

COMMITTEE OF THE WHOLE SEPTEMBER 15, 2003

SITE DEVELOPMENT FILE DA.03.050
FIRST VAUGHAN INVESTMENTS LIMITED

Recommendation

The Commissioner of Planning recommends:

THAT Site Development Application DA.03.050 (First Vaughan Investments Limited) BE APPROVED, subject to the following conditions:

1. That prior to the execution of the site plan application:
 - a) the final site plan and building elevations shall be approved by the Commissioner of Planning;
 - b) the final landscape plan and detailed landscape cost estimate shall be approved by the Urban Design Department;
 - c) the final site grading and servicing plan and storm water management report, and access and on-site circulation shall be approved by the Engineering Department;
 - d) the requirements of Hydro Vaughan Distribution Inc. shall be satisfied; and
 - e) the requirements of the Ministry of Transportation Ontario shall be satisfied.
2. That the site plan agreement contain the following provision:
 - a) The Owner shall pay to the City by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with Section 42 (1) of the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Purpose

On August 14, 2003, the Owner submitted a Site Development Application for a two-storey, 6,596.1 sq.m. office building on a 2.81 ha site.

Background - Analysis and Options

The subject lands are located north of Regional Road #7, on the east side of Highway #400 through to Applewood Crescent, being Blocks 5 and 6 on Plan 65M-3606, in Part of Lot 7, Concession 5, City of Vaughan. The rectangular-shaped 2.81 ha through lot has 140 m frontage on Applewood Crescent and 237.9m depth.

Official Plan

The subject lands are designated "Prestige Area" by OPA #450 (Employment Area Plan), which accommodates a wide range of industrial, office, business and civic uses. The proposed development conforms to the policies of the Official Plan.

Zoning

The subject lands are zoned EM1 Prestige Employment Area Zone by By-law 1-88, subject to Exception 9(1109), which permits an office building. The proposed development conforms with the requirements of the Zoning By-law, provided the 7m wide driveway access is widened to a minimum of 7.5m.

Site Design

The proposed office building (6,596.1m²) is sited in the northwest area of the property, with access from a 9.m and 7m wide driveway on Applewood Crescent, with the latter to be revised to a width of 7.5m. Parking is provided to the north, south and east of the building, as well as underground. A minimum 3m and 9m wide landscaped buffers are provided adjacent to Applewood Crescent and Highway #400, respectively.

The future development at the northeast and southeast corners of the site (proposed at this stage as landscape only), will require subsequent site plan amendment, and additional variances may be required.

The building is set back 17m from the Highway #400 right-of-way, which exceeds the Ministry of Transportation Ontario's (MTO) 13.7 m requirement. The Owner will be required to satisfy any MTO requirements and obtain any necessary Ministry permits.

Building Design

The proposed building is to have a flat roof to a height of 8.53m (including parapet). The roof-top mechanical equipment increases the height to 12.8 m and will be screened from street view with pre-finished insulated metal cladding to match the facades.

The building material consists of a beige coloured clay brick. The company signage in white and red is located above the main entrance in the middle portion of the east elevation (facing Applewood Crescent) affixed on a grey-coloured metal cladding roof structure, which also appears on the west elevation (facing Highway #400). The main entrance feature consists of double glazed doors and windows. Projecting out over the concrete walkway is a painted steel (upper portion) and insulated metal cladding (lower portion) screen system. Glazed windows are evenly spaced along the upper and lower portions of the remaining facades.

The west, south and north elevations are generally consistent with the east elevation, except there are no main entrance, and the south and north facades do not have the screen system in the middle portion of the façade. However, two rows of spandrel glazing are provided for accent treatment.

Two loading areas are present along the north elevation and an overhead door is located below grade on the south side of the building, which leads to an underground parking area containing 6 spaces.

Staff is generally satisfied with the proposed building elevations for the office building, subject to the provision of the following:

- facing Highway #400, the west and south elevations are important facades of the building, and the Owner should consider adding visual interest to these elevations by introducing a brisse soleil (ie. metal awning) as a shading device, of the same metal framing material that is used for the east and west entrances to the building. A brisse soleil should be installed over the upper and lower windows in the projected façade elements to achieve an added depth and animate the elevations with shade and shadow; and
- all servicing, including the loading area, parking ramp and entry to underground parking should be consolidated along the north side of the building.

The final elevation plan must be to the satisfaction of the Commissioner of Planning.

Parking

By-law 1-88 requires parking to be provided on the basis of the following:

Office Building: 6,596.1m² @ 3.5 spaces/100 sq.m GFA = 261 spaces

Total Parking Required = 261 spaces

Total Parking Provided = 300 spaces

The site exceeds the minimum parking requirements, with a surplus of 39 spaces. A variance may be required to accommodate the intended future phases of development, which will be determined upon submission of site plan amendments.

Servicing

The subject lands have access to municipal services, including hydro, storm and sanitary sewers, and water. The final site grading and servicing plans and stormwater management report shall be to the satisfaction of the Engineering Department and Hydro Vaughan Distribution Inc.

Landscaping

The landscape plan shows a mix of coniferous and deciduous trees and shrubs along the perimeter of the site, including a 3 m wide strip adjacent to Applewood Crescent and a 9 m wide strip adjacent to Highway #400, to screen the parking area. In addition, landscaped boulevards are provided within the parking area to screen the paved surfaces from the building. A 22m to 35m wide landscape buffer is proposed along the south property line to provide screening from the future overpass across Highway #400. A pedestrian walkway extends around the perimeter of the building.

Staff recommends the following revisions to the proposed site and landscape plans:

- the proposed site organization is symmetrical. A road provides access to the site on a central east/west axis, and should be extended through the larger landscaped island (east side of parking area), and the parking lot to the entrance of the building; and
- provide a clear pedestrian route from the street to the main building.

Conclusion

Staff have reviewed the proposed site plan application for an office building in accordance with the policies of OPA #450 and the requirements of the Zoning By-law, and are satisfied that the site can be appropriately developed, subject to the revisions to the site plan and building elevations, as identified in the report.

Staff can support approval of the site plan application, subject to conditions. Should the Committee concur, Site Development Application DA.03.050 can be approved with the adoption of the recommendation in this report.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Elevations

Report prepared by:

Andrea Egizii, Planner 1, ext 8215
Grant A. Uyeyama, Senior Planner, ext 8635
Marco Ramunno, Manager, Development Planning, ext 8485

Respectfully submitted,

MICHAEL DeANGELIS
Commissioner of Planning

JOANNE R. ARBOUR
Director of Community Planning

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Attachment 1

FILE No.:
DA.03.050

Not to Scale
August 29, 2003

City of
Vaughan

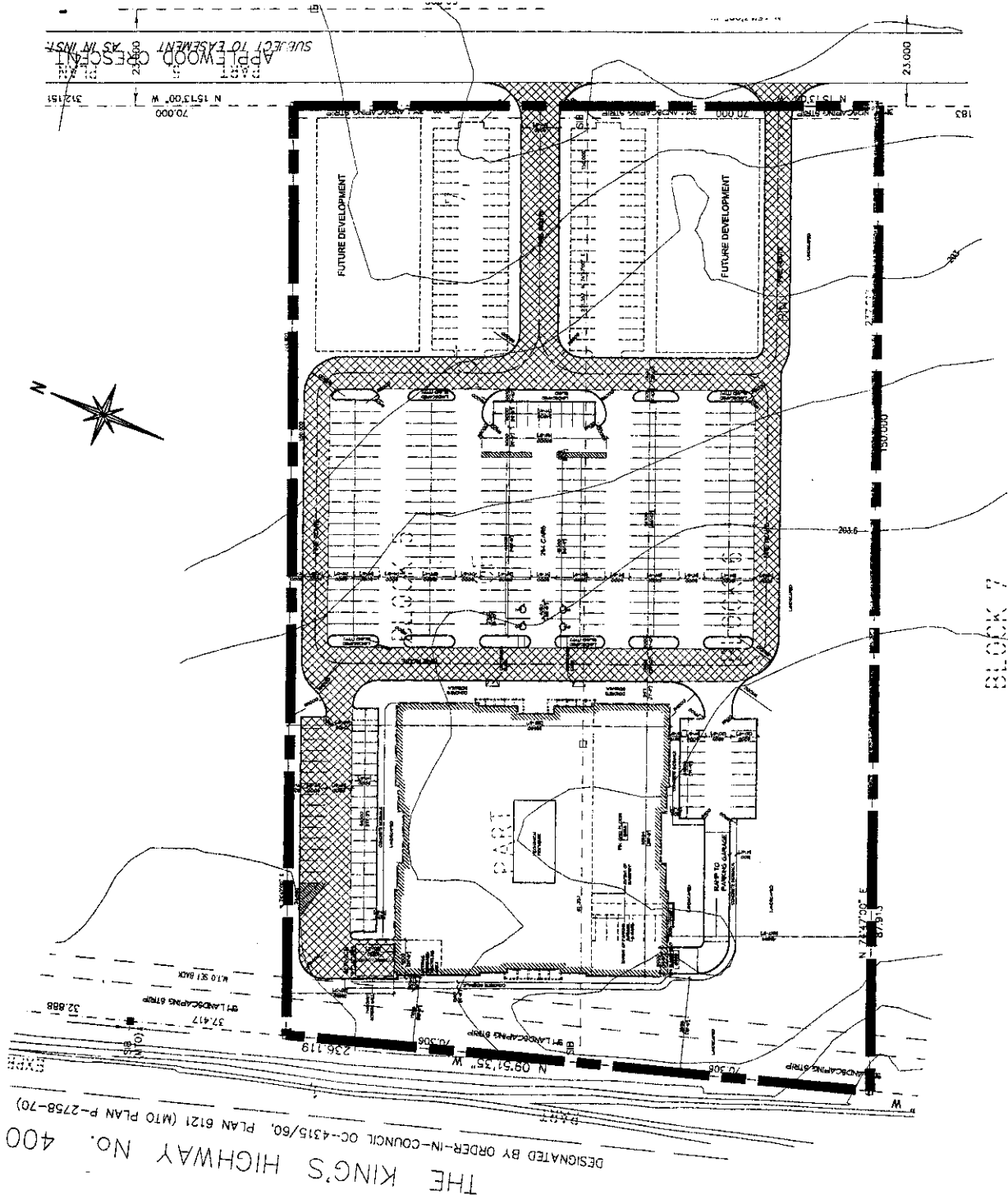
Community Planning Department

Location Map

Part of Lot 7,
Concession 5

APPLICANT:
FIRST VAUGHAN INVESTMENTS LIMITED

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SUBJECT LANDS



Site Plan

Part of Lot 7,
Concession 5

APPLICANT:
FIRST VAUGHAN INVESTMENTS LIMITED

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City of Vaughan

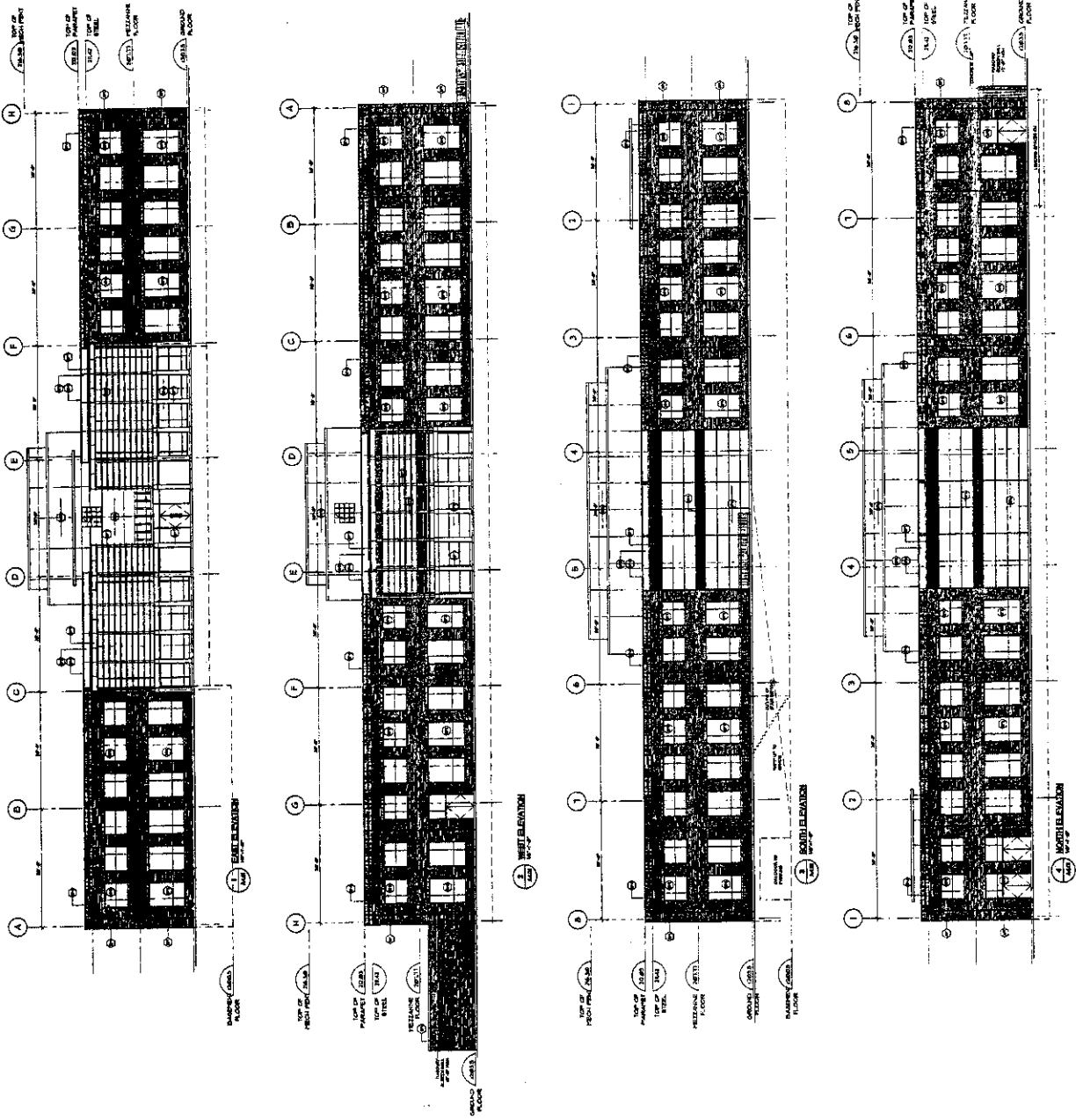
Community Planning Department

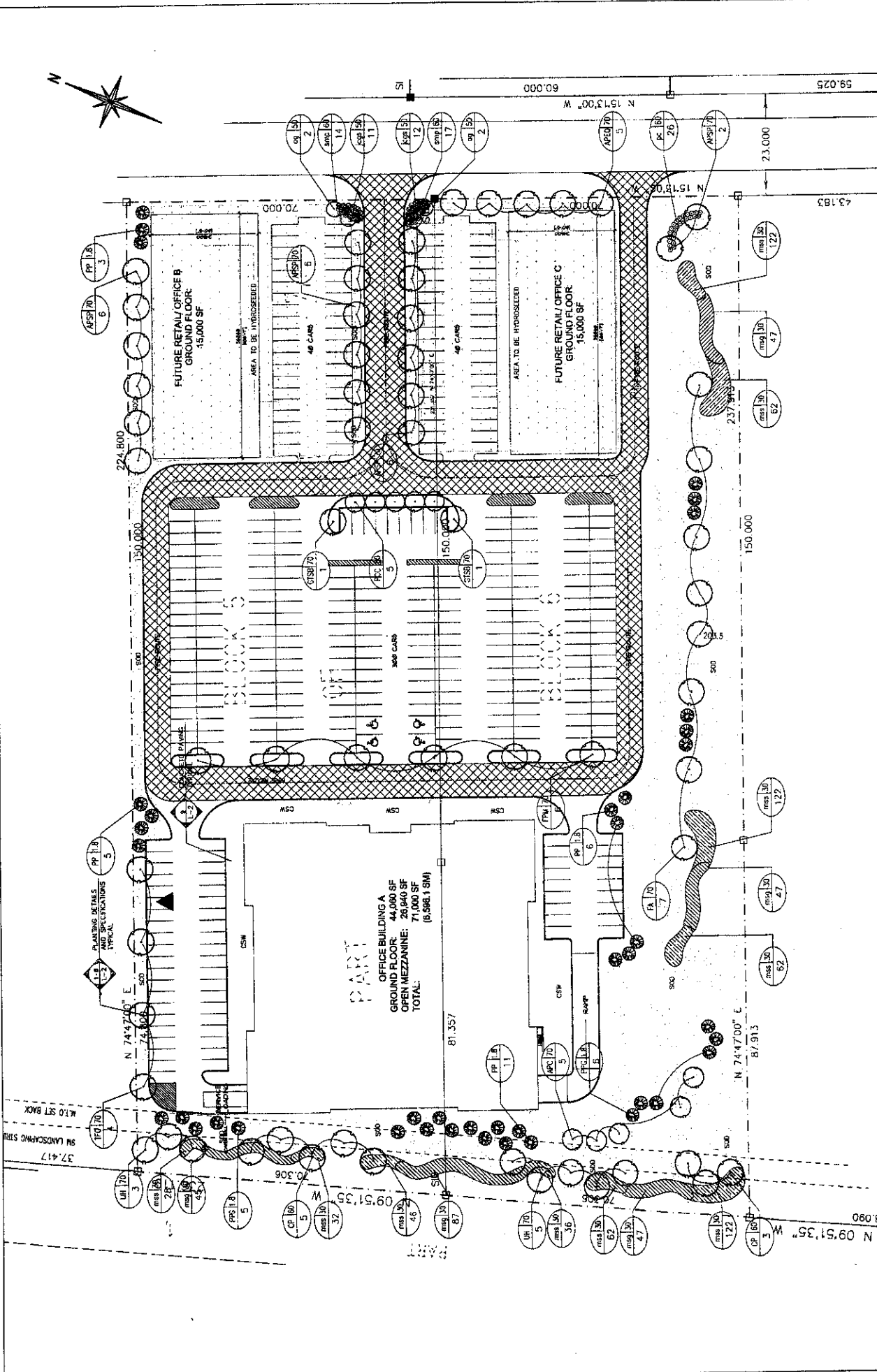
Attachment 2

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Part of Lot 7,
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