

COMMITTEE OF THE WHOLE MAY 16, 2005

SITE DEVELOPMENT FILE DA.03.036
LANADA INVESTMENTS LTD.

Recommendation

The Commissioner of Planning recommends:

1. THAT Site Development File DA.03.036 (Lanada Investments Ltd.) BE APPROVED, subject to the following conditions:
 - a) That prior to the execution of the site development agreement:
 - i) the final site plan, building elevations, landscape plan and tree preservation plan shall be approved by the Development Planning Department;
 - ii) the final site servicing and grading plans, stormwater management report, and geotechnical report, shall be approved by the Engineering Department;
 - iii) all hydro requirements shall be fulfilled to the satisfaction of Power Stream Inc.;
 - iv) the requirements of Vaughan Fire and Rescue Services Department shall be satisfied;
 - v) all requirements of the Region of York Transportation and Works Department shall be satisfied; and,
 - vi) the implementing zoning by-law shall be approved by the Ontario Municipal Board, and be in full force and effect.
 - b) That the Site Development Agreement shall contain the following conditions and warning clauses:
 - i) All garbage shall be stored indoors until ready to be picked up by a private garbage operator; and,
 - ii) The Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 5% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with the Planning Act and City Policy. The Owner shall submit an appraisal of the subject lands, in accordance with Section 42 of the Planning Act, prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.
2. That Council adopt the following resolution with respect to the allocation of sewage and water servicing capacity:

"NOW THEREFORE BE AND IT IS HEREBY RESOLVED THAT the proposed Development Application DA.03.036 (Lanada Investments Limited) is allocated sewage

capacity from the York/Durham Servicing Scheme via the Woodbridge Collector, and water capacity from Pressure District No. 4 of the York Water Supply System, for a total of 18 residential units."

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted a Site Development Application to permit the development of a block townhouse development comprised of 18 condominium townhouse units on a 0.61 ha parcel with a frontage of 15.43 m on Islington Avenue. The site statistics are as follows:

Site Area:	0.61ha
Total Number of Units:	18 units
Total Gross Floor Area:	3,059 sq.m.
Parking Provided:	41 spaces

Background - Analysis and Options

The subject lands are located on the west side of Islington Avenue, south of Gamble Street, being Part of Lot 26, Registered Plan M-1106 (8334 Islington Avenue), in Lot 9, Concession 7, City of Vaughan (Attachment No. 1). The subject lands have an area of 0.61 ha, with 15.34 metres of frontage on Islington Avenue. The site is irregular in shape, with a treed steep slope along the rear of the property. The site is currently developed with a two-storey detached dwelling, which will be demolished.

The subject lands are designated "Medium Density Residential" by OPA #240 (Woodbridge Community Plan), as amended by site-specific OPA #586, and zoned R2 and R3 Residential Zones by By-law 1-88. The surrounding land uses are:

- North - detached dwellings (R3 Residential Zone), commercial plaza and gas station (C3 Local Convenience Zone)
- South - detached dwellings (R1V Old Village Residential Zone and R2 Residential Zone)
- East - detached dwellings (R2 Residential Zone); Islington Avenue
- West - detached dwellings (R1V Old Village Residential Zone)

Ontario Municipal Board (OMB) Approval

On September 27, 2002, the applicant appealed Official Plan Amendment Application OP.00.020 and Zoning Amendment Application Z.00.094 to the Ontario Municipal Board (OMB) on the basis that Council failed to make a decision within the required time period, as provided by the Planning Act. The original Official Plan and Zoning Amendment Applications contemplated high density development comprised of a four-storey 64 unit senior's apartment building. The applications were held in abeyance until the completion of a City initiated land use study for the Islington Avenue Corridor. The study concluded that the subject lands were better suited for a medium density development at a maximum density of 35 units/net ha which equates to a maximum of 21 units (35 uph x 0.608 ha).

On October 28, 2002, Council recommended that the subject lands be designated "Medium Density Residential" consistent with the findings and recommendations of the Islington Avenue Corridor land use study. The Ontario Municipal Board Order, dated December 17, 2002

(Decision/Order No. 1714), approved Official Plan Amendment #586 which designated the subject lands "Medium Density Residential" and provided a number of development conditions. The zoning amendment application was approved in principle, subject to the approval of a site development application. The implementing zoning by-law will be forwarded to the OMB for approval, should Council approve the subject site plan application.

The proposed site plan submission contemplates four block townhouse buildings with a total of 18 condominium townhouse units.

Official Plan

The subject lands are designated "Medium Density Residential" by OMB approved OPA #586, which permits a maximum of 35 units per net hectare for townhouses. The maximum building height shall not exceed 3½-storeys. The proposed development conforms to OPA #586 and is consistent with the recommendations of the Islington Avenue Corridor Land Use Study for this site.

Zoning

The subject lands are currently zoned R2 Residential Zone and R3 Residential Zone by By-law 1-88. The Zoning Amendment application was also referred to and approved by the Ontario Municipal Board. The Board indicated that it would withhold its Order with respect to the implementing Zoning By-law Amendment to permit an opportunity for the precise language to be agreed upon in accordance with the zoning regulations, which are set out in the Board Order. The withholding of the Order permits the processing of a site plan application to establish the specific requirements of the Zoning By-law for the subject lands.

The Board Order sets out a list of Zoning regulations to be applied to the subject lands as follows:

1. Mixed housing types shall be permitted.
2. A minimum of 1.75 parking spaces per unit shall be provided on site.
3. Maximum building height shall not exceed 3.5 storeys with final height determined at site plan application and approval stage.
4. Block and street townhousing shall be at a density of 35 units per hectare with a 10 percent density bonus (providing development meets the criteria for the bonus).
5. Garden court units, low rise apartments, back-to-back townhouses, and stacked townhouses shall be permitted at an FSI of 0.5 with a 10 percent density bonus (provided the development meets the criteria for the bonus).
6. Minimum building setback from the approved toe-of-slope shall be 3.0 metres or as identified in the geo-technical report approved by the City of Vaughan.
7. Lands above the toe-of-slope shall be zoned OS1 Open Space Conservation Zone.
8. The overall length of a building shall not exceed 60 metres.
9. Garbage storage shall be internal to the building.

10. Surface parking within the front yard is permitted but shall be screened from the street with landscaping.
11. Minimum side yard setback – 1.5 metres.
12. Minimum rear yard setback – 3 metres from approved toe-of-slope.
13. The access driveway from Islington Avenue and internal driveways shall be 6.0 metres in width.
14. Frontage on Islington Avenue shall be 15.0 metres (site plan shows 15.34 m, and will be included in the implementing by-law as an exceptions).

The proposed zone category for the revised townhouse development is RM2 Multiple Residential Zone, which permits the proposed block townhouse dwelling units. The implementing by-law will include the specific exceptions to implement the final development, consistent with those outlined above by the Ontario Municipal Board. It should be noted that the proposed zoning regulations state that lands above the approved toe-of-slope shall be zoned OS1 Open Space Conservation Zone. Accordingly, the proposed zone changes arising from the Board Order will result in rezoning the subject lands from R2 Residential Zone and R3 Residential Zone to RM2 Multiple Residential Zone and OS1 Open Space Conservation Zone, in the manner shown on Attachment No. 6. The following additional exceptions will be required to be included in the implementing zoning by-law:

a) Landscaping Adjacent to an Outdoor Parking Area/Driveway

Planning Staff advises that By-law 1-88 (Section 4.1.4 (b)(i) and (ii)) requires a minimum 3m wide landscape strip around the periphery of an outdoor parking area and consisting of either a berm or minimum 1.2m high evergreen hedgerow. Staff can support an exception that would facilitate an appropriate mix of deciduous and coniferous trees and shrubs, without the need for a berm, and landscape strip widths ranging between 0m-2.4m, as shown on the Landscape Plan (Attachment #3). The areas with zero (0)metre landscaping are located along the north and south driveways, adjacent to 1.8m high wood privacy fencing.

b) Driveway Access Width

By-law 1-88 requires a driveway access width along the property line of 7.5m on Islington Avenue. The Region of York Transportation and Works Department has requested that the driveway access be 9m wide, thereby requiring an exception to By-law 1-88, which is supported by Staff.

c) Retaining Walls

The topography of the property requires the development to incorporate retaining walls along the north property line directly adjacent to the Block 1 townhouses; along the south property line directly opposite Blocks 2 and 3, along the internal east property line; and along the toe-of-slope to the west of the townhouse Blocks 1 and 2.

By-law 1-88 requires the maximum height of any retaining wall constructed on a property line between two residential lots to be one metre. A retaining wall which exceeds one metre in height must be setback from the property line a distance equal to its height. The retaining walls proposed along the north, south and east property lines range between 0.1m–2.5m in height, with a set back ranging between 0m-0.4m from the property lines. The proposed exception can be

supported, provided the structural engineering details for the retaining walls are approved to the satisfaction of the Engineering Department.

Islington Avenue Urban Design Guidelines

The Islington Avenue Land Use Study, approved by Council on October 2002, recommended in part that Urban Design Guidelines be prepared and adopted for the Islington Avenue Land Use Study Area. On June 23, 2003, Council approved urban design guidelines prepared by the IBI Group. The guidelines are intended to provide direction and a framework for architectural design and site planning for future development applications within the Islington Avenue Study Area, both the public and private realms.

Staff has reviewed the proposed development in light of the urban design guidelines, and finds it to be consistent with the guidelines.

Site Design

The site is an irregular key-shaped lot (Attachment No. 2), with a treed slope along the rear of the property. The property is accessed by a long narrow 6 m wide driveway which runs westward from Islington Avenue to the rear of the property. Due to the key-shape of the lot, development is located within the interior of the lot, approximately 90 metres west of Islington Avenue. The site is to be developed with four, 3-storey block townhouse buildings. Two buildings (Blocks 1 and 2) are oriented in a north/south direction and the remaining two buildings (Blocks 3 and 4) oriented in an east/west direction. The lands have a site area of approximately 0.61 ha

All garbage will be stored internal to each townhouse unit until it is ready to be picked up by a private garbage operator. Also, snow will be stored on-site within the landscaped areas, as identified on the landscape plan (Attachment No. 3).

Building Design

The proposed buildings (Attachment's No. 4 and No. 5) have a height of approximately 8.7 metres (3-storeys). The Board's Order allows a maximum height of 11 metres and 3½-storeys.

The buildings are proposed to be constructed with a beige stone base at the first floor level, with a precast sill along the base of the second floor with the remainder of each building being constructed with a beige stucco finish as the main construction element and incorporating windows with decorative window surround elements. The front elevations on all buildings incorporate metal railings. The entrances to the units utilize painted wood cornice, canopy and columns of a darker beige, contrasting in colour to the lighter colour of the buildings, and incorporating decorative door surround elements. Painted metal railings are also incorporated at the stairs to the entrances. Generally all elevations are treated in the same manner.

The east elevations for Blocks 1 and 2 function as the main entrances to the townhouse units. The rear elevations of Blocks 1 and 2 have walk-outs to individual rear yards. The south elevation on Block 3 and the north elevation on Block 4 function as the main entrances to these townhouse units. The rear elevations to the units in Blocks 3 and 4 have cantilevered wood decks at the second floor level and walk-outs at the first floor level. The roofline of all buildings are flat.

The final elevations will be approved by the Development Planning Department. A condition to this effect has been included in the recommendation section of this report.

Parking

The site plan proposes a total of 41 parking spaces. Based on the parking standards provided in the OMB's Order, a minimum of 32 parking spaces are required. The required parking spaces are calculated as follows:

Block Townhouse 18 units @ 1.75 parking space/unit (includes visitor) = 32 spaces

The proposed development contemplates 2.0 spaces per unit, consisting of one space in the garage and one parking space in the driveway. The applicant is also providing 5 visitor parking spaces along the easterly limits of the development, including one handicapped parking space.

Access

Access to the development is by way of a long 6.0 m wide driveway from Islington Avenue, which forms a P-shaped internal driveway to access all buildings and to visitor parking areas. The applicant will need to acquire final approval for the access location and design on Islington Avenue from the Region of York Transportation and Works Department.

Landscaping

The landscape plan (Attachment No.3) proposes a variety of deciduous and coniferous trees and shrubbery surrounding the periphery of the site. The landscape plan contemplates the provision of a landscaped strip approximately 2.42m in width along the eastern limit of the property with a variety of deciduous trees, as well as, a 1.8m high wood privacy fence to be provided adjacent to existing residential development.

The rear of the property is comprised of a slope, which is vegetated with a number of coniferous and deciduous trees. The applicant in order to develop the site, is proposing to cut into the toe of the slope to provide an engineered post and timber retaining wall (Attachment No. 5), and to provide landscaping and rear yard area for the proposed townhouses (Blocks 1 and 2).

A tree preservation plan has been submitted, which must be approved to the satisfaction of the Development Planning Department, to ensure that trees in good condition are preserved or re-located, if possible.

The final landscape plan and landscape cost estimate, must be approved to the satisfaction of the Development Planning Department.

Municipal Services

The Engineering Department has reviewed the engineering drawings, and has provided red-lined revisions to the site grading plan, and illumination plan, which have been forwarded to the applicant's architect. In addition, the Engineering Department advises that the stormwater management report dated May 2004, prepared by W.G.Notenbloom Consulting is satisfactory to the City, and further advises that:

- Section details are required for proposed municipal service connections within the right-of-way.
- Provide an engineer designed and approved detail for the retaining wall at the rear of Block 1 and along the property boundary, making specific note the MPA (Mega Pascal) strength of concrete where applicable. Handrail/guardrail is required when height exceeds 0.6m and details shall be designed and certified by a professional engineer upon approval.

- Provide an Electrical/Exterior Lighting Plan indicating photometric data in units of lux. Section 3.15 of By-law 1-88 states the following: “Any outdoor floodlighting associated with the use of any lot in any Zone shall be directed inward and downward or in such a manner as to not illuminate any part of any adjacent lot”.
- The applicant will be required to obtain approval from York Region regarding the engineering plans and access on Islington Avenue.

The Engineering Department has also indicated that a traffic study and a noise study are not required.

On October 12, 2004, Vaughan Council reserved sewage capacity from the York/Durham Servicing Scheme and water supply from the York Water System for the subject lands (DA.03.036).

All hydro conditions and requirements of Powerstream Inc. must be satisfied, prior to final approval of the site plan.

Fire and Rescue Services Department

The Vaughan Fire and Rescue Services Department has provided conditions, relating to the provision of a water supply for fire-fighting (i.e fire hydrants), fire access route signs, and the design and construction of the fire access routes. The applicant will be required to satisfy all requirements of the Vaughan Fire and Rescue Services Departments, as a condition of site plan approval.

Region of York

The Region of York Transportation and Works Department (Infrastructure Design Construction Branch) in their letter of January 20, 2005, reviewed the site plan application and outlined a number of modifications which the applicant must fulfill, including, access to the site being designed with a 9.0 metre wide throat and 9.0 metre radii. A road widening is also required along the entire frontage of Islington Avenue of sufficient width to provide 15.0 metres from the centre-line of construction of Islington Avenue.

The Region’s comments also require that adequate water and wastewater servicing capacity must be available, to the satisfaction of The Regional Municipality of York, and allocated by the City of Vaughan for the development proposed within this site plan, prior to approval.

The Region has requested that the Owner modify their plans to reflect the written and red-lined comments provided in their correspondence of January 20, 2005. The Region has not as of yet approved the site plan. The Owner will need to address all the Region’s concerns, both technical and financial, to receive the Region’s final conditions of site plan approval. The Owner is in the process of addressing and finalizing these concerns.

The Region of York Transportation and Works Department has indicated that a traffic impact study and a noise report are not required for the subject lands.

Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly ‘A-5’, “Plan and Manage Growth”.

Conclusion

The proposed development for a medium density residential development is consistent with Official Plan Amendment #586 and the findings of the Islington Avenue Corridor Study, which encourage a full range of housing types and densities to meet future demographic and market requirements. Staff has reviewed the proposed development in accordance with the policies of Official Plan Amendment #586, and the Ontario Municipal Board's, Order #1714, dated December 17, 2002, and find that the proposed development conforms to the polices of the Official Plan.

Staff can support the approval of the proposed development, subject to the conditions outlined in the recommendation section of this report. Should Council approve the site plan application, the implementing zoning by-law can be forwarded to the Ontario Municipal Board for approval, and include the zoning exceptions previously approved by the Board in its Order #1714, dated December 17, 2002, and the additional exceptions identified in this report.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
- 4a. Elevations (Blocks 1 and 2)
- 4b. Elevations (Blocks 3 and 4)
5. Site Section
6. Proposed Zoning Changes

Report prepared by:

Arto Tikiryan, Senior Planner, ext. 8212
Grant Uyeyama, Manager of Development Planning, ext. 8635

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMMUNO
Director of Development Planning

/CM



Not to Scale

 SUBJECT LANDS

Location Map

Part Lot 9,
Concession 7
 APPLICANT:
 LANADA INVESTMENTS LTD.
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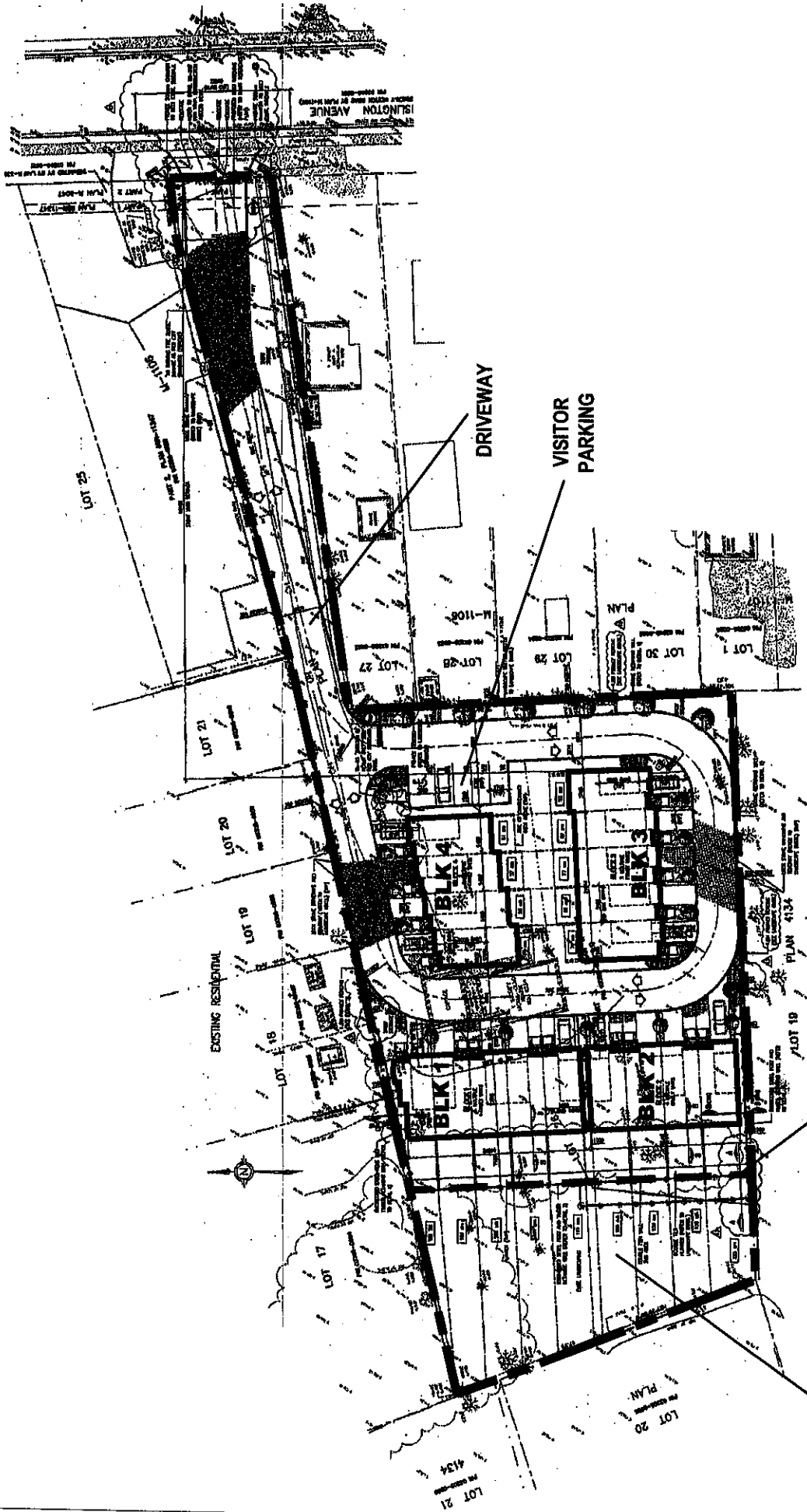


Development Planning Department

Attachment

FILE No.:
 DA.03.036
 RELATED FILE:
 Z.00.094
 April 29, 2005





LANDS TO BE RETAINED
IN A NATURAL STATE

TOE-OF-SLOPE /
RETAINING WALL

SUBJECT LANDS

Not to Scale

Site Plan

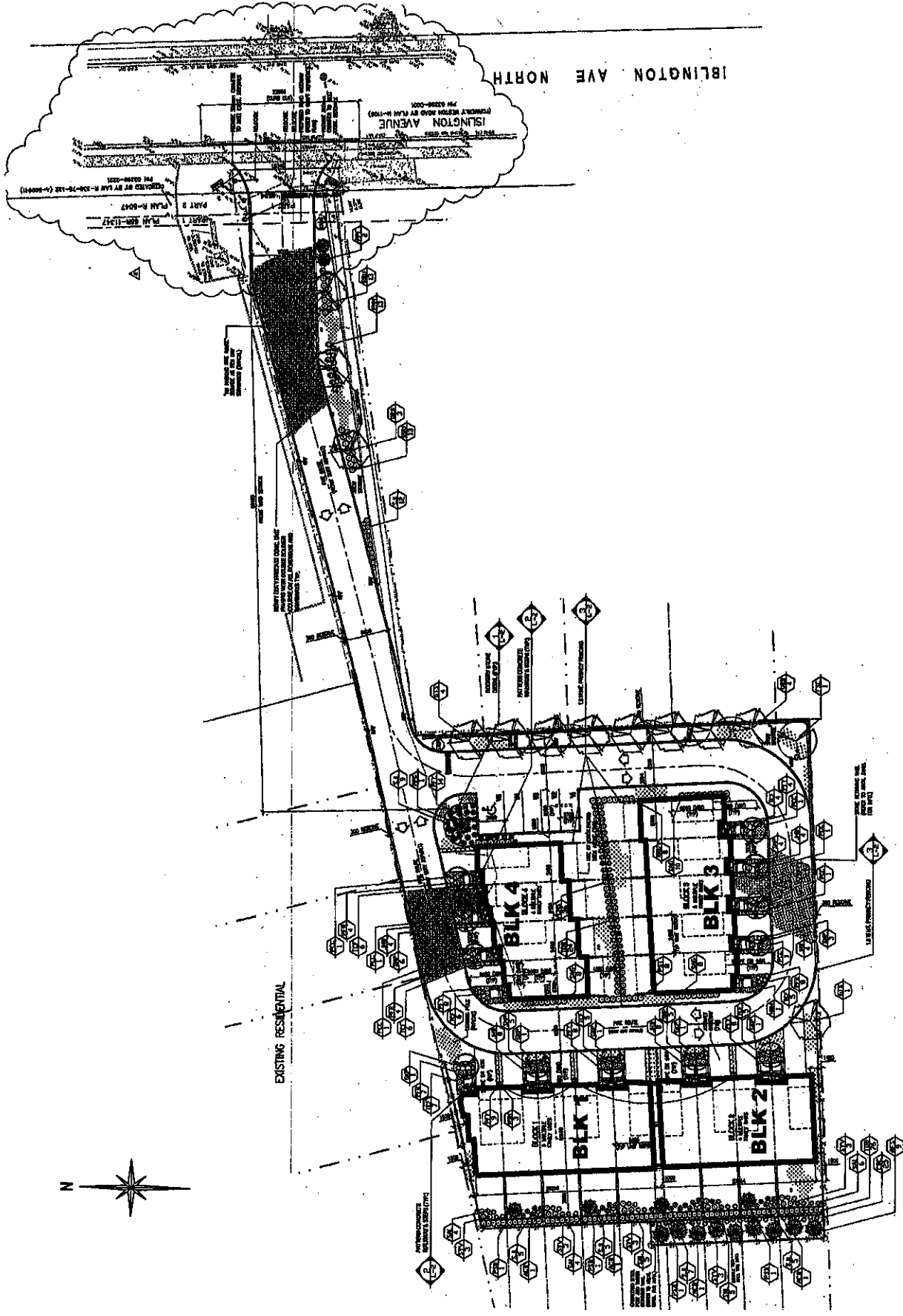
Part Lot 9,
Concession 7
APPLICANT:
LANADA INVESTMENTS LTD.
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City of Vaughan

Development Planning Department

Attachment 2

FILE No.:
DA.03.036
RELATED FILE:
Z.00.094
May 2, 2005



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Landscape Plan

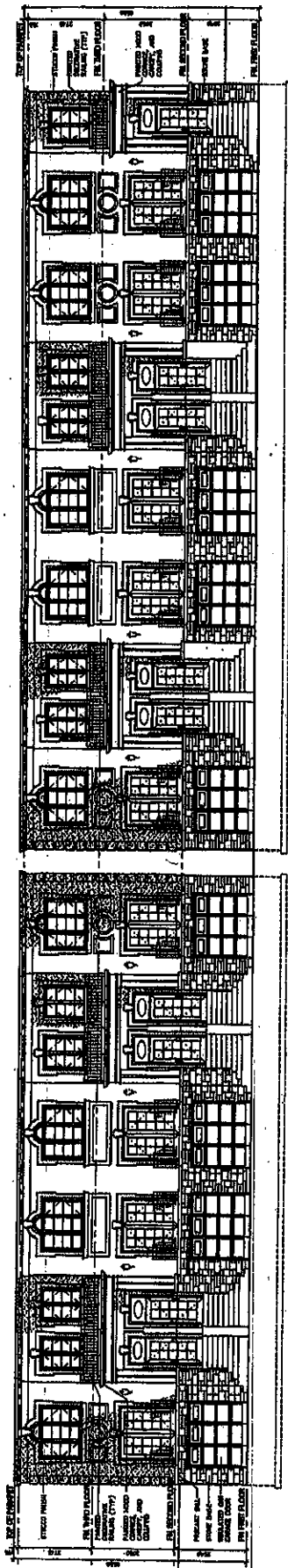
Part Lot 9,
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Development Planning Department

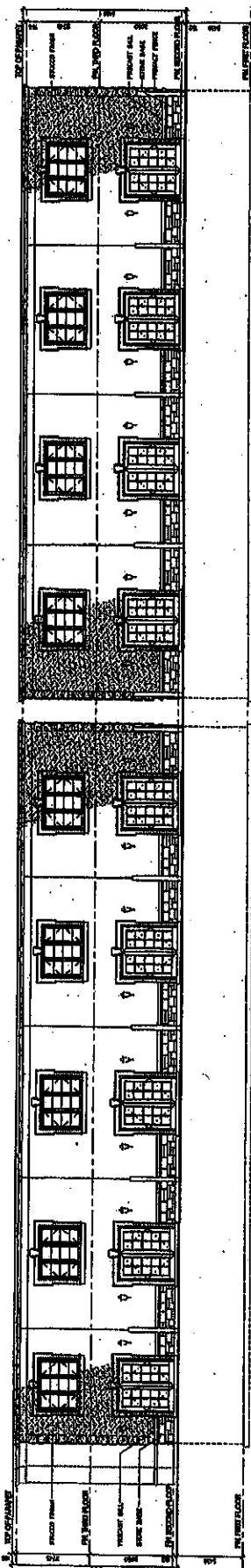
Attachment 3

FILE No.:
 DA.03.036
 RELATED FILE:
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 May 2, 2005



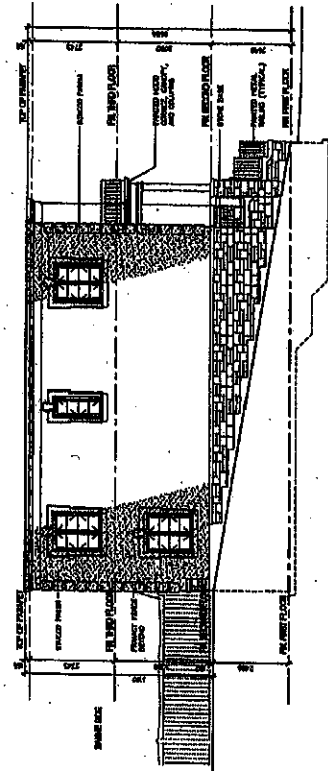
EAST ELEVATION (BLOCK 1)

EAST ELEVATION (BLOCK 2)



WEST ELEVATION (BLOCK 2)

WEST ELEVATION (BLOCK 1)



SOUTH ELEVATION (BLOCK 2)
 DIMENSIONS AT BLOCK 1 & 2

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Elevations - Blocks 1 & 2

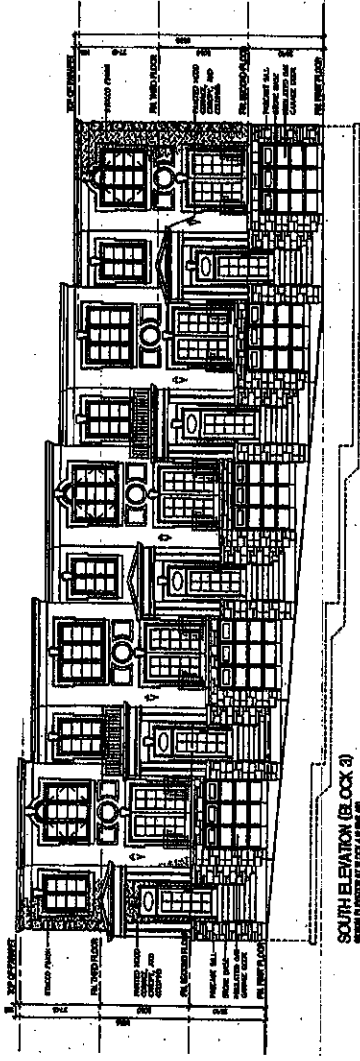
Part Lot 9,
 Concession 7
 APPLICANT:
 LANADA INVESTMENTS LTD.
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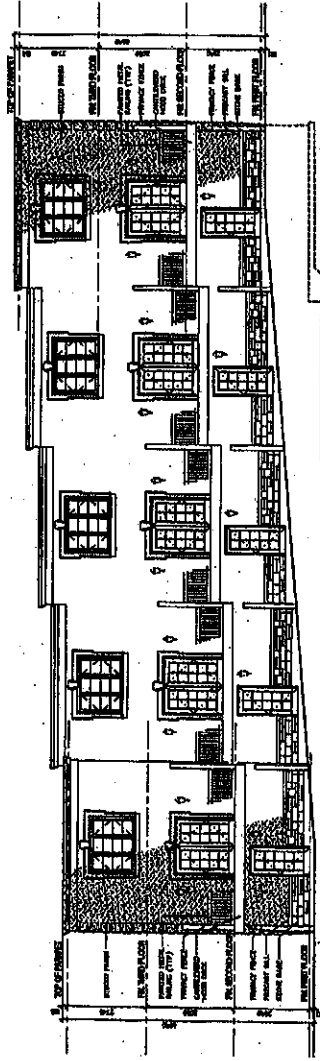
Development Planning Department

Attachment 4a

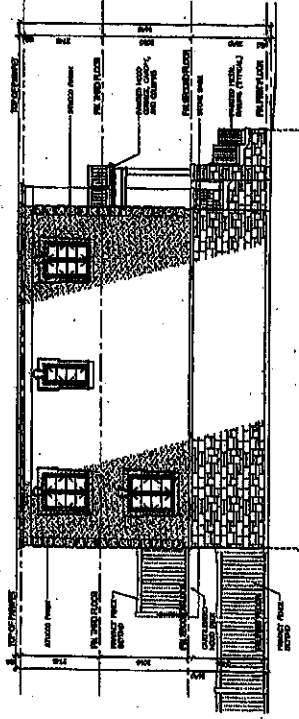
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 DA.03.036
 RELATED FILE:
 Z.00.094
 April 29, 2005



SOUTH ELEVATION (BLOCK 3)
 SOUTH ELEVATION (BLOCK 3)



NORTH ELEVATION (BLOCK 3)
 NORTH ELEVATION (BLOCK 3)



**WEST ELEVATION (BLOCK 3)
 AND EAST ELEVATION (BLOCK 4)**
 WEST ELEVATION (BLOCK 3)
 AND EAST ELEVATION (BLOCK 4)

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Elevations - Blocks 3 & 4

Part Lot 9,
 Concession 7

APPLICANT:
 LANADA INVESTMENTS LTD.

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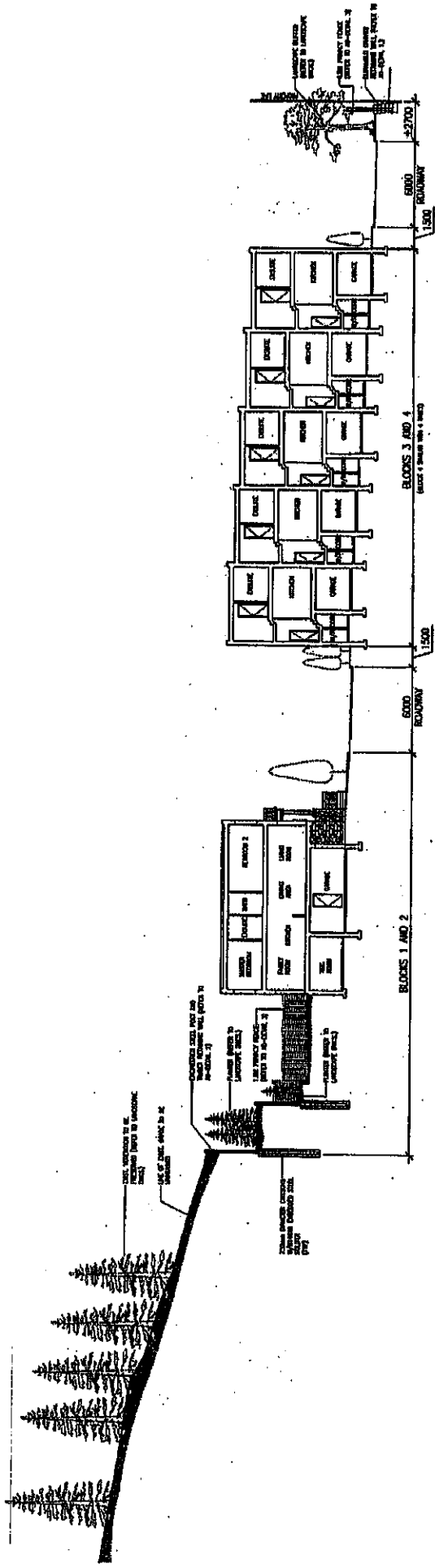
City of
Vaughan

Development Planning Department

Attachment 4b

FILE No.:
 DA-03.036
 RELATED FILE:
 Z.00.094

April 29, 2005



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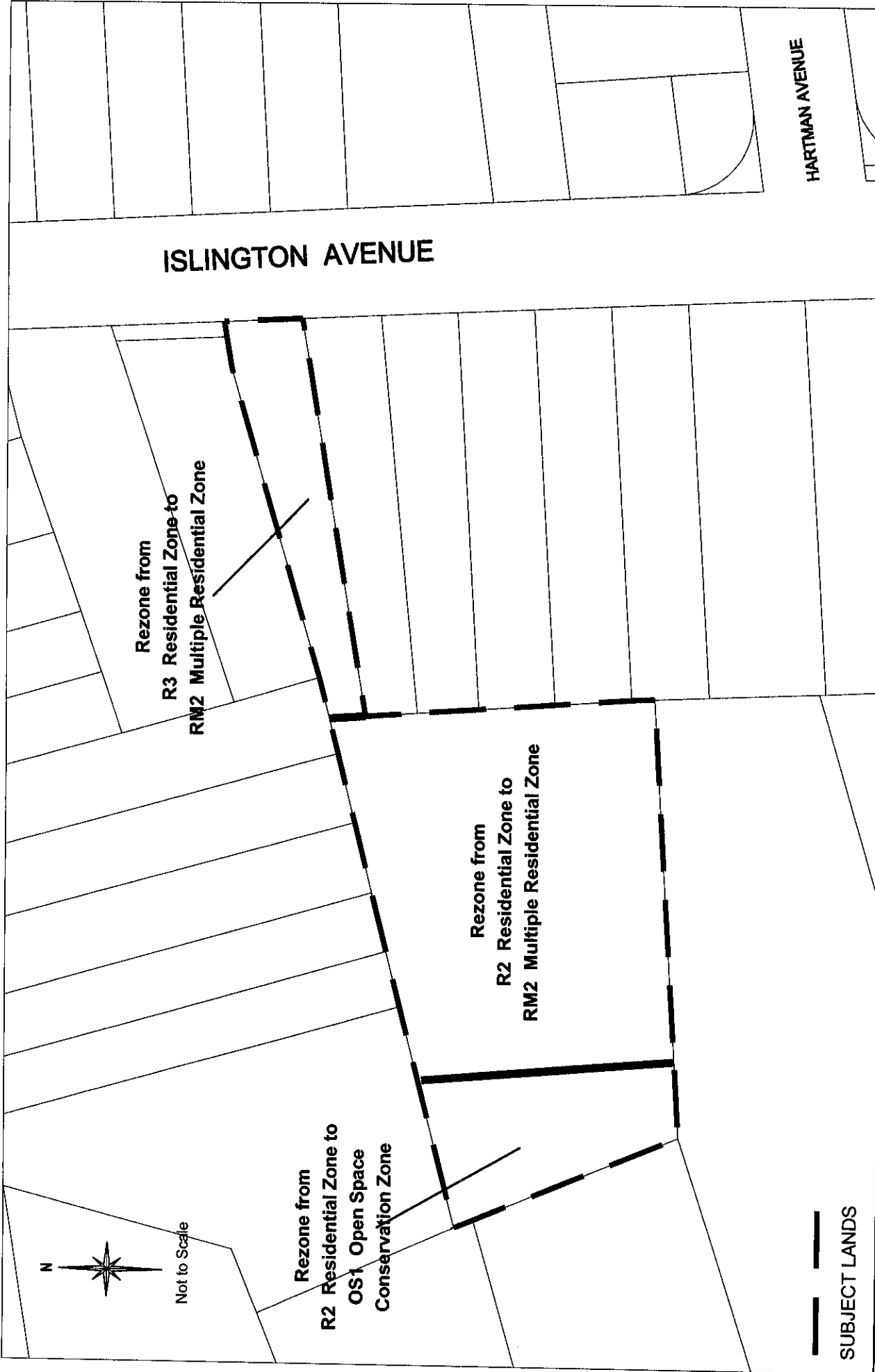
Attachment 5

FILE No.: DA.03.036
 RELATED FILE: Z.00.094
 April 29, 2005

City of Vaughan Development Planning Department

Site Section

Part Lot 9,
 Concession 7
 APPLICANT:
 LANADA INVESTMENTS LTD.
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ISLINGTON AVENUE

HARTMAN AVENUE

Rezone from
R3 Residential Zone to
RM2 Multiple Residential Zone

Rezone from
R2 Residential Zone to
RM2 Multiple Residential Zone

Rezone from
R2 Residential Zone to
OS1 Open Space
Conservation Zone



Not to Scale

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SUBJECT LANDS

Attachment 6

FILE No.: DA.03.036
RELATED FILE: Z.00.094
April 29, 2005

City of Vaughan

Development Planning Department

Proposed Zoning Changes

Part Lot 9,
Concession 7

APPLICANT:
LANADA INVESTMENTS LTD.

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