

## **COMMITTEE OF THE WHOLE SEPTEMBER 15, 2003**

### **SITE DEVELOPMENT FILE DA.03.048** **GEORGE ZAFIR LIMITED**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT the building elevations for Site Development Application DA.03.048 (George Zafir Limited) BE APPROVED, subject to the provision of additional architectural treatment (increasing the width of the horizontal banding and adding company signage), to the satisfaction of the Commissioner of Planning.

#### **Purpose**

On August 5, 2003, the Owner submitted a Site Development Application for a 3,864.64m<sup>2</sup> westerly addition to an existing 14,935.77m<sup>2</sup> industrial building.

#### **Background - Analysis and Options**

The 4.41 ha site is located on the northeast corner of Keele Street and Bowes Road, municipally known as 8301 Keele Street, in Part of Lot 10, Concession 3, City of Vaughan.

The proposed addition is 13.1m in height, and is lower than the existing 15.5m building. The roof-top mechanical equipment is existing and screened from street view with pre-finished metal paneling to match the existing façade.

The material on the west elevation consists of white insulated metal panels which wrap around the north and south elevations. In addition, vertical blue-coloured insulated paneling ( $\pm$  1.1m in width) is evenly spaced across the façade, together with a 0.3m horizontal accent band. The industry on the site manufactures the metal panels that will be used on the westerly building addition.

Given the visual exposure of the façade along Keele Street, and the massive size of the building, Staff recommends that the horizontal banding be slightly increased in width and that the Owner add company signage on the west elevation. Extensive landscaping will be required to be provided within the 9m wide berm along Keele Street, and throughout the site to diminish the massing of the relatively large and modest-looking building.

The remaining existing facades consist of beige and white coloured metal panels for the warehouse and brown-coloured brick for the office/warehouse. The Owner has informed Staff that the metal panels will eventually be replaced to match the proposed addition.

#### **Conclusion**

Staff is generally satisfied with the proposed westerly building addition, but will continue to work with the Owner to provide minor modifications to the façade, including the banding width and the addition of company signage. Should the Committee concur, the recommendation in this report can be adopted.

**Attachments**

1. Location Map
2. Site Plan
3. Elevations

**Report prepared by:**

Andrea Egizii, Planner 1, ext. 8215  
Grant A. Uyeyama, Senior Planner, ext. 8635  
Marco Ramunno, Manager of Development Planning, ext. 8485

Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

JOANNE ARBOUR  
Director of Community Planning

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C. N.  
FREIGHT  
YARD

SUBJECT LANDS



**Location Map**

Part of Lot 10,  
Concession 3

APPLICANT:  
MR. GEORGE ZAFIR

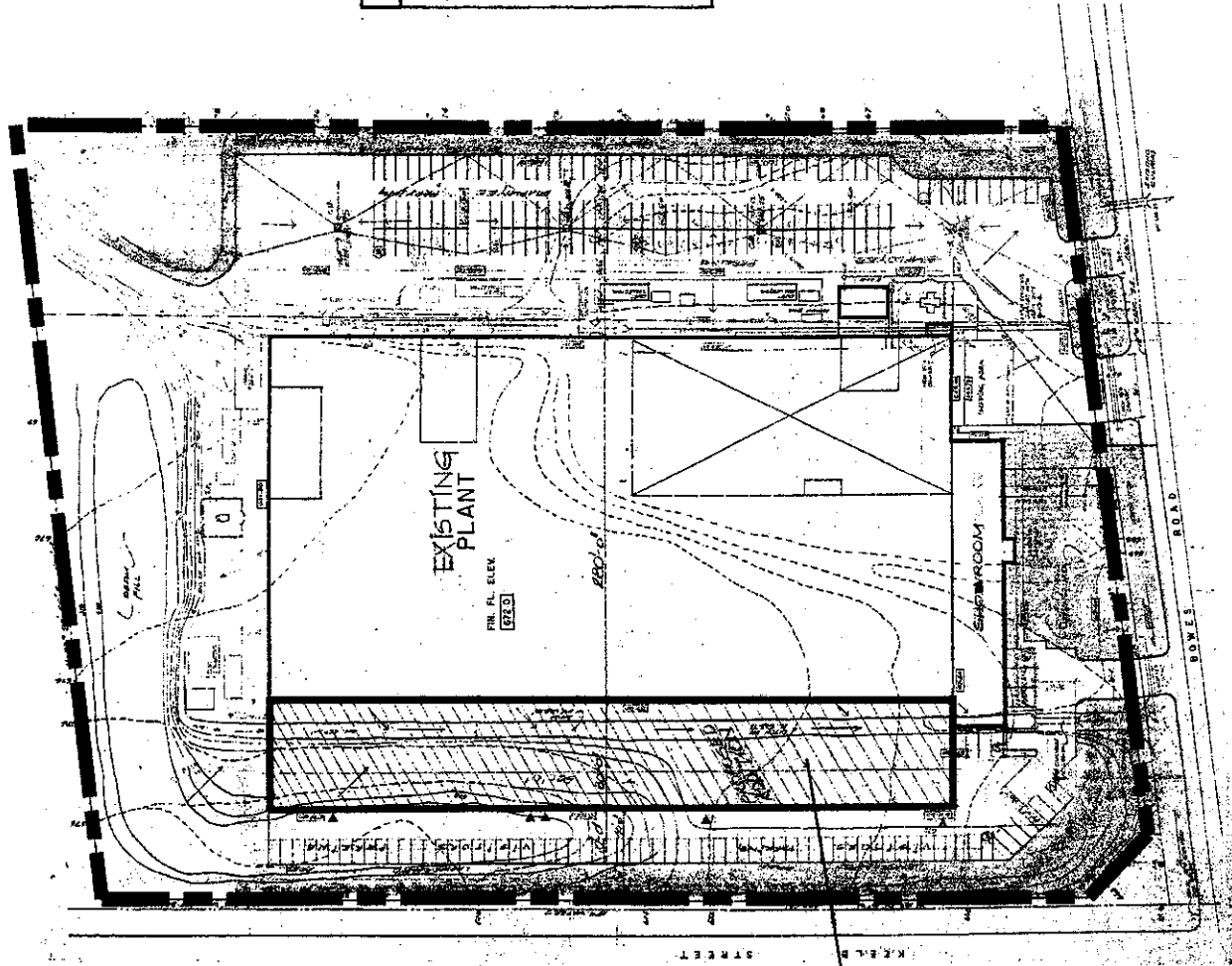
**City of  
Vaughan**

Community Planning Department

**Attachment**

**1**

FILE No.:  
DA.03.048  
Not to Scale  
August 8, 2003



SITE INFORMATION	
SITE AREA	10,210 ACRES 47A.150 55A.PT.
PAVED AREA	103,800 sq. ft.
LANDSCAPED AREA	191,521 sq. ft.
GRASS FLOOR AREA	202,349 sq. ft.
PARKING	REQUIRED 274 cars / 4000 sq. ft. PROPOSED 127 cars / 1800 sq. ft. 76 cars / 1100 sq. ft.
ZONE: E.M.I.	

SUBJECT LANDS  
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Proposed Addition

# Site Plan

Part of Lot 10,  
Concession 3

APPLICANT:  
MR. GEORGE ZAFIR

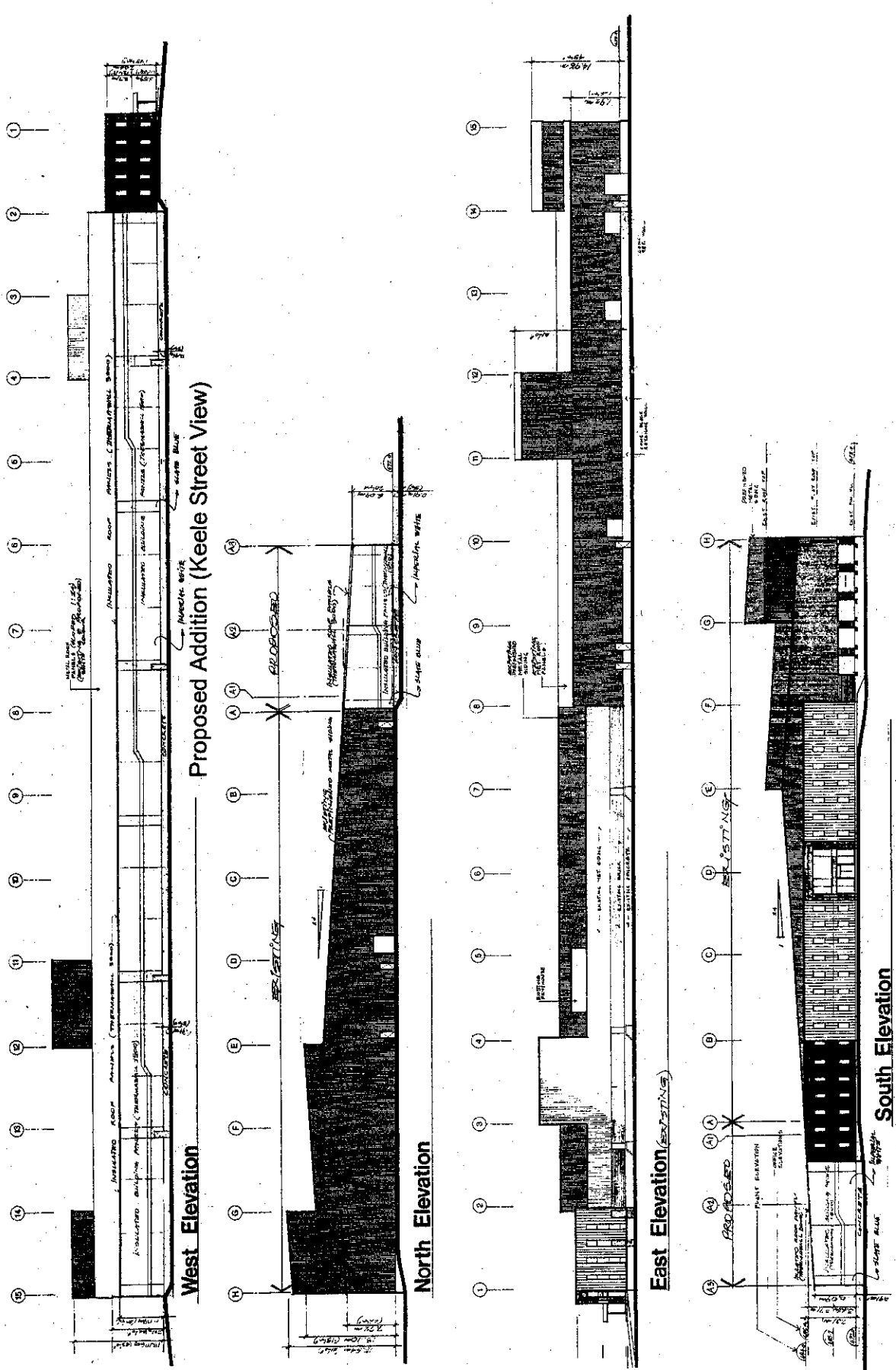
# City of Vaughan

Community Planning Department

# Attachment 2

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Proposed Addition (Keele Street View)

West Elevation

North Elevation

East Elevation (EXISTING)

South Elevation

# Elevation Plan

Part of Lot 10,  
Concession 3

APPLICANT:  
MR. GEORGE ZAFIR

# CITY OF Vaughan

Community Planning Department

# Attachment 3

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