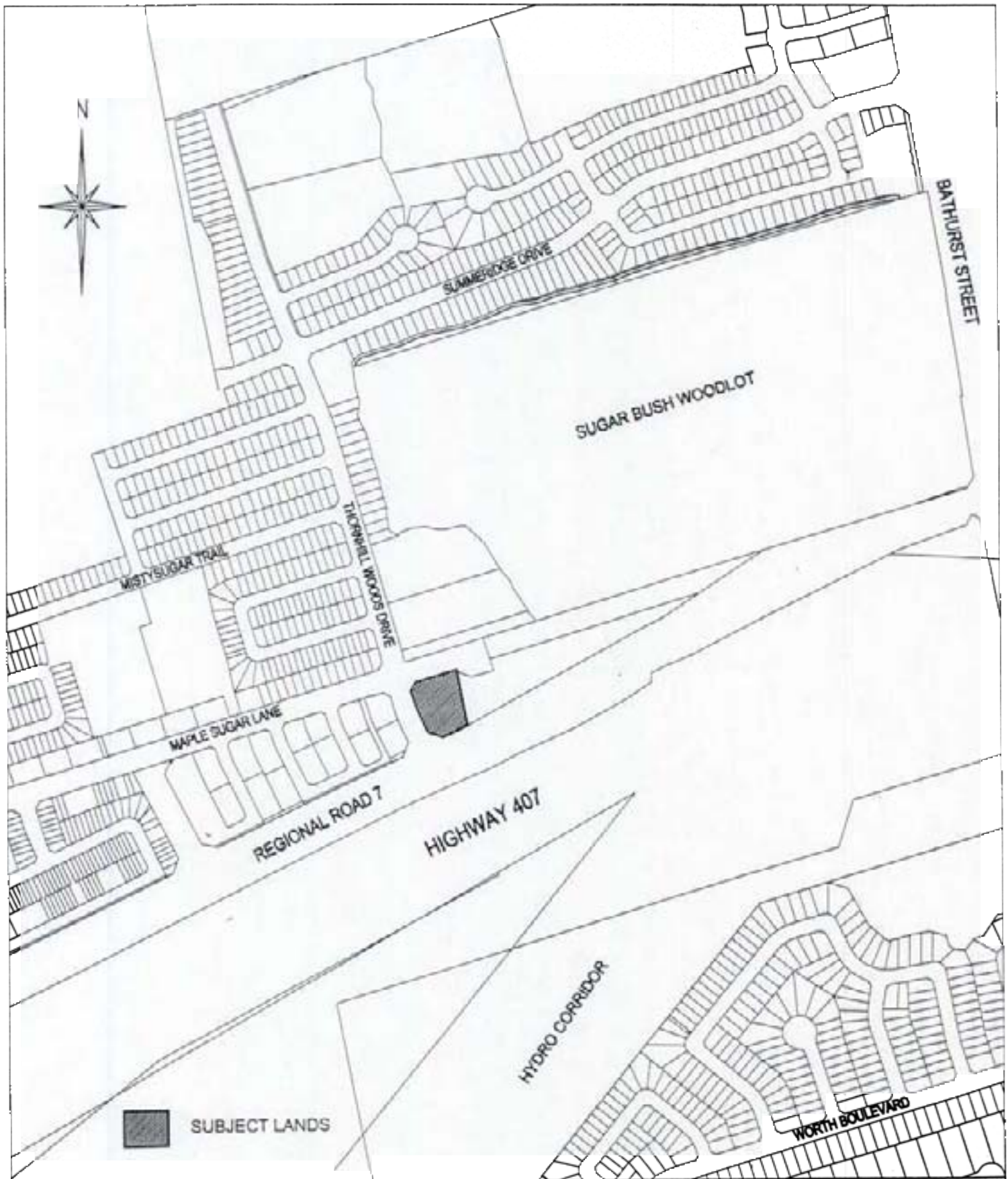
Jason Sheldon, Planner, ext. 8320
Grant A. Uyeyama, Senior Planner, ext. 8635
Marco Ramunno, Manager, Development Planning, ext. 8485

Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

/LG



Location Map

Part of Lot 10,
Concession 2

APPLICANT:
LANGSTAFF CONTWO
INVESTMENTS LIMITED



Community Planning Department

Attachment

FILE No.:
DA.02.028

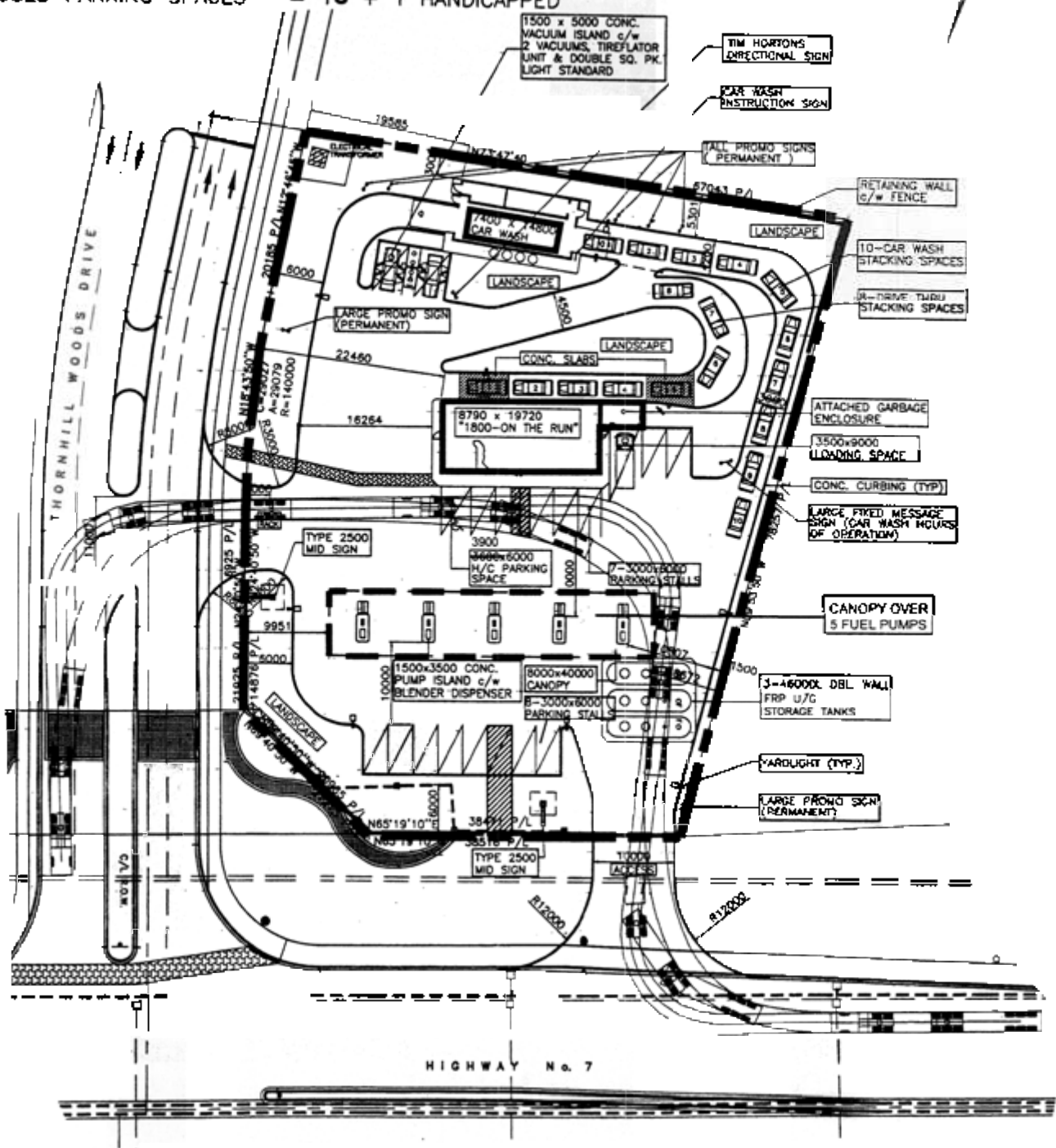
October 25, 2002

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SITE STATISTICS

TOTAL SITE AREA	= 4939.0 sq.m
C-STORE BUILDING AREA	= 173.3 sq.m
CARWASH BUILDING AREA	= 109.5 sq.m
CANOPY COVERAGE	= 320.0 sq.m
LANDSCAPED AREA	= 1439.0 sq.m
ASPHALT AREA	= 2896.2 sq.m
PROPOSED PARKING SPACES	= 13 + 1 HANDICAPPED



SUBJECT LANDS

Site Plan

Part of Lot 10,
Concession 2
APPLICANT:
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INVESTMENTS LIMITED

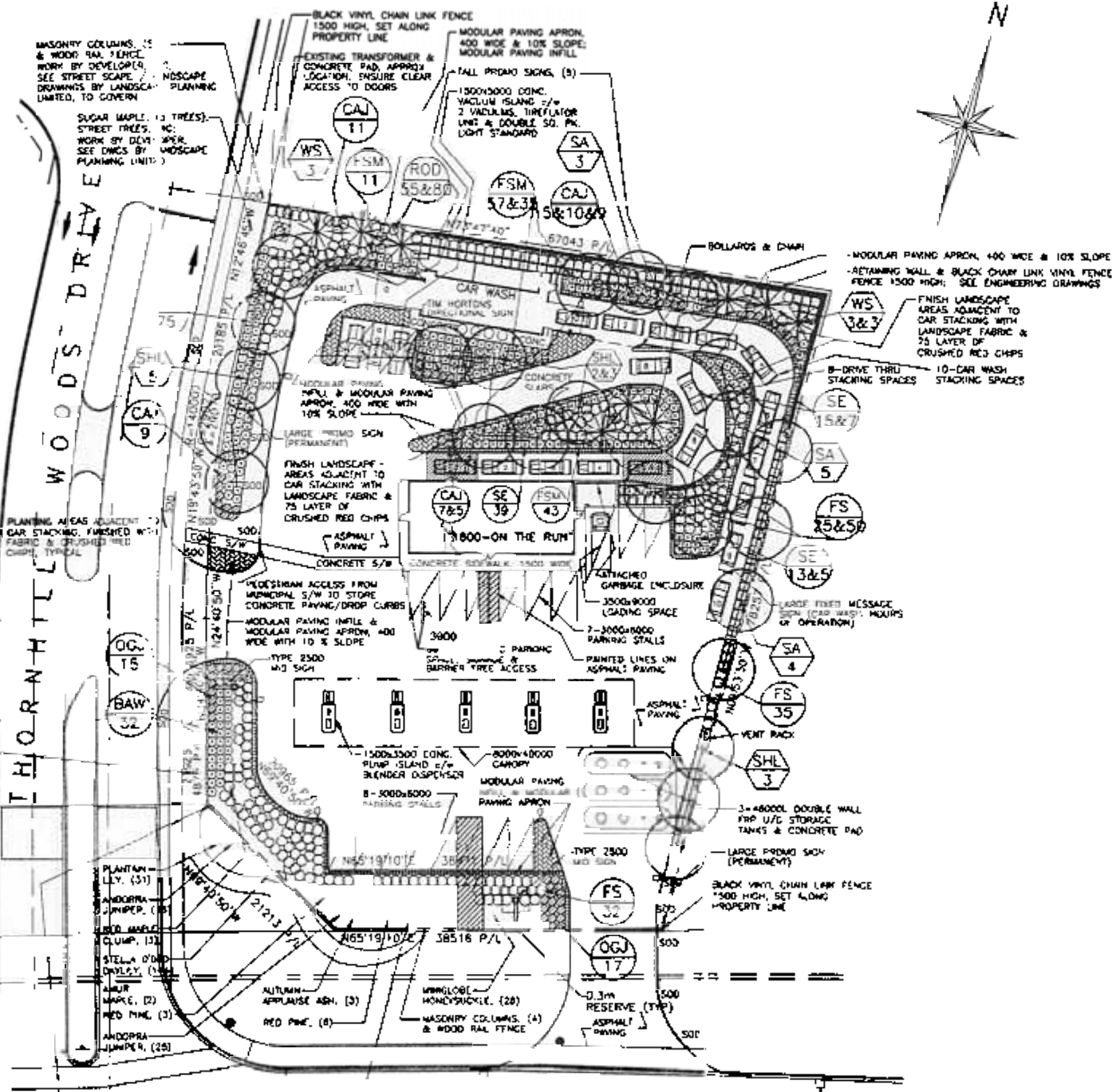


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HIGHWAY No. 7

Landscape Plan

Part of Lot 10,
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APPLICANT:
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INVESTMENTS LIMITED

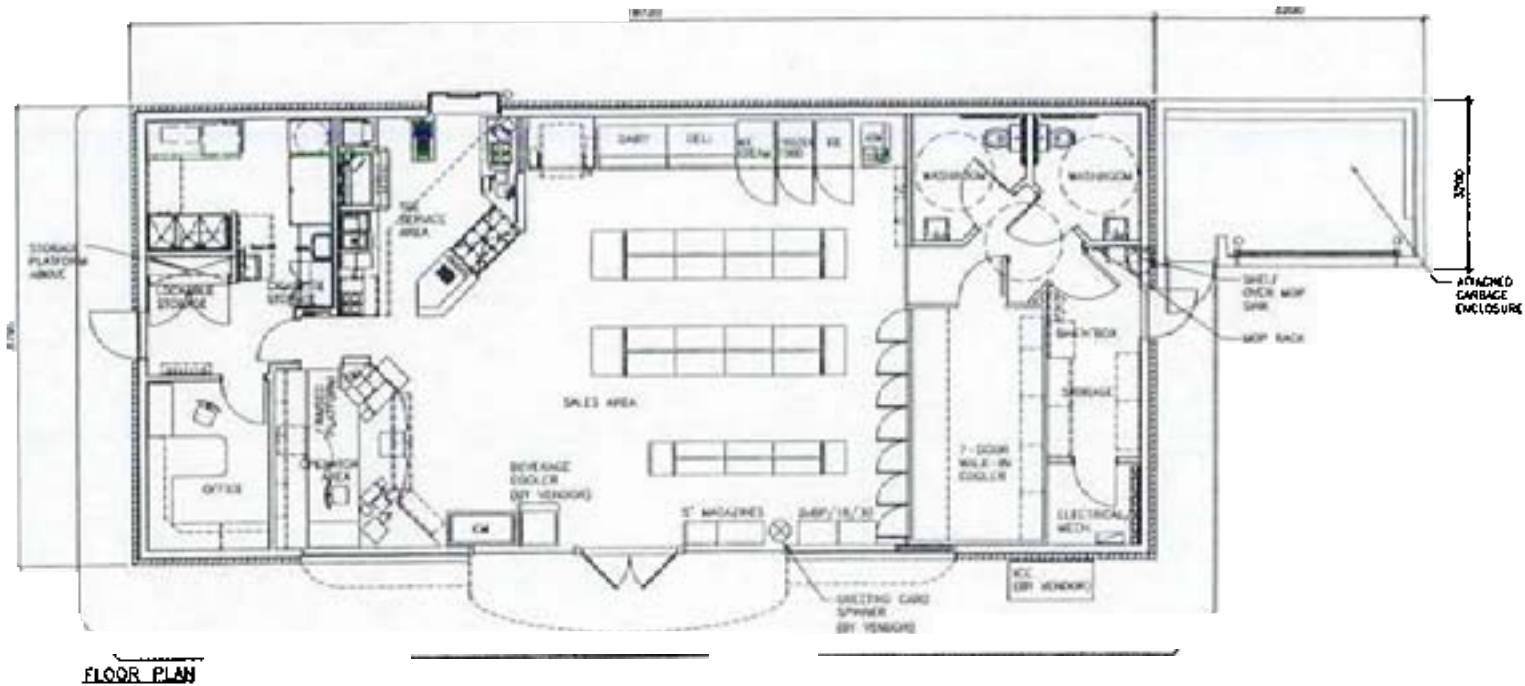


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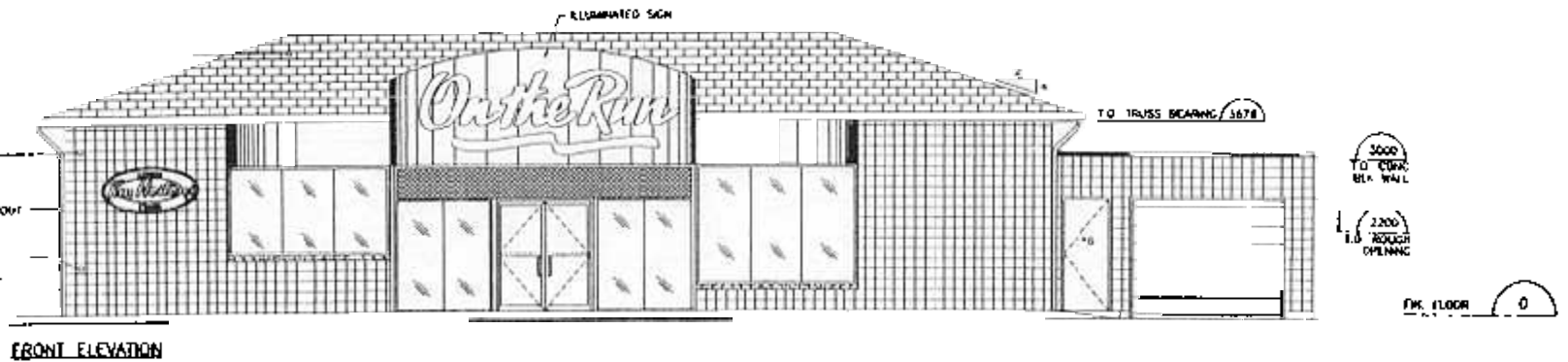


NO ORGANIC STAINAGE
TRADITIONAL DESIGN
AR-STOORAT 23
211/1000 SPRY

ALBA STONE PRODUCTS
SERIES 431 (390x90x180)
T 180 SPLIT-FACE - COLOUR 231
(2E/PHM)

PRELIMINARY CUTTER AND DOWNSPOUT
COLOUR P24 (LIGHT STONE GRAY)

ALBA STONE PRODUCTS
SERIES 431 (390x90x180)
T 180 SPLIT-FACE - COLOUR 231
(2E/PHM)



Floor Plan & Elevation

Part of Lot 10,
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City of
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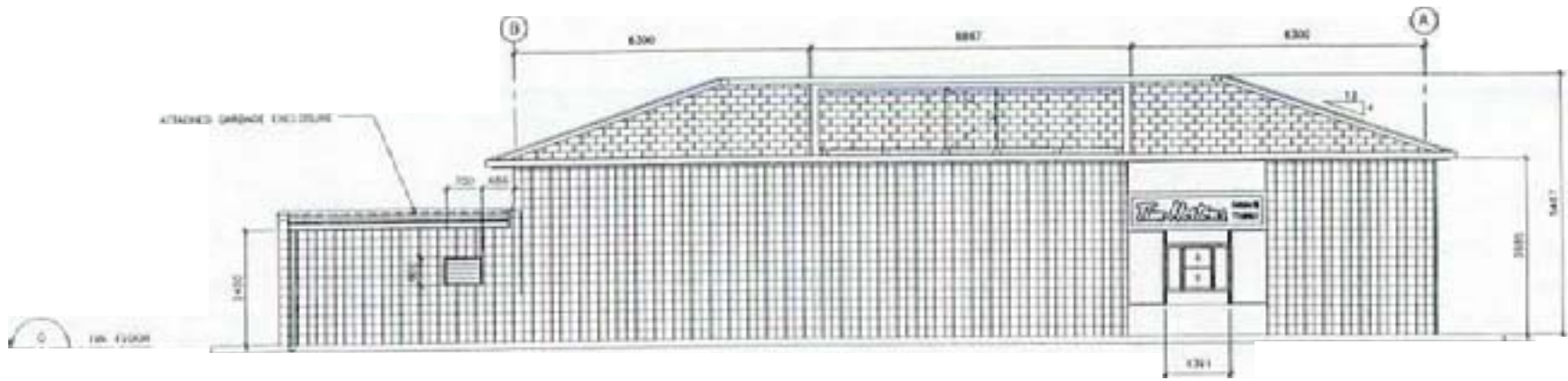
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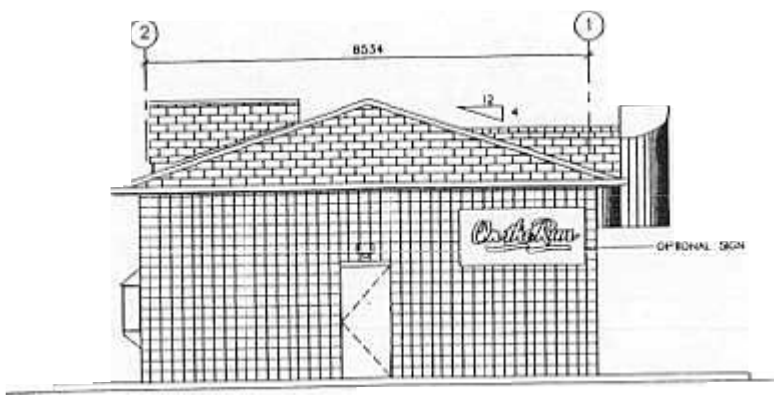
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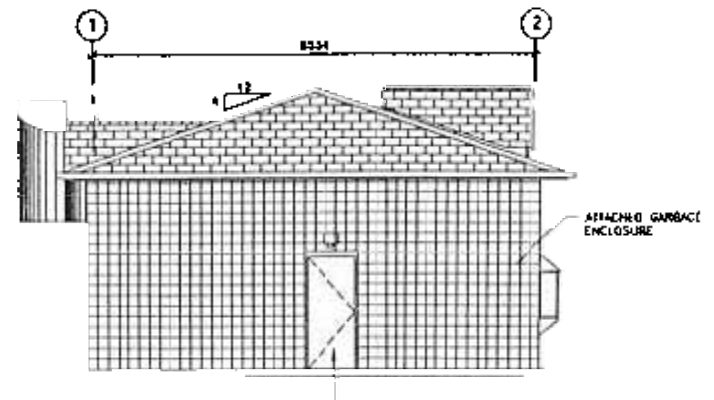
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REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

Elevations

Part of Lot 10,
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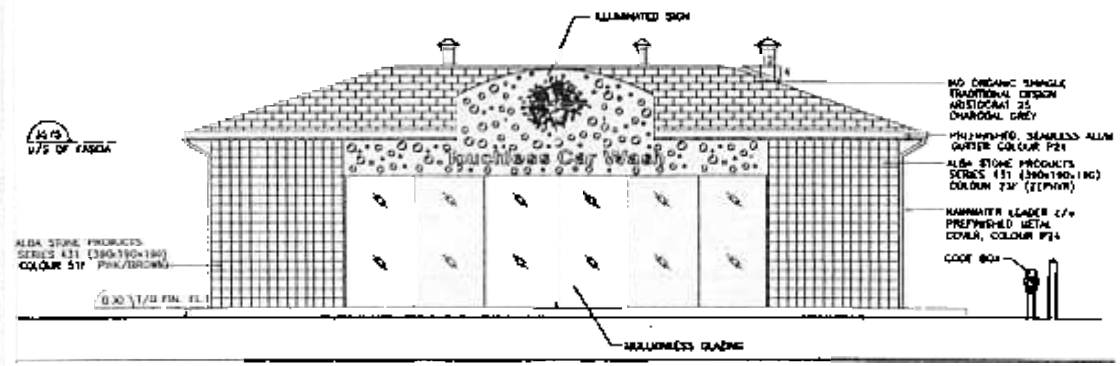
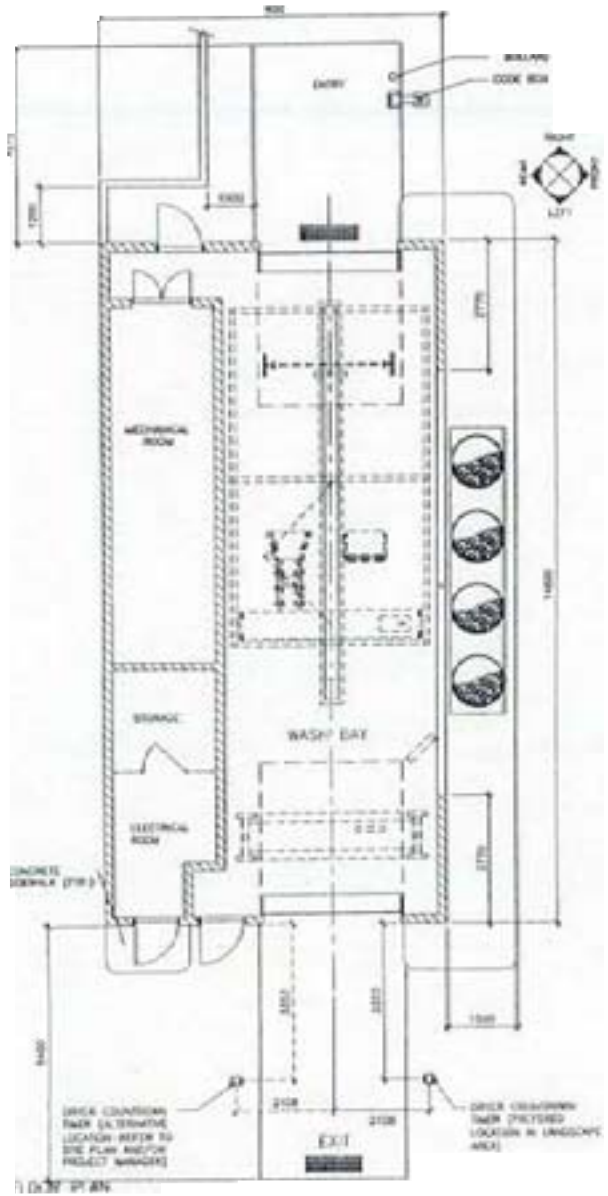
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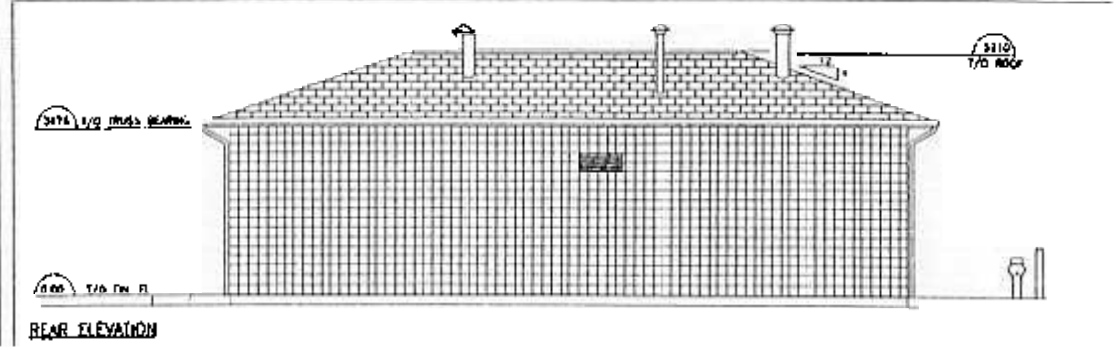
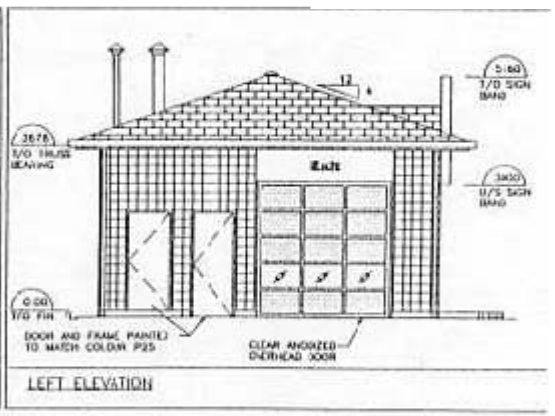
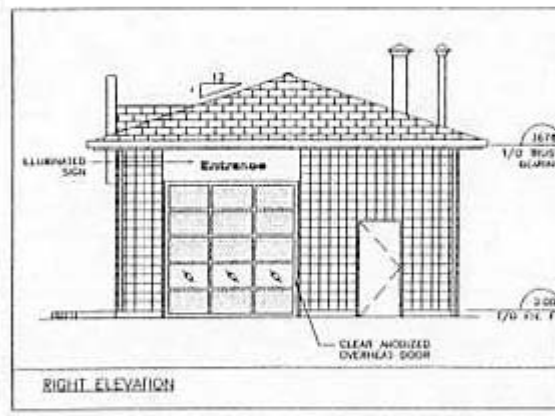
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FRONT ELEVATION



Floor Plan & Elevation

Part of Lot 10,
Concession 2

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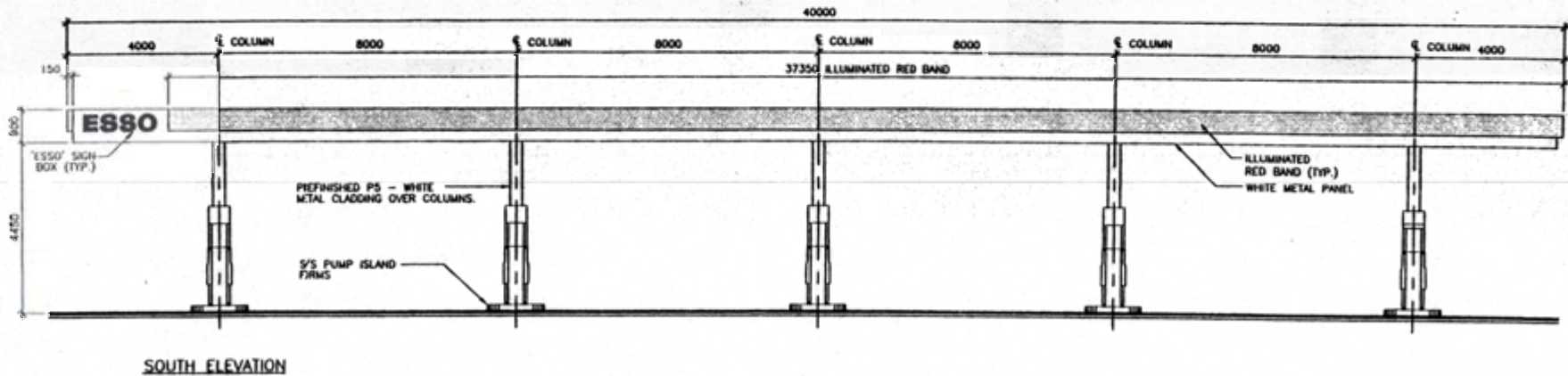
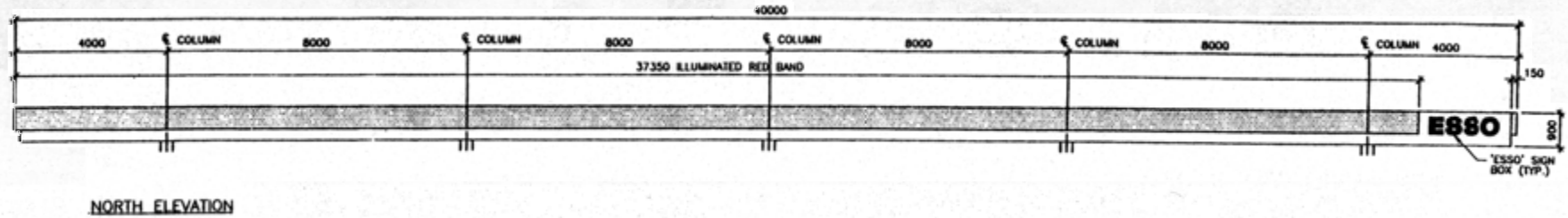
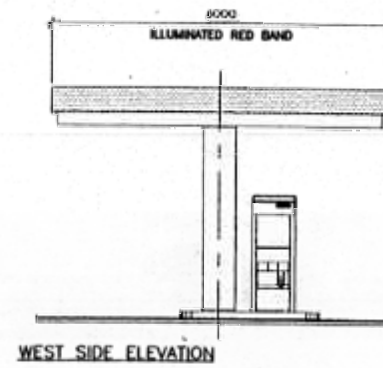
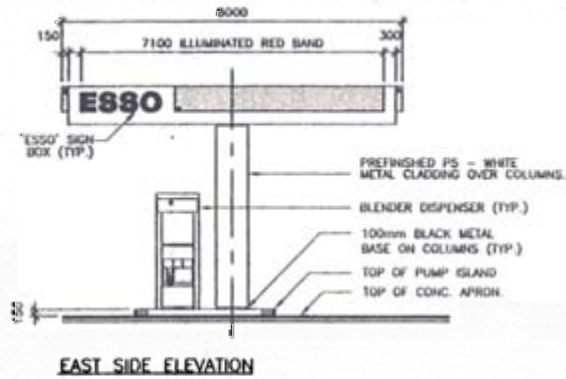
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Elevations

Part of Lot 10,
Concession 2

APPLICANT:
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City of
Vaughan

Community Planning Department

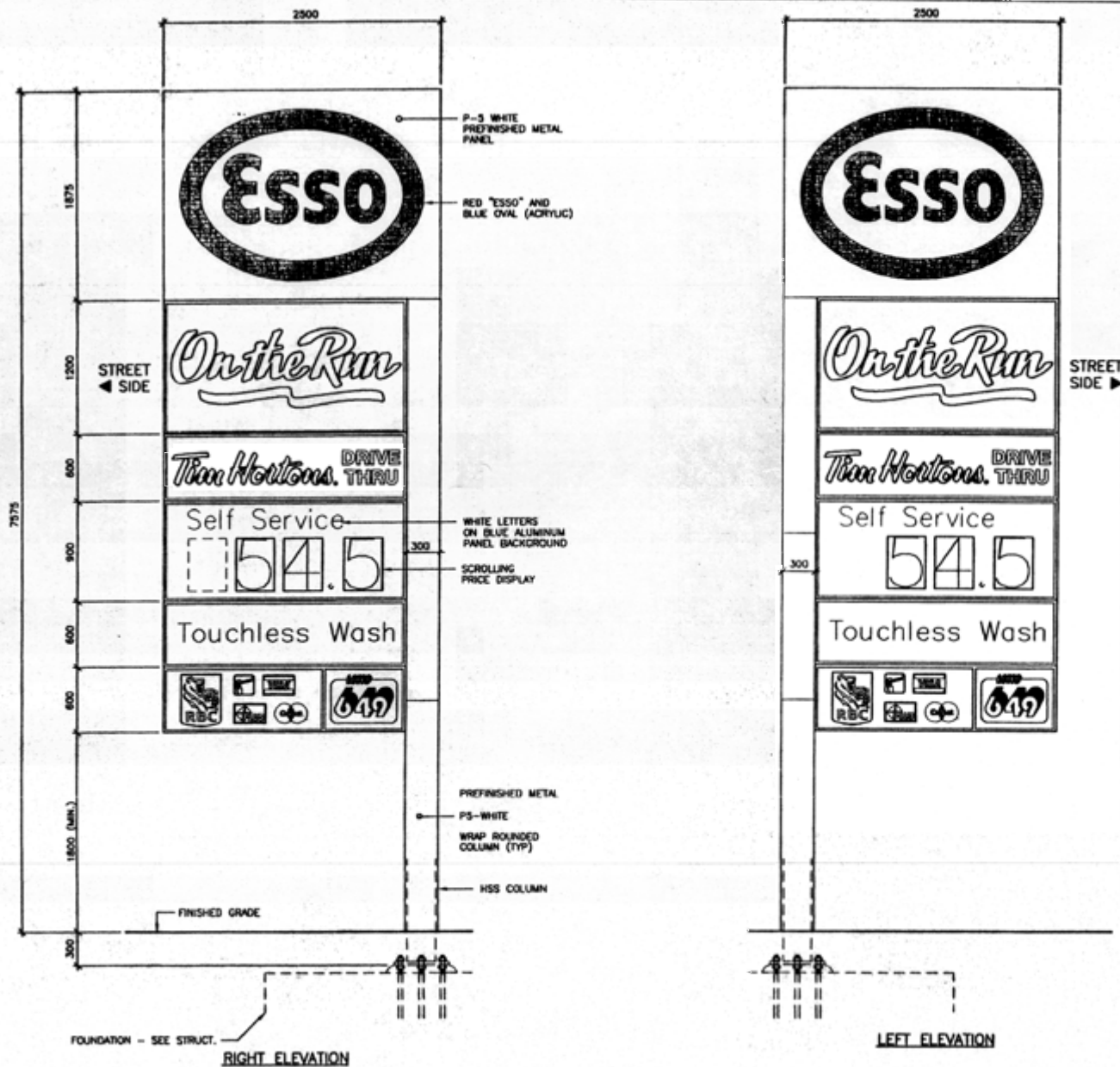
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September 18, 2002

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Pylon Sign

Part of Lot 10,
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APPLICANT:
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INVESTMENTS LIMITED



Community Planning Department

Attachment

FILE No.:
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November 18, 2002

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