

**COMMITTEE OF THE WHOLE    MAY 16, 2005**

**SITE DEVELOPMENT FILE DA.05.008  
2748355 CANADA INC.**

**Recommendation**

The Commissioner of Planning recommends:

THAT Site Development File DA.05.008 (2748355 Canada Inc.) BE APPROVED, subject to the following conditions:

- a) That prior to the execution of the site plan agreement:
  - i) the final site plan, landscape plan and building elevations shall be approved by the Development Planning Department;
  - ii) the final site servicing and grading plan and stormwater management report shall be approved by the Engineering Department;
  - iii) parking, access and on-site vehicular circulation shall be approved by the Engineering Department;
  - iv) all requirements of the Region of York Transportation and Works Department shall be satisfied;
  - v) the traffic study shall be approved to the satisfaction of the Engineering Department and the Region of York Transportation and Works Department;
  - vi) all hydro requirements shall be fulfilled to the satisfaction of Power Stream Inc.;
  - vii) all requirements of the Ministry of Transportation shall be satisfied; and
  - viii) the Owner shall dedicate to the City, the lands necessary for the Higher Order Transitway Corridor as shown on Schedule "B2" of OPA #529, free of all costs and encumbrances; or, the Owner shall enter into the Option Agreement outlined in Schedule "B" of the Minutes of Settlement dated July 10, 2000 between 2748355 Canada Inc. and the City, which will grant the City the option to purchase in free simple, a sub-surface stratum of a portion of the subject lands for the purposes of a subway line.
  
- b) That the site plan agreement contain the following provision:
  - i) The Owner shall pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands in accordance with Section 51 of the Planning Act and City of Vaughan policy. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division and the approved appraisal shall form the basis of the cash-in-lieu payment.

**Economic Impact**

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

## Purpose

The Owner has submitted a Site Development Application to permit the development of a two-storey office building (5016.75m<sup>2</sup>) with a one-storey warehouse (557.42m<sup>2</sup>) as shown on Attachment #2.

## Background - Analysis and Options

The 1.67ha vacant site which was recently severed from the larger landholding as shown on Attachment #1, is located on the west side of Jane Street, between Interchange Way and Exchange Avenue, in Part of Lot 4, Concession 5, City of Vaughan (Attachment #1).

The subject lands are designated "Corporate Centre District" by OPA #500 (Corporate Centre Plan), and zoned EM1 Prestige Employment Area Zone by By-Law 1-88, subject to Exception 9(957). The surrounding land uses are:

- North - Interchange Way; vacant/commercial (C7 Service Commercial Zone),  
vacant/employment (EM1 Prestige Employment Area Zone)
- South - Exchange Avenue; 407 ETR (PB1S Parkway Belt Linear Facilities Zone)
- East - Jane Street; employment (EM1 Prestige Employment Area Zone)
- West - vacant/employment (EM1 Prestige Employment Area Zone)

## Official Plan

The subject lands are designated "Corporate Centre District" by OPA #500 (Corporate Centre Plan), which provides opportunities for land uses that require visual exposure, good vehicular accessibility and large development sites that are characterized by high design standards. The proposed two-storey office with one-storey warehouse is deemed to be a prestige industrial use, which is permitted and conforms to the policies of OPA #500.

The site is also subject to OPA #529, which implements the "Vaughan Higher Order Transit Right-of-Way Corridor Protection Study". The purpose of the study was to identify and protect a higher order transit right-of-way leading from York University to the Vaughan Corporate Centre.

OPA #529 acknowledges the Public Transit Right-of-Way on the Beutel Goodman Lands, of which the easterly 11.5m of the overall 23m right-of-way on the subject lands are included, to facilitate of a sub-surface subway, as shown on Attachment #2. The applicant will provide 11.5m of the 23m right-of-way on the severed portion of the lands, with the remaining 11.5m to be provided by Beutel Goodman upon development of the adjacent westerly parcel.

In accordance with OPA #529, construction of buildings or other structures requiring footings or other load bearing support will not be permitted to locate above the underground Public Transit right-of-way, however, surface parking, landscaping, and vehicular and pedestrian circulation will be permitted on the 11.5m right-of-way, as shown on Attachment #2. Prior to the execution of the site plan agreement, the Owner shall inform the City if they will be either dedicating the lands to the City that are necessary for the Higher Order Transitway Corridor as shown on Schedule "B2" of OPA #529, free of all costs and encumbrances, or; if they will be entering into the Option Agreement outlined in Schedule "B" of the Minutes of Settlement dated July 10, 2000, between 2748355 Canada Inc. and the City.

The applicant's agent has verbally advised that the Owner will be entering into the Option Agreement, which will grant to the City, the option to purchase in fee simple, a sub-surface stratum of a portion of the subject lands owned by 2748355 Canada Inc., for the purposes of a subway line, in accordance with the terms and conditions of the Agreement.

### Zoning

The subject lands are zoned EM1 Prestige Employment Area Zone, subject to Exception 9(957), which permits the proposed office and warehouse use. The site plan has been reviewed in accordance with the EM1 Zone requirements and Exception 9(957), and found to comply in all respects.

The applicant has submitted a Consent Application (File B018/05) to permit the severance and creation of the subject lot from a larger landholding as shown on Attachment #1. This application was approved by the Committee of Adjustment on March 31, 2005, without appeal.

### Site Design

The site plan (Attachment #2) shows a two-storey office building facing Interchange Way with an attached single-storey warehouse. Two full-movement accesses, one to Interchange Way and the other to Exchange Way, will serve the site. There is vehicular circulation with parking around the building. Landscaping and pedestrian walkways are proposed around the building with connections to Jane Street and Interchange Way. A canopy is proposed above the main entrance at the northeast corner of the building, and there is a patio at the northwest corner. The final site plan will be approved to the satisfaction of the Development Planning Department.

### Parking /Traffic

The required parking for the site is calculated as follows:

Office:	3.5 spaces/100m <sup>2</sup> GFA (5016.75m <sup>2</sup> GFA)	=176 spaces
Warehouse:	1 space/100m <sup>2</sup> GFA (557.42m <sup>2</sup> GFA)	= <u>6 spaces</u>
Total Parking Required		= 182 spaces
Zoning By-law Exception Allowing 25% Parking Reduction		= <u>45 spaces</u>
Minimum Parking Required		= 137 spaces
Total Parking Provided		= 218 spaces

The Owner is proposing a total of 218 spaces. By-law Exception 9(957) permits a 25% reduction to the parking requirement for development of the overall lands in conjunction with the AMC Theatre to the northwest. As a result, there will be a parking surplus of 81 spaces on the subject lands.

The Owner has submitted a Transportation Impact Study prepared by Urbacon Limited to review any potential transportation impacts, parking and loading requirements resulting from the proposed development. The traffic study shall be approved to the satisfaction of the Engineering Department and the Region of York Transportation and Works Department.

The subject lands are in close proximity to Highway #407, and are subject to the requirements of the Ministry of Transportation Ontario (MTO) including obtaining any permits for signage. The Owner will be required to satisfy all requirements of the MTO, as a condition of site plan approval.

### Services/Utilities

The site has access to hydro, water, and sanitary and storm sewers. The Owner has submitted a site grading and servicing plan and a stormwater management report, which will be approved to the satisfaction of the Engineering Department and the Region of York Transportation and Works Department.

All hydro requirements will be addressed by the Owner, to the satisfaction of PowerStream Inc.

### Landscaping

The proposed landscape plan (Attachment #3) consists of deciduous and coniferous trees and shrubs along Interchange Way, Jane Street, and Exchange Avenue. Landscape islands are proposed along the westerly property line and at the northwest corner of the building surrounding the proposed patio, and at the southwest and southeast corners of the building, with the latter assisting to screen the single loading space at the southwest corner of the warehouse. The sodded strip along the entire westerly property line will be used by the company to calibrate laser light beams between two uninterrupted points, and the applicant has advised that the beam is safe if persons or objects cross its path. A concrete pedestrian walkway surrounds the building with connections to Jane Street and Interchange Way. The applicant is willing to work with staff to enhance the landscape plan, which is to include tree planting in the islands within the southerly parking lot. The final landscape plan will be approved to the satisfaction of the Development Planning Department.

### Building Design

The proposed building elevations are shown on Attachments #4 and #5. The building will be constructed to a height of 9.3m and consist of blue glass and white precast panels. The square-shaped blue glass entry feature is located on the northeast elevation facing the corner of Jane Street and Interchange Way and is designed with glass doors on either side, a blue metal canopy above, and surrounded by white precast panels. The remaining three elevations are of the same design and will consist of blue glass for the first and second storey windows and triangular shaped window features with alternating blue spandrel and glass panels. One man door, one over-head door and one loading door are located on the south elevation, facing Exchange Avenue. The applicant has confirmed that the "future" punch-out windows shown on the south, west and east elevations of the warehouse (Attachments #4 and #5) will be constructed instead with blue-tinted glass windows, as part of the main construction, rather than in the future. The final building elevations will be approved to the satisfaction of the Development Planning Department.

### Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly "A-5", "Plan and Manage Growth".

### Conclusion

Staff has reviewed the proposed Site Plan Application in accordance with the policies of the Official Plan and the requirements of the Zoning By-Law, and is satisfied that the proposed office and warehouse building will facilitate an appropriate development of the site, within the Corporate Centre.

**Attachments**

1. Location Map
2. Site Plan
3. Landscape Plan
4. Building Elevations (North, East, West and South)
5. Building Elevations (Northeast and Southwest)

**Report prepared by:**

Christina Napoli, Planner I, ext: 8384  
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Grant Uyeyama, Manager of Development Planning, ext. 8635

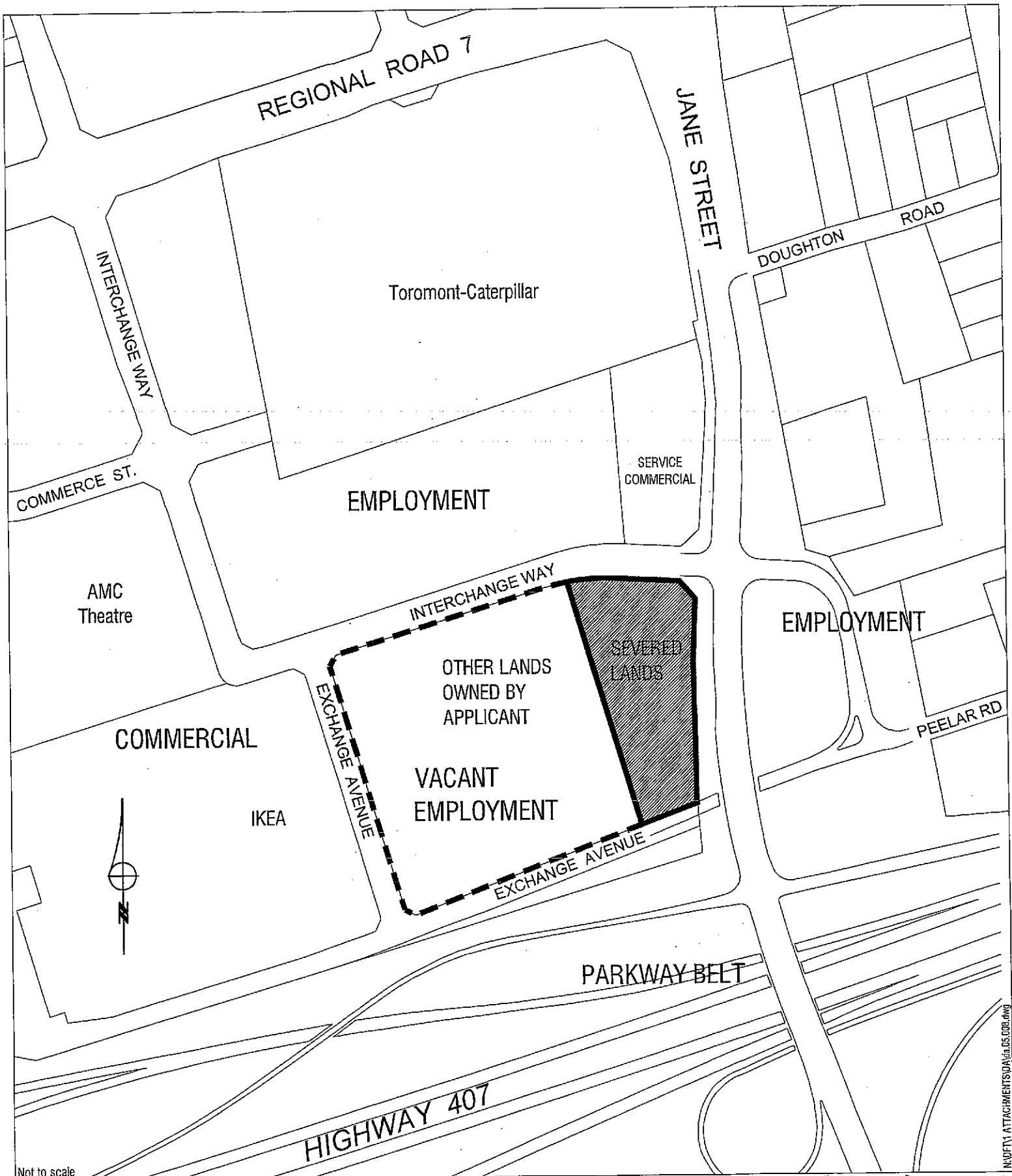
Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

MARCO RAMUNNO  
Director of Development Planning

/LG

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Not to scale

# Location Map

Location:  
Part Lot 4, Concession 5  
Applicant:



The City Above Toronto

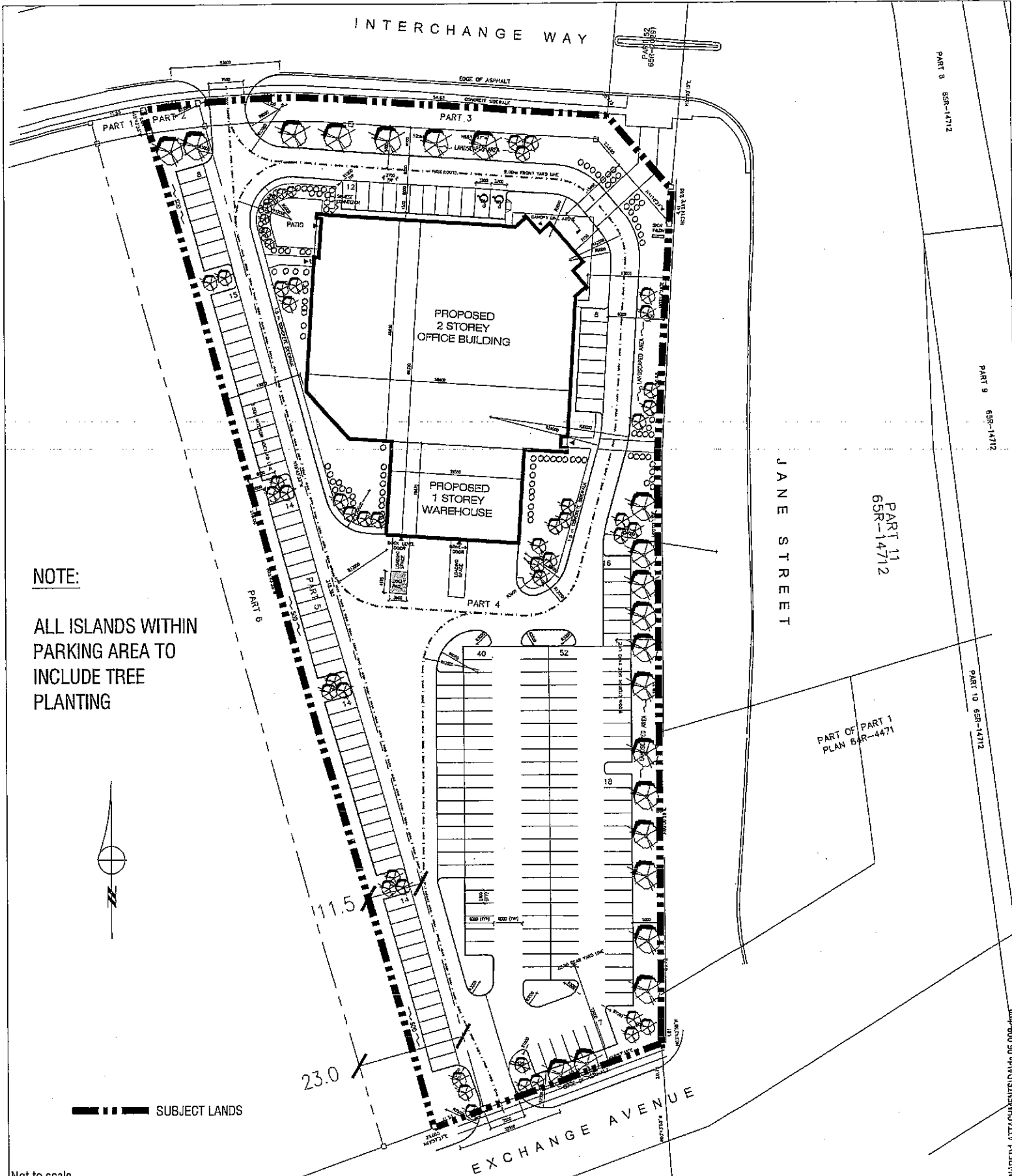
Development Planning Department

# Attachment

File:  
DA.05.008  
Date:  
11/04/2005

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# Landscape Plan

Location:  
Part Lot 4, Concession 5  
Applicant:



Development Planning Department

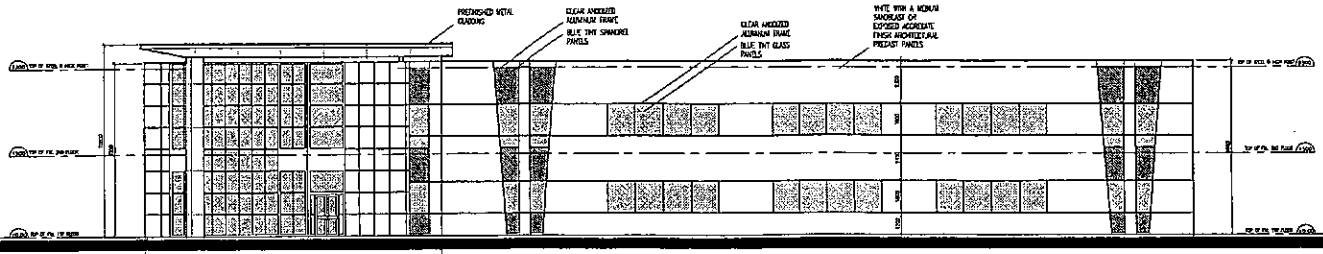
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Date:  
April 04, 2005

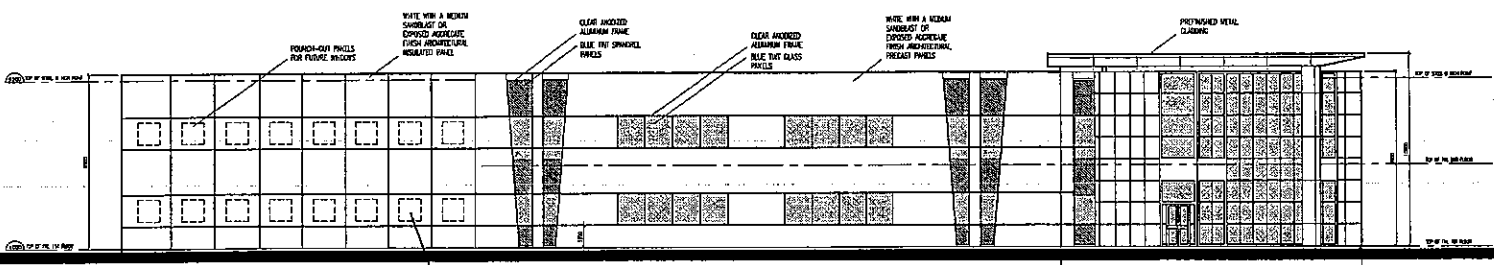
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LANDSCAPE ATTACHMENTS.DWG (15.05.04.005)



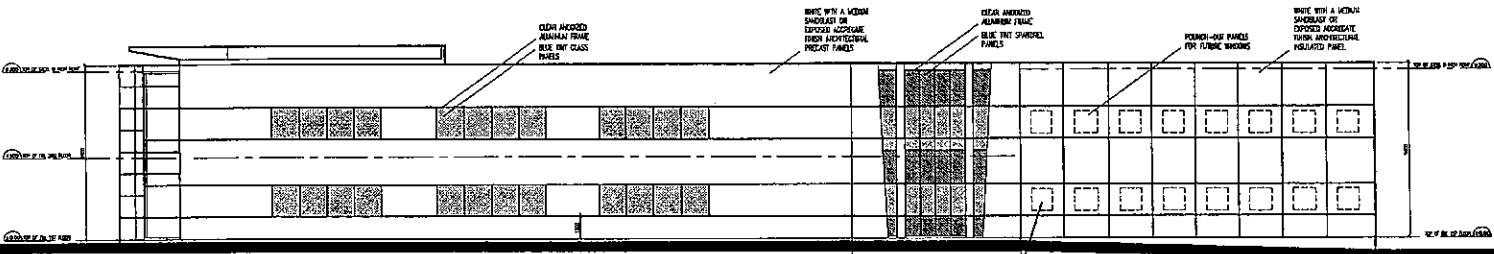


**NORTH ELEVATION - INTERCHANGE WAY**



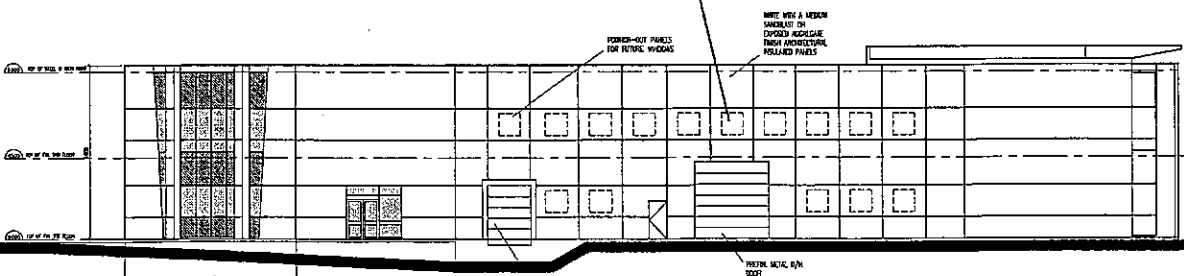
**EAST ELEVATION - JANE STREET**

Applicant has agreed to provide **BLUE TINTED WINDOWS** rather than 'PUNCH-OUT PANELS FOR FUTURE WINDOWS'



**WEST ELEVATION**

Applicant has agreed to provide **BLUE TINTED WINDOWS** rather than 'PUNCH-OUT PANELS FOR FUTURE WINDOWS'



**SOUTH ELEVATION - EXCHANGE AVENUE**

Not to scale

# Elevations

Location:  
Part Lot 4, Concession 5  
Applicant:  
2748955 CANADA INC



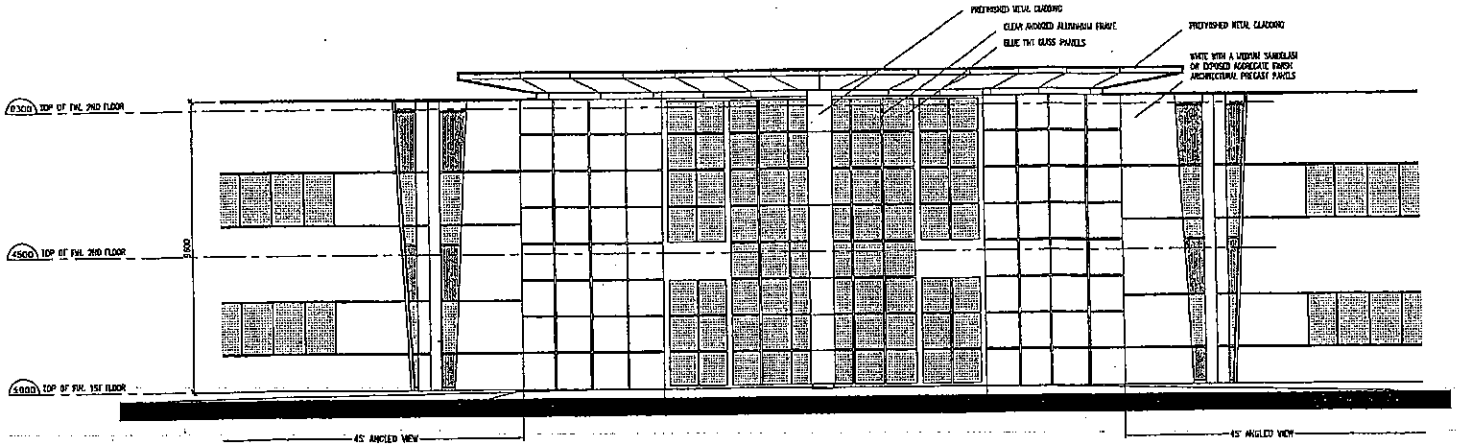
Development Planning Department

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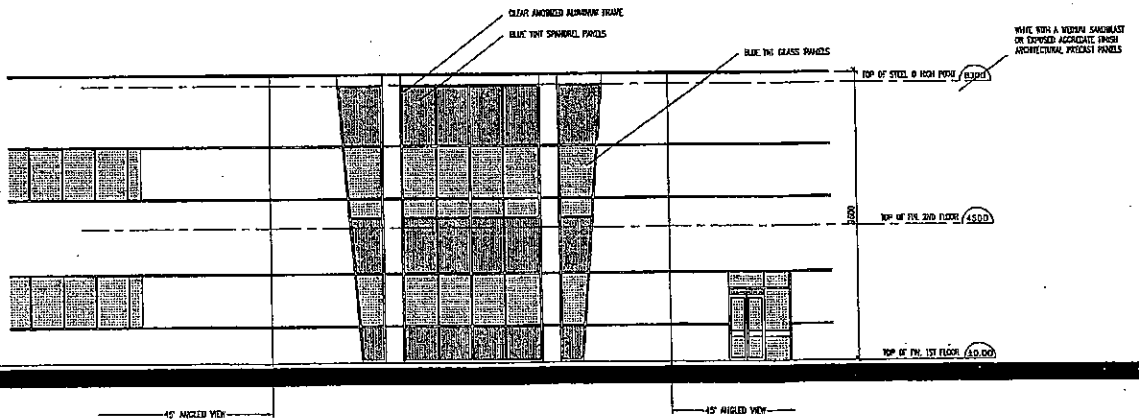
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**NORTH-EAST ELEVATION - JANE STREET AND INTERCHANGE WAY**



**SOUTH-WEST ELEVATION**

Not to scale

# Elevations

Location:  
Part Lot 4, Concession 5  
Applicant:  
2748355 CANADA INC.



*The City Above Toronto*

Development Planning Department

# Attachment

File:  
DA.05.008

Date:  
April 04, 2005

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