

## **COMMITTEE OF THE WHOLE SEPTEMBER 15, 2003**

### **SITE DEVELOPMENT FILE DA.03.002** **MARUBA INVESTMENTS INC.**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT the elevations for industrial Building 'B' in Site Development Application DA.03.002 (Maruba Investments Inc.) BE APPROVED.

#### **Purpose**

On August 18, 2003, the Owner submitted a Site Development Application for a one-storey 1,556.34m<sup>2</sup> industrial building (Building "B") on a 1.76 ha lot. On June 23, 2003, Council approved a site plan to permit an eating establishment/teletheatre in Building "A".

#### **Background - Analysis and Options**

The site is located at the southeast corner of Rutherford Road and Creditstone Road, being Blocks 1 and 2 on Registered Plan 65M-3354 (2601 Rutherford Road and 1743 Creditstone Road), in Part of Lot 15, Concession 4, City of Vaughan.

The irregular-shaped building is proposed to be constructed with a flat roof to a height of 7.75m. The feature above the main entrance on the west elevation (Creditstone Road) increases the height to 9.5m. The roof-top mechanical equipment will not be visible from the adjacent roads. The building materials consist of white-coloured architectural precast concrete panels with an exposed aggregate finish. Above the main entrance is an illuminated sign box and smooth accent panels in architectural precast. A star-shaped medallion is centrally located above the framed entranceway to accent the building. Green-tinted windows with glazed spandrel in aluminum frames are located in the upper and lower portions of the elevations. Three 1.5m wide horizontal smooth-finished bands are provided across the façade.

The south, north and east elevations are consistent in material to the west. There are no entrances on these elevations. The star-shaped medallion is present in the central portion of the south and north elevations, and located between vertical spandrel glass panels. Two overhead and two loading doors are provided on the east elevation.

#### **Conclusion**

Staff is satisfied with the proposed building elevations. Should the Committee concur, the recommendation in this report can be adopted.

#### **Attachments**

1. Location Map
2. Site Plan
3. Building 'B' Elevations

#### **Report prepared by:**

Andrea Egizii, Planner 1, ext. 8215  
Grant A. Uyeyama, Senior Planner, ext. 8635  
Marco Ramunno, Manager of Development Planning, ext. 8485

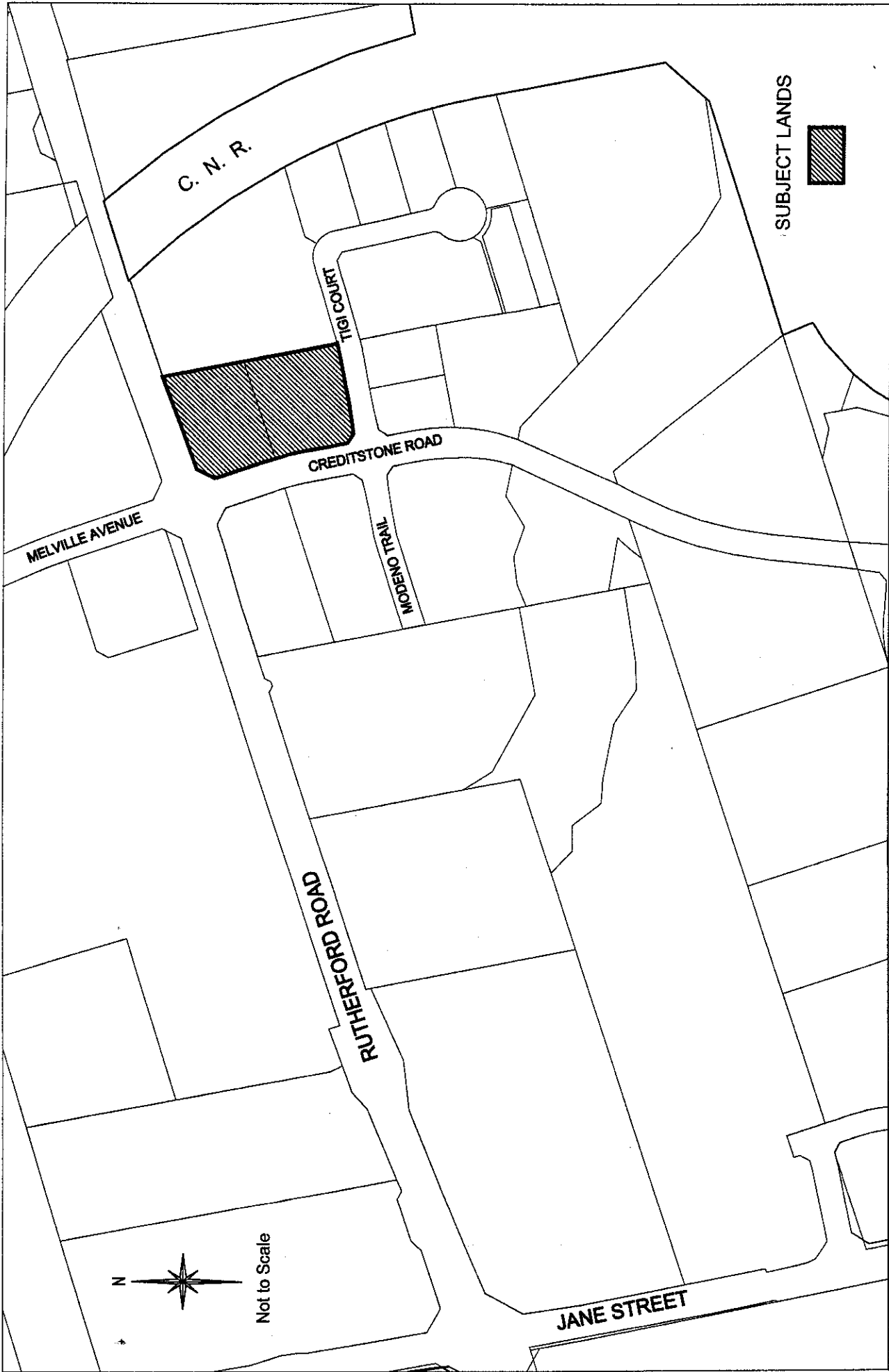
Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning

JOANNE R. ARBOUR  
Director of Community Planning

/LG

R:\WORKING\EGIZIA\MARUBADA.03.002



# Location Map

Part of Lot 15,  
Concession 4

APPLICANT:  
MARUBA INVESTMENTS INC.



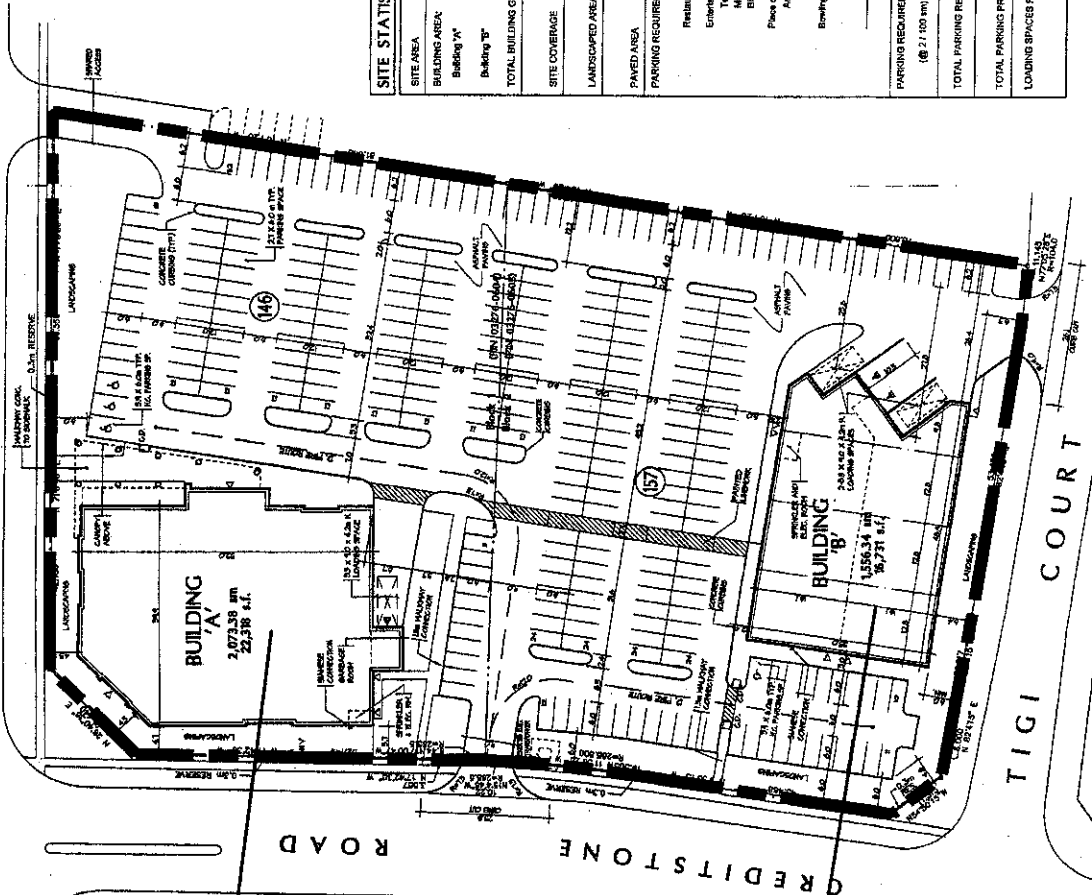
Community Planning Department

# Attachment

# 1

FILE No.:  
DA.03.002  
RELATED FILE:  
Z.02.034  
August 29, 2003

RUTHERFORD ROAD



PHASE 1:  
TELETHEATRE  
(Approved by  
Council on  
June 23, 2003)

SUBJECT LANDS



PHASE 2:  
PROPOSED  
INDUSTRIAL  
BUILDING

SITE STATISTICS		
SITE AREA	17,987.28 m <sup>2</sup> or 4.37 acres	
BUILDING AREA		
Building "A"	2,073.38 m <sup>2</sup> or 22,316 sq. ft.	
Building "B"	1,556.34 m <sup>2</sup> or 16,733 sq. ft.	
TOTAL BUILDING G.F.A.	3,630.22 m <sup>2</sup> or 39,071 sq. ft.	
SITE COVERAGE	3,630.22 m <sup>2</sup> or 20.2%	
LANDSCAPED AREA	3,805.01 m <sup>2</sup> or 21.6%	
PAVED AREA	10,231.05 m <sup>2</sup> or 61.9%	
PARKING REQUIRED		
Restaurant Bar	BUILDING "A"	
Entertainment Use	(1,038.89 sqm @ 16 / 100 sqm)	155.87 spaces
Tavern	(311.00 sqm @ 12 / 100 sqm)	
Mini Golf	(207.24 sqm @ 11 / 100 sqm)	
Billiards	(103.87 sqm @ 11 / 100 sqm)	71.83 spaces
Place of Amusement	(207.24 sqm, 55 Occupants)	
Arcade	(8) spaces / 8 Persons	8.17 spaces
Bowling Alley	(207.24 sqm, with 4 Bowling Lanes)	
	(8) 4 spaces (4 sqm)	16 spaces
		202.8 spaces
PARKING PROVIDED		
(8) 21 100 sqm	BUILDING "B"	
	(1,556.34 sqm @ 21 / 100 sqm)	311.13 spaces
TOTAL PARKING PROVIDED		294.83 spaces
TOTAL PARKING PROVIDED		294.83 spaces
LOADING SPACES REQUIRED		
BUILDING "A"	One space (3.5 X 8.0 X 4.2)	
BUILDING "B"	One space (3.5 X 8.0 X 4.2)	

Not to Scale

# Site Plan

Part of Lot 15,  
Concession 4

APPLICANT:  
MARUBA INVESTMENTS INC.



Community Planning Department

# Attachment 2

FILE No.:  
DA.03.002  
RELATED FILE:  
Z.02.034  
August 29, 2003

