

## **COMMITTEE OF THE WHOLE JUNE 8, 2005**

### **SITE DEVELOPMENT FILE DA.04.001** **1396461 ONTARIO LIMITED**

#### **Recommendation**

The Commissioner of Planning recommends:

THAT the revised site layout, building elevations and landscape plan for Site Development File DA.04.001 (1396461 Ontario Limited), as shown on Attachments #3, #4, and #5, BE APPROVED, subject to the following conditions:

- a) That prior to the registration of the site plan agreement:
  - i) the final site plan, building elevations, landscaping plan and signage plan shall be approved by the Development Planning Department;
  - ii) the final site grading and servicing plan, stormwater management report, access, parking and on-site vehicular circulation, shall be approved by the Engineering Department;
  - iii) all hydro requirements of Power Stream Inc. shall be satisfied; and
  - iv) all requirements of the Ministry of Transportation shall be satisfied.

#### **Economic Impact**

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

#### **Purpose**

The Owner has submitted an amendment to an approved Site Development File (DA.00.056 - 1396461 Ontario Limited) to facilitate the following revisions to an existing 2,580.35 m<sup>2</sup> BMW automobile dealership:

- a 187.5m<sup>2</sup>, one storey addition to the northeast corner of the building;
- a 1,735.3m<sup>2</sup>, two-storey addition to the southwest corner of the building, including a one-storey component for a MINI BMW dealership;
- an additional 89 above-ground and 48 underground parking spaces;
- a 1353.9m<sup>2</sup> increase in landscaped area from 1441m<sup>2</sup> to 2794.9m<sup>2</sup>; and,
- the relocation of the southerly driveway access point on Auto Park Circle to a point further south.

The existing and proposed GFA totals 4,503.15 m<sup>2</sup>. The approved and amended site plans are shown on Attachments #2 and #3, respectively.

#### **Background - Analysis and Options**

The 1.62ha site (Attachment #1) is located on the west side of Weston Road, fronting onto Auto Park Circle through to Highway #407, in Part of Lot 4, Concession 6, City of Vaughan.

## Official Plan/Zoning

The subject lands are designated "Prestige Area" by OPA #450 and zoned AC Automotive Commercial Zone by By-law 1-88, subject to Exception 9(477A), which permits a motor vehicle sales establishment use within the Pine Valley Business Park auto campus. The proposed revisions to the approved site plan conform and comply to the Official Plan and Zoning By-law, respectively. The surrounding land uses are as follows:

- North - motor vehicle sales establishment (AC Automotive Commercial Zone)
- East - Weston Road; commercial (C10 Corporate District Zone)
- South - Highway #407
- West - Auto Park Circle; motor vehicle sales establishment (AC Automotive Commercial Zone)

## Site Plan

On September 11, 2000, Council approved the original site plan (Attachment #2, File DA.00.056) to permit a 2,580m<sup>2</sup> motor vehicles sales and service establishment (BMW), with 82 customer and employee parking spaces and 82 spaces for car sales storage. On November 3, 2003, the Planning Department approved a simple revision to the approved site plan to permit a 211.56m<sup>2</sup> addition to the east side of the existing BMW Dealership, of which the addition was never constructed.

The applicant proposes two additions (Attachment #3) to the existing building: a single storey, 187.5m<sup>2</sup> addition on the northeast corner and a two storey, 1,735.3m<sup>2</sup> addition to the southwest corner, which represents a 1922.8m<sup>2</sup> increase in GFA, from 2580.35m<sup>2</sup> to 4503.15m<sup>2</sup>. The proposal includes an outdoor car display area on the west side of the building; 89 above-ground and 48 underground parking spaces; the shifting of the southern access point on Auto Park Circle further south; and a 1353.9m<sup>2</sup> increase in landscaped area from 1441m<sup>2</sup> to 2794.9m<sup>2</sup>. Staff has reviewed the proposed site plan, and can support its approval. The final site plan shall be approved to the satisfaction of the Development Planning Department.

## Building Design

The proposed additions will utilize the same architectural style and building materials as the existing building, including white precast panels, black and gray alucobond panels, and gray-tinted glass windows. The proposed one-storey addition on the northeast corner of the building will be constructed to a height of 5.91m. It will be designed with a series of ground floor windows, one man-door on the north elevation, and two gray tempered glass overhead doors on the east facade.

The two-storey addition on the southwest corner will be constructed to a height of 7.91m. The primary facade is located on the west elevation facing Auto Park Circle. The double door entry is framed in gray panels with a black and white sign box above, surrounded by gray-tinted ground floor windows that continue onto the south elevation. Three of five man-doors, and three of four overhead doors, are located on the east elevation, with the remaining doors on the west facade. Staff are satisfied with the design of the proposed additions. The final elevation plan shall be approved to the satisfaction of the Development Planning Department.

## Landscaping

The periphery of the site is landscaped with a variety of coniferous and deciduous trees and shrubs. Additional planting is proposed within the 9m landscape strip abutting Weston Road and Highway #407, and along the southerly and westerly property lines. A paved walkway is located adjacent to the west side of the existing building and proposed addition. The walkway connects to the existing and proposed entries and the outdoor car display areas located on the west side of

the building. The final landscape plan shall be approved to the satisfaction of the Development Planning Department.

#### Services and Utilities

The final site servicing and grading plan and storm water management report shall be approved to the satisfaction of the Engineering Department and all hydro requirements of Power Stream Inc. shall be satisfied.

#### Parking

By-law 1-88 requires parking to be provided on the basis of the following:

Motor Vehicle Sales Establishment:  $4,503.15\text{m}^2 \times 3 \text{ spaces}/100 \text{ m}^2 \text{ GFA} = 136 \text{ spaces}$

The site plan proposes 171 above-ground and 48 underground parking spaces, and 84 car storage spaces. The existing and proposed development meets the minimum parking requirements, with a surplus of 83 parking spaces (excluding car storage spaces).

#### Ministry of Transportation

The easterly property limits of the subject lands abut Highway #407, and the Ministry of Transportation may request to be a party to the site development agreement, with conditions of approval to be included in the agreement. As a condition of site plan approval, all requirements of the Ministry of Transportation shall be satisfied.

#### **Relationship to Vaughan Vision 2007**

This report is consistent with Vaughan Vision 2007, particularly priority "A-5", "Plan and Manage Growth".

#### **Conclusion**

Staff has reviewed the proposed amendments to the approved site plan in accordance with the policies of OPA #450 and the requirements of By-law 1-88, and the area context. Staff is satisfied that the proposed additions to an existing BMW automobile dealership, including a new MINI BMW component, are appropriate and compatible with the surrounding automobile dealerships within the Pine Valley Business Park auto campus. Accordingly, Staff can support the proposed amendments to the approved site development agreement, subject to the conditions contained in this report.

#### **Attachments**

1. Location Map
2. Approved Site Plan (November 3, 2003)
3. Revised Site Plan
4. Revised Elevation Plan
5. Revised Landscape Plan

#### **Report prepared by:**

Christina Napoli, Planner I, ext. 8483  
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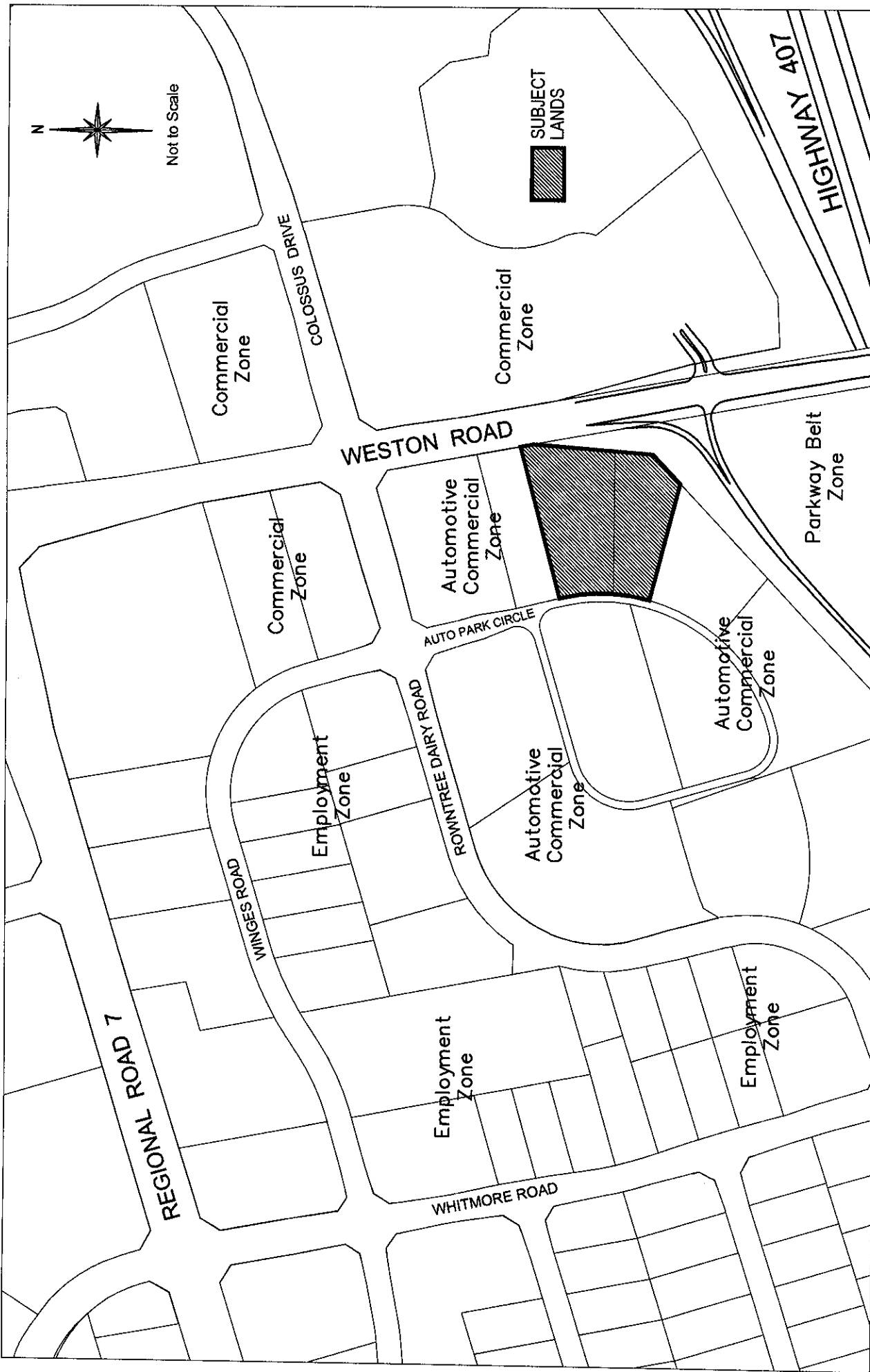
Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

MARCO RAMUNNO  
Director of Development Planning

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**Location Map**

Part of Lot 4,  
Concession 6  
 APPLICANT:  
 1396461 ONTARIO LIMITED  
NA:\DT\1\_ATTACHMENTS\DA\04.04.001



Development Planning Department

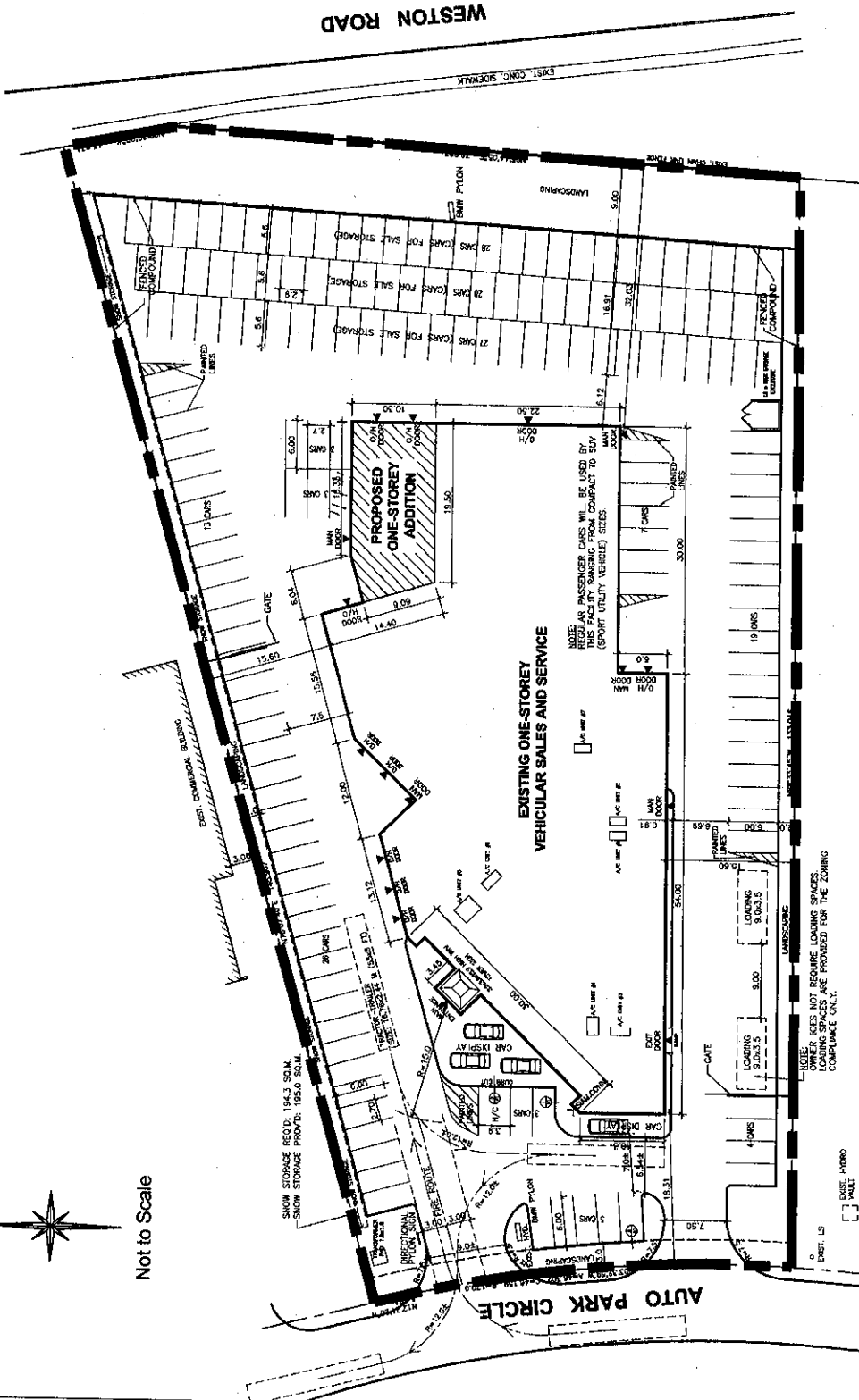
**Attachment**



FILE No.:  
 DA.04.001  
 RELATED FILE:  
 DA.00.056  
 May 17, 2005



Not to Scale



WESTON ROAD

**SITE STATISTICS**

ZONING	AC
LOT AREA	9,713.0 sq.m. (0.97 ha)
EXISTING BLDG. COVERAGE	2,580.2 sq.m. (22.2%)
NEW BUILDING COVERAGE	2,581.5 sq.m. (26.4%)
EXISTING BUILDING G.F.A.	
GROUND FLOOR:	2,580.20 sq.m.
MEZZANINE:	230.15 sq.m.
TOTAL G.F.A.	2,810.35 sq.m.
NEW BUILDING G.F.A.	
(ADDITION - 21.58 sq.m.)	2,561.78 sq.m.
NEW GROUND FLOOR:	230.15 sq.m.
EX. MEZZANINE:	230.15 sq.m.
TOTAL G.F.A.	2,791.97 sq.m.
SETBACKS REQUIRED:	
FRONT	9.0 m
REAR	6.0 m
LEFT	22.0 m
RIGHT	18.31 m
SETBACKS PROVIDED:	
FRONT	15.80 m
NORTH SIDE	15.80 m
SOUTH SIDE	15.80 m
REAR	32.08 m
PARKING PROVIDED (TOTAL)	78 SPACES
EXISTING PARKING PROVIDED:	88 SPACES
PROPOSED PARKING PROVIDED:	72 SPACES
H/C PARKING REQ'D:	1 SPACE
H/C PARKING PROVIDED:	1 SPACE
LOADING REQUIRED:	2 SPACES
LOADING PROVIDED:	2 SPACES
LANDSCAPING REQ'D:	10% of SITE AREA
LANDSCAPING PROVIDED:	1,441.0 sq.m. (14.9%)
PAVING PROVIDED:	5,710.2 sq.m. (58.7%)

--- SUBJECT LANDS

**Approved Site Plan  
(November 3 / 03)**

APPLICANT:  
1398461 ONTARIO LIMITED  
Part of Lot 4,  
Concession 6



Development Planning Department

**Attachment**

FILE No.:  
DA.04.001  
RELATED FILE:  
DA.00.056

May 17, 2005

**2**



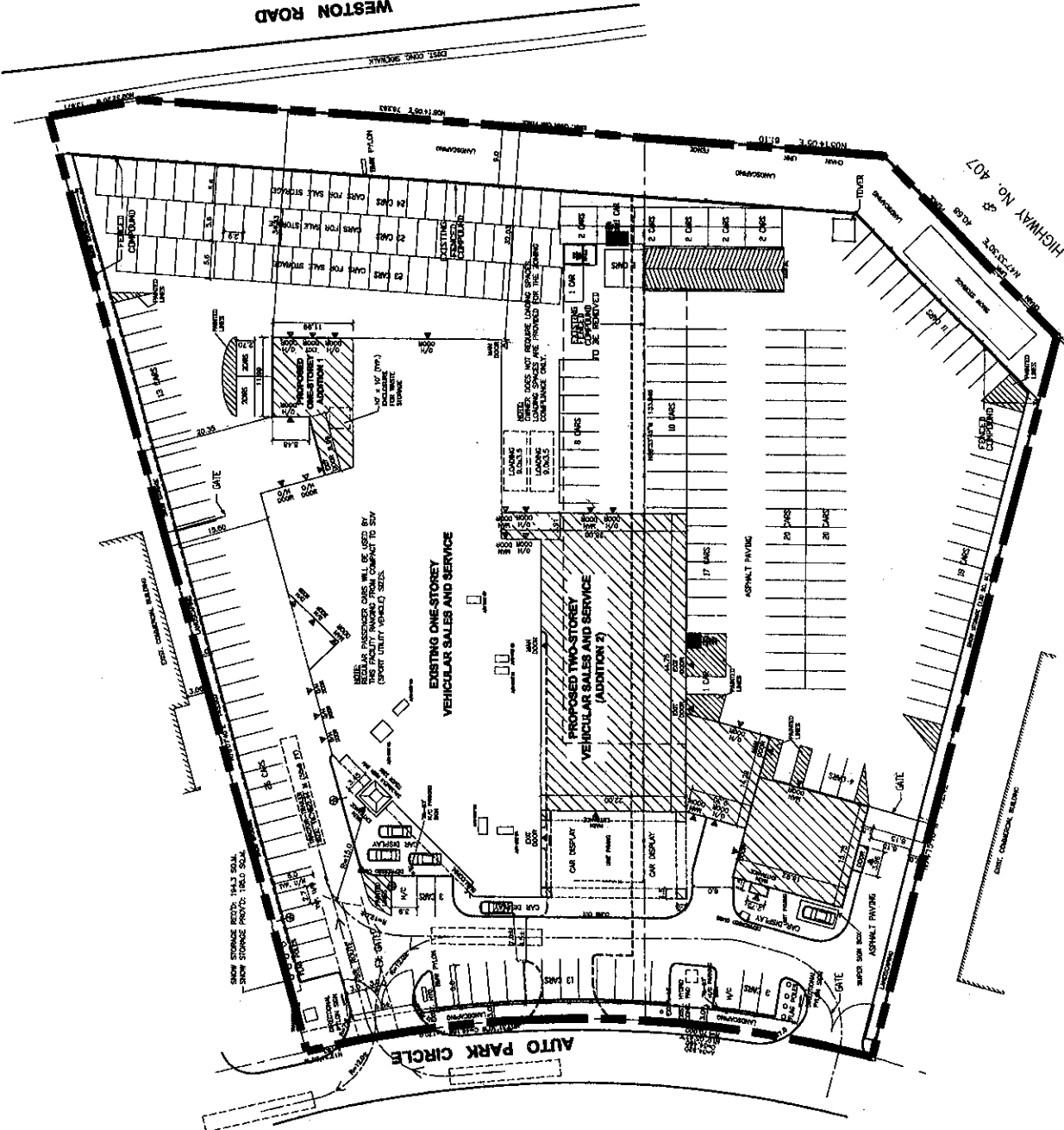
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SUBJECT LANDS

WESTON ROAD

AUTO PARK CIRCLE

HIGHWAY No. 407



# Revised Site Plan

Part of Lot 4,  
Concession 6

APPLICANT:  
1396461 ONTARIO LIMITED

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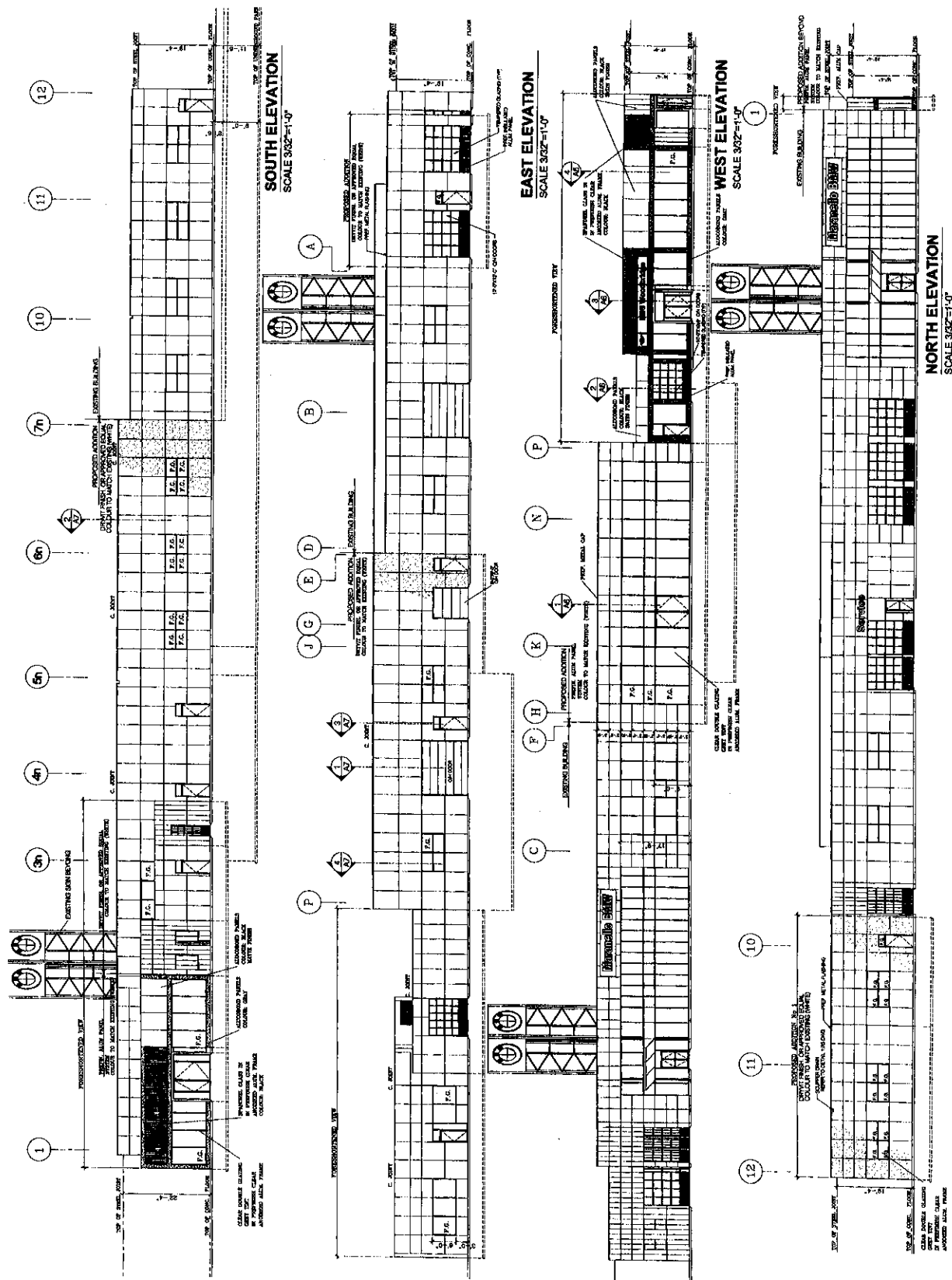


Development Planning Department

# Attachment

# 3

FILE No.:  
DA.04.001  
RELATED FILE:  
DA.00.056  
May 17, 2005



# Revised Elevation Plan

Part of Lot 4,  
Concession 6

APPLICANT:  
1396461 ONTARIO LIMITED

NA\DT\1 ATTACHMENTS\DA\04-04-001



Development Planning Department

# Attachment 4

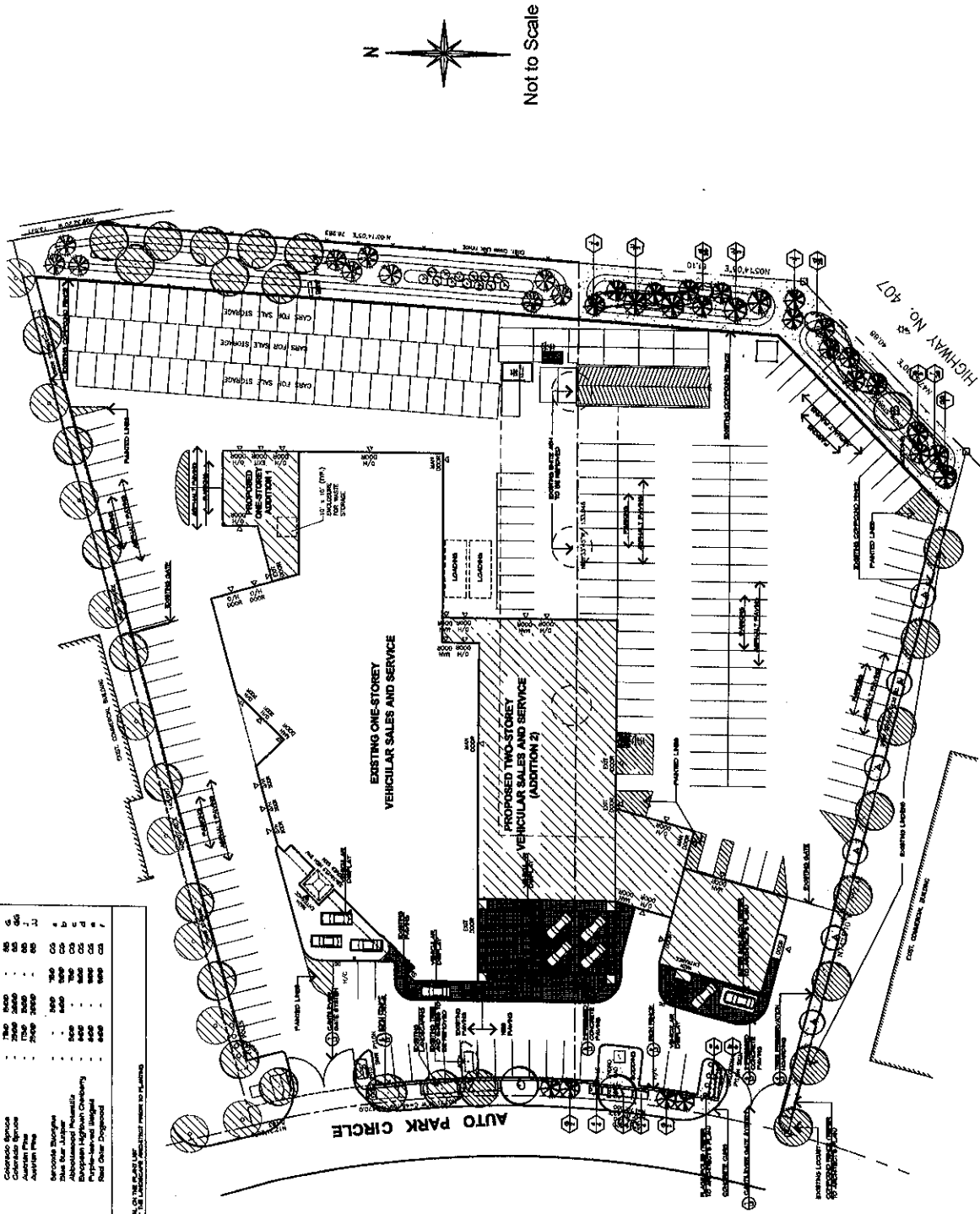
FILE No.:  
DA.04.001  
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May 17, 2005



**PLANT LIST**

SYMBOL	SYMBOL NAME	COMMON NAME	COL. HGT.	SPREAD	RANGE	COL. INT.
A	Tree (Mature)	Calluna Norway Spruce	30	4000	500	50
B	Tree (Mature)	White Pine	30	4000	500	50
C	Tree (Mature)	Redwood	30	4000	500	50
D	Tree (Mature)	Redwood	30	4000	500	50
E	Tree (Mature)	Redwood	30	4000	500	50
F	Tree (Mature)	Redwood	30	4000	500	50
G	Tree (Mature)	Redwood	30	4000	500	50
H	Tree (Mature)	Redwood	30	4000	500	50
I	Tree (Mature)	Redwood	30	4000	500	50
J	Tree (Mature)	Redwood	30	4000	500	50
K	Tree (Mature)	Redwood	30	4000	500	50
L	Tree (Mature)	Redwood	30	4000	500	50
M	Tree (Mature)	Redwood	30	4000	500	50
N	Tree (Mature)	Redwood	30	4000	500	50
O	Tree (Mature)	Redwood	30	4000	500	50
P	Tree (Mature)	Redwood	30	4000	500	50
Q	Tree (Mature)	Redwood	30	4000	500	50
R	Tree (Mature)	Redwood	30	4000	500	50
S	Tree (Mature)	Redwood	30	4000	500	50
T	Tree (Mature)	Redwood	30	4000	500	50
U	Tree (Mature)	Redwood	30	4000	500	50
V	Tree (Mature)	Redwood	30	4000	500	50
W	Tree (Mature)	Redwood	30	4000	500	50
X	Tree (Mature)	Redwood	30	4000	500	50
Y	Tree (Mature)	Redwood	30	4000	500	50
Z	Tree (Mature)	Redwood	30	4000	500	50

NOTE: ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED. THE DISTANCE BETWEEN TREES IS TO BE MAINTAINED AT ALL TIMES. THE DISTANCE BETWEEN TREES IS TO BE MAINTAINED AT ALL TIMES.



**Revised Landscape Plan**

Part of Lot 4,  
Concession 6  
APPLICANT:  
1396461 ONTARIO LIMITED  
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Development Planning Department

**Attachment 5**  
FILE No.: DA.04.001  
RELATED FILE: DA.00.056  
May 17, 2005