

**COMMITTEE OF THE WHOLE APRIL 7, 2003**

**SITE DEVELOPMENT FILE DA.02.032**  
**METRUS PROPERTIES LIMITED**

**Recommendation**

The Commissioner of Planning recommends:

1. THAT Site Development Application DA.02.032 (Metrus Properties Limited) BE APPROVED, subject to the following conditions:
  - a) That prior to the execution of the site plan agreement:
    - i) the final site plan and building elevations shall be approved by the Commissioner of Planning;
    - ii) the final landscape plan and detailed landscape cost estimate shall be approved by the Urban Design Department;
    - iii) the final grading and servicing plans and stormwater management report shall be approved by the Engineering Department;
    - iv) parking, access and on-site vehicular circulation shall be approved by the Engineering Department;
    - v) all requirements of the Region of York Transportation & Works Department shall be satisfied; and
    - vi) all hydro requirements of Hydro Vaughan Distribution Inc. shall be satisfied.
  - b) That the site plan agreement contain the following provision:
    - i) If required, the Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with Section 42 of the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraisal for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

**Purpose**

On May 14, 2002, the Owner submitted a Site Development Application to permit a commercial building containing two eating establishments (Tim Hortons/Wendy's), each having a drive-through facility, on a 0.66 ha lot, as follows:

Site Area:		
Area of Development:		0.66 ha
Area of Future Development		3.63 ha
Gross Floor Area:		
Eating Establishments:		537.42 sq.m
Waste Enclosure:		42.35 sq.m
Total Parking Provided:		90 spaces

## **Background - Analysis and Options**

### Location

The subject lands are located on the southeast corner of Keele Street and Great Gulf Drive, in Lot 2, Concession 3, City of Vaughan. The 0.66 ha vacant site abuts three roads, including Keele Street, Great Gulf Drive and Ronrose Drive.

### Official Plan

The subject lands are designated "Prestige Area" by OPA #450, and subject to the Service Node policies, which would permit eating establishment uses. The proposed development conforms to the Official Plan.

### Zoning

The subject lands are zoned C7 Service Commercial Zone by By-law 1-88, subject to Exception 9(889). On September 26, 2002, the Committee of Adjustment approved Variance Application A341/02 to permit the following exceptions to the By-law requirements:

- a minimum landscape strip width abutting Keele Street from 9.0m to 3.0m, and abutting Ronrose Drive from 6.0m to 3.0m
- permit loading space between a building and a street, and
- a minimum parking requirement parking from 93 spaces to 89 spaces.

The proposal conforms to the requirements of the By-law, and as amended by Minor Variance Application File A341/02, which is in effect.

### Site Design

The site plan consists of a one-storey building, with a total gross floor area of 537.42 sq.m, on a 0.66 ha lot. The building will contain two eating establishments (Tim Hortons/Wendy's), each with a drive through facility. The building's main entrance faces Keele Street, with pedestrian walkway connections to Keele Street. The loading/service area is located on the east side of the building. Two driveways are proposed onto Ronrose Drive. Parking is proposed on the north, south and east sides of the building. Landscape strips are proposed adjacent to the abutting roads.

The remaining 3.63 ha of the applicant's landholding is proposed for future development, including the extension of Ronrose Drive.

### Parking/Access

The required parking for the site is 89 spaces, whereas 90 spaces have been provided. Two driveways are proposed onto Ronrose Drive. Parking, access and on-site vehicular circulation must be approved by the Engineering Department.

The Region of York has no objection to the proposal, however, construction work abutting the Regional right-of-way (Keele Street) requires final approval from the Region of York. All requirements of the Region of York Transportation & Works Department must be satisfied as a condition of site plan approval.

### Site Servicing, Grading and Stormwater Management

Municipal storm, sanitary and watermains are available to service the site. As a condition of site plan approval, the final grading and servicing plans and stormwater management report must be approved by the Engineering Department.

## Landscaping

The site is subject to the approved Keele Street/Highway 407 Business Park-Urban Design Guidelines and Master Landscape Plan, dated March 26, 2001. A mix of deciduous and coniferous trees and shrubs are proposed within the landscape strips adjacent to the abutting roads. Lockstone pavers are proposed at the building's main entrance, with pedestrian walkway connections to the sidewalk on Keele Street. Walkways are also proposed along the stacking lanes of the drive-through facilities. Additional planting is proposed adjacent to the entry feature at Keele Street and Great Gulf Drive, on the northwest corner of the site.

The final landscape plan, including detailed drawings and a cost estimate, must be approved by the Urban Design Department.

## Building Design

The building is rectangular-shaped and is one-storey in height. The main entrance faces Keele Street, with a sloped roof-line above and significant glazing. The pick-up windows associated with the drive-through facility are located on the north and south elevations. The garbage enclosure, which is contained within the building, and the service area are located at the east end of the building.

Building materials include light-brown coloured brick throughout, and a green sloped metal roof. Sign bands on a white background are proposed above the main entrance and the pick-up windows. Staff are satisfied with the architectural elements of the building. As a condition of site plan approval, the final building elevations must be approved by the Commissioner of Planning.

## Conclusion

Staff have reviewed the site plan application in accordance with the approved Keele Street/Highway 407 Business Park-Urban Design Guidelines and Master Landscape Plan, and the requirements of the Official Plan and Zoning By-law. Staff are satisfied that the subjects lands can be appropriately developed in the context of the surrounding Employment Area. Should the Committee concur, Site Development Application DA.02.032 (Metrus Properties Limited) can be approved with the adoption of the "Recommendation" in this report.

## Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
- 4A. Elevations (East and West)
- 4B. Elevations (South and North)

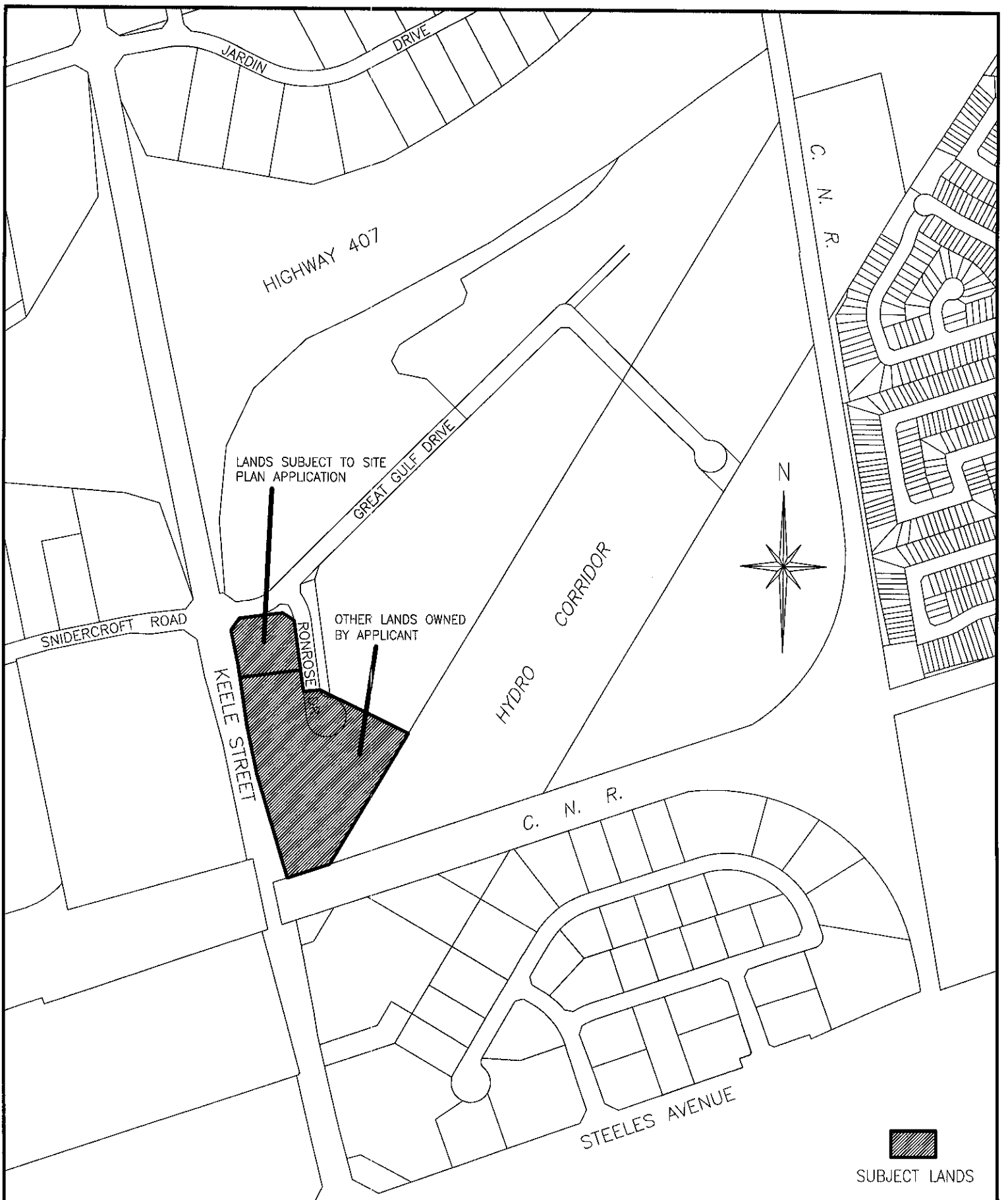
## Report prepared by:

Duncan MacAskill, Planner, ext. 8017  
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Marco Ramunno, Manager of Development Planning, ext. 8485

Respectfully submitted,

MICHAEL DeANGELIS  
Commissioner of Planning  
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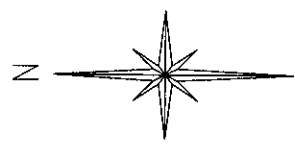
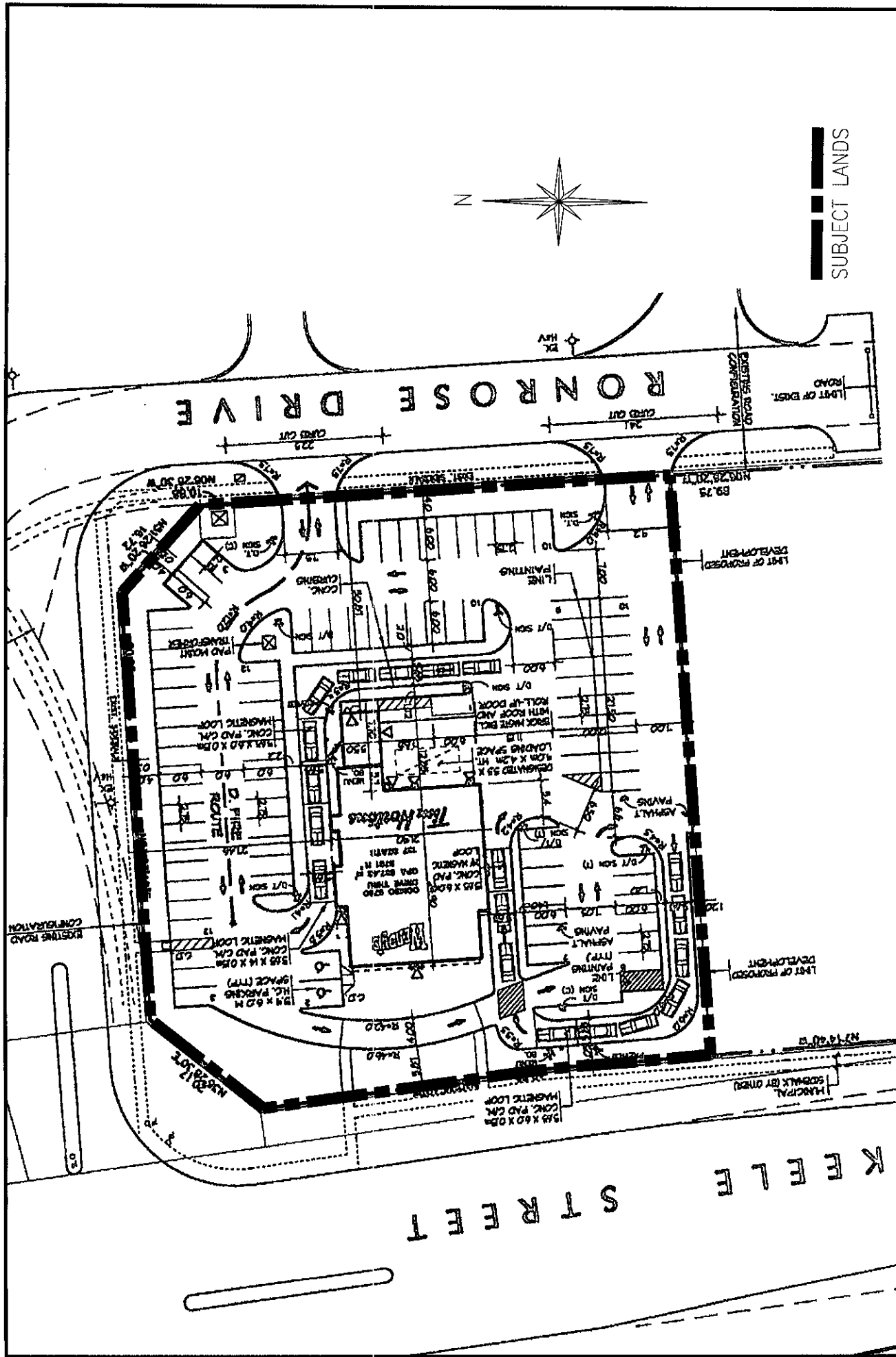
JOANNE R. ARBOUR  
Director of Community Planning



SUBJECT LANDS

ATTACHMENT '1'  
LOCATION MAP

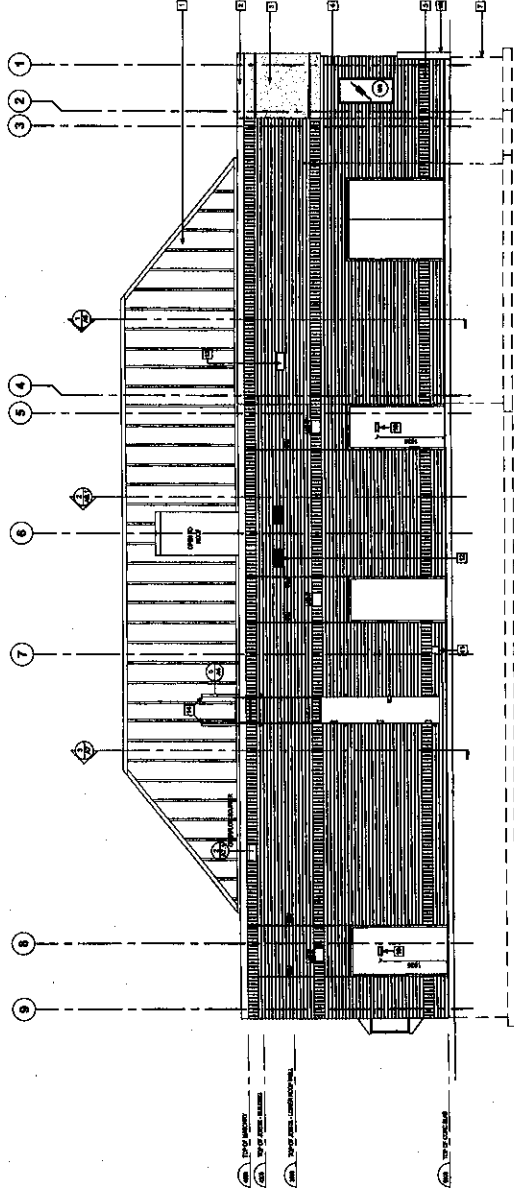
FILE #:	REPORT #:		DATE: 02/25/2003
DA.02.032	LOCATION: PART OF LOT 2, CON. 3	CITY OF VAUGHAN PLANNING DEPARTMENT	APPLICANT: METRUS PROPERTIES LIMITED
			SCALE: NOT TO SCALE



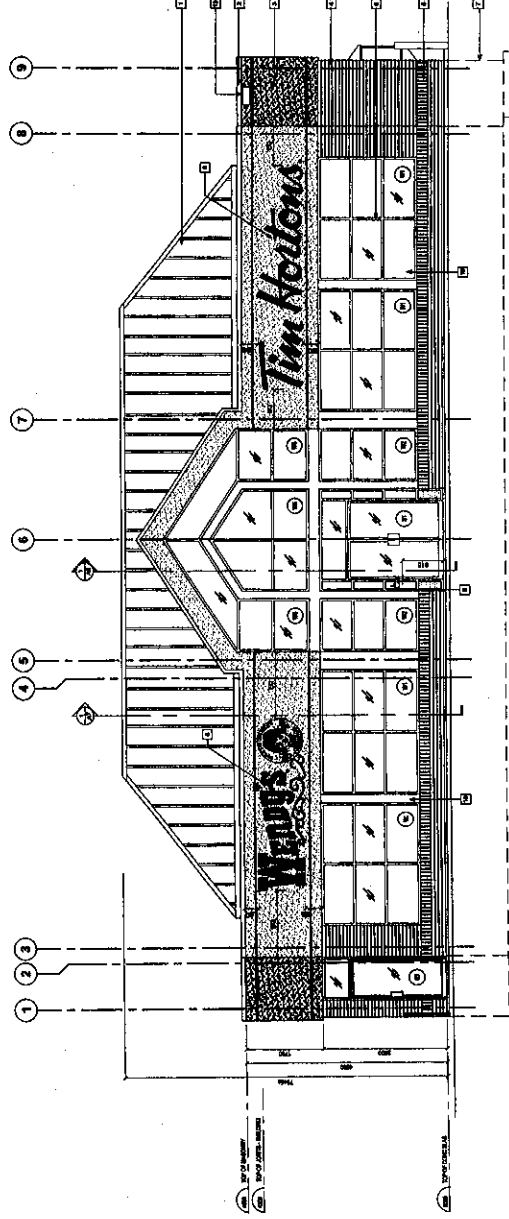
**SUBJECT LANDS**

<p>DATE: 02/25/2003</p> <p>SCALE: NOT TO SCALE</p>	
<p>REPORT #:</p> <p>LOCATION:</p> <p>PART OF LOT 2, CONCESSION 3</p>	<p>APPLICANT:</p> <p>CITY OF VAUGHAN PLANNING DEPARTMENT</p>
<p>FILE #:</p> <p>DA.02.032</p>	<p>ATTACHMENT '2'</p> <p>SITE PLAN</p>
<p>METRUS PROPERTIES LIMITED</p>	





EAST ELEVATION (RONROSE DRIVE)



WEST ELEVATION (KEELE STREET)

ATTACHMENT '4A'  
ELEVATIONS

FILE #:

REPORT #:

DATE: 02/25/2003

LOCATION:

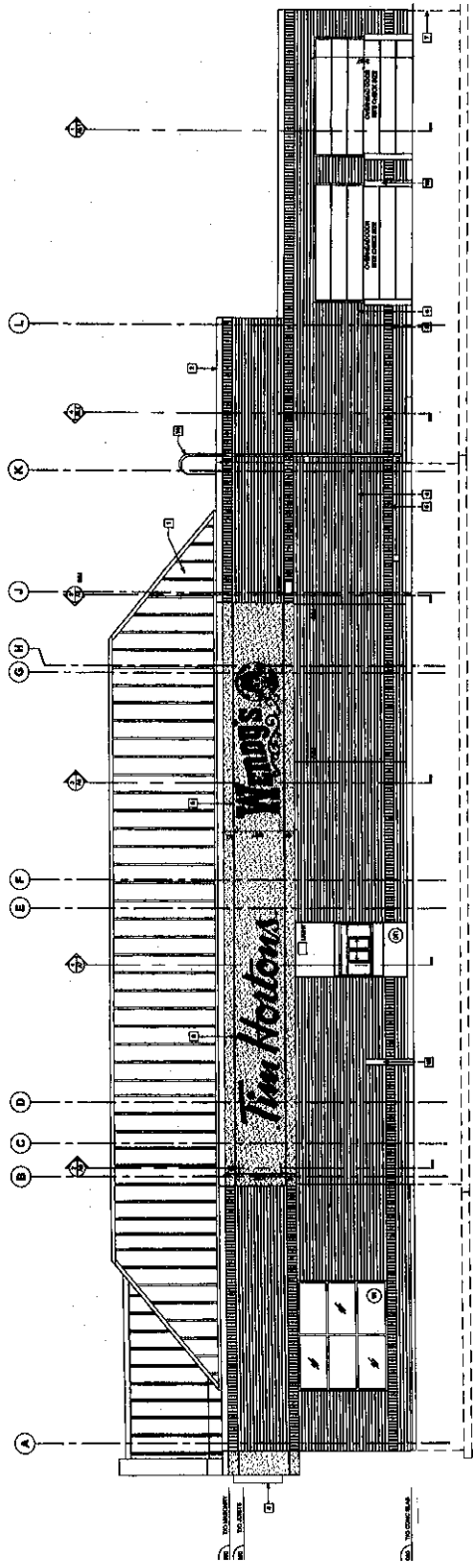
APPLICANT:

SCALE: NOT TO SCALE

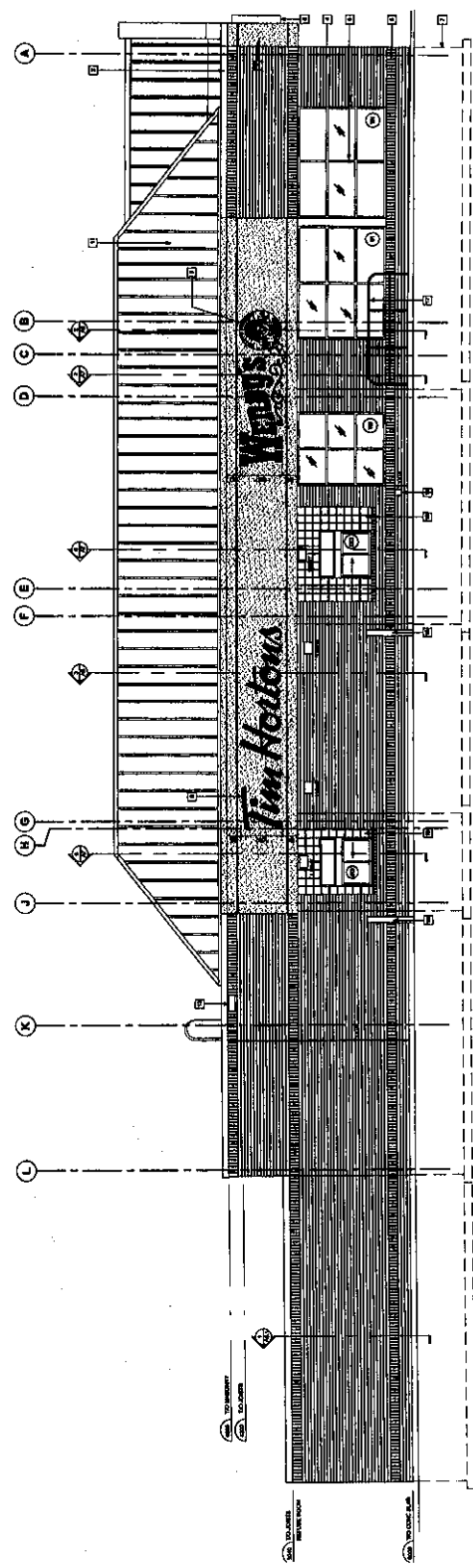
PART OF LOT 2,  
CONCESSION 3

CITY OF VAUGHAN  
PLANNING DEPARTMENT

METRUS PROPERTIES LIMITED



SOUTH ELEVATION



NORTH ELEVATION (GREAT GULF DRIVE)

ATTACHMENT '4B'  
ELEVATIONS

FILE #:  
DA.02.032

REPORT #:  
LOCATION:  
PART OF LOT 2,  
CONCESSION 3

CITY OF VAUGHAN  
PLANNING DEPARTMENT

APPLICANT:

METRUS PROPERTIES LIMITED

DATE: 02/25/2003

SCALE: NOT TO SCALE