

## **COMMITTEE OF THE WHOLE – NOVEMBER 7, 2005**

### **SIGN VARIANCE APPLICATION**

**FILE NO: SV.05-25**  
**OWNER: THE MILESTONE GROUP**  
**LOCATION: 2300 STEELES AVENUE WEST**  
**LOT 1 CONCESSION 4**

### **Recommendation**

That Sign Variance Application SV.05-25, The Milestone Group, be APPROVED, as proposed.

### **Economic Impact**

None.

### **Purpose**

Request to install 2 single faced logo box signs on the upper fascia, roof level, of the building each having an area of 3 sq m as shown on the attached drawings.

### **Background- Analysis and Options**

#### **By-Law Requirements (203-92, as amended)**

- 6.2 (a) Where a site plan approved by the City provides standards for signage and the signs for the development comply therewith, such signs shall be deemed to comply with this By-Law.
- 6.6 (a) No wall sign shall extend above the top of the roof surface.
- 6.6 (f) Wall signs shall only be located at the storey having direct access to a street, except that where a premises occupies all stories in a multi-storey building the wall sign may be erected on the next storey immediately above the storey having direct access to the street.

### **Relationship to Vaughan Vision 2007**

This report is consistent with the priorities previously set by Council and the necessary resources have been allocated and approved.

### **Conclusion**

The applicant is proposing to install an additional wall sign onto the south and east elevation at roof level of the existing building as shown on the attached drawings. Committee members had no objections to the application as proposed and are of the opinion that the general intent and purpose of the by-law is being maintained.

Upon approval of the sign variance by Council, a Sign Permit is required to be issued by the Building Standards Department.

### **Attachments**

1. Site Plan
1. Sketch of Sign

**Report prepared by:**

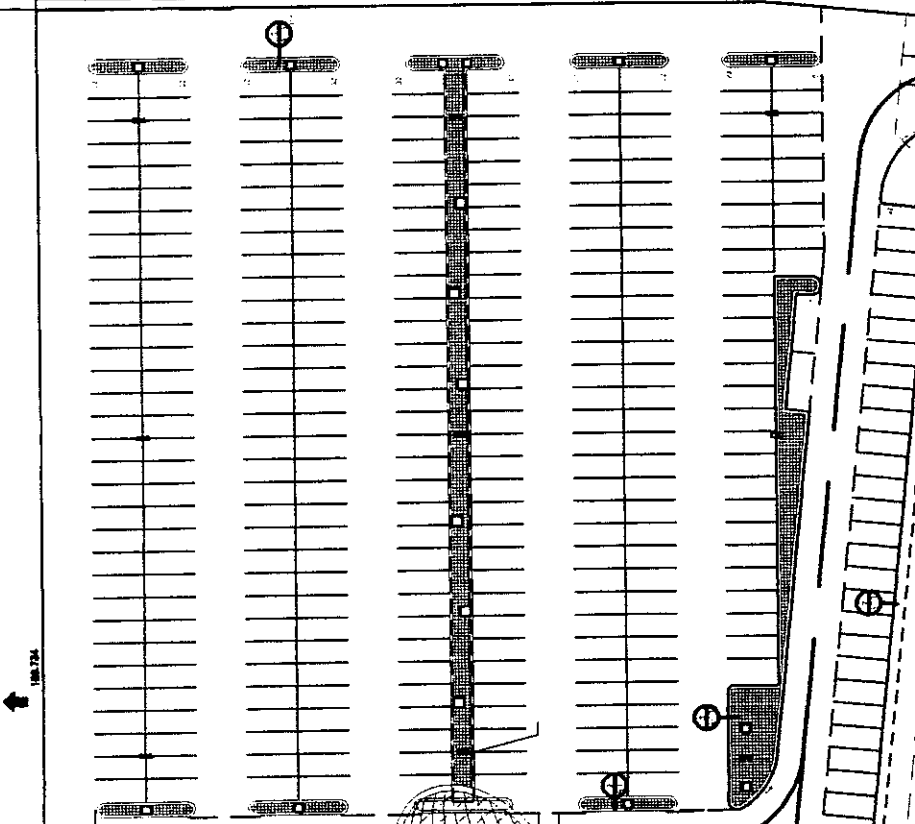
John Studdy, Manager of Customer & Administrative Services  
Respectfully submitted,

John Studdy  
Chair, Sign Variance Committee

/as

PART 3, EXPRO. PLAN 11155

FUTURE DEVELOPMENT



OFFICE BUILDING  
PROPOSED 4 STOREY  
OFFICE BUILDING

ENTER PASS

PART

KEELE ST

STEELES AVE.

Proposed TD Logo Signs  
on Over Building Fascia

EDGE OF

ASPHALT

EDGE OF GRAVEL

CENTRELINE OF BITUM

ASPHALT DRIVEWAY

EDGE OF GRAVEL

CONC SIDE

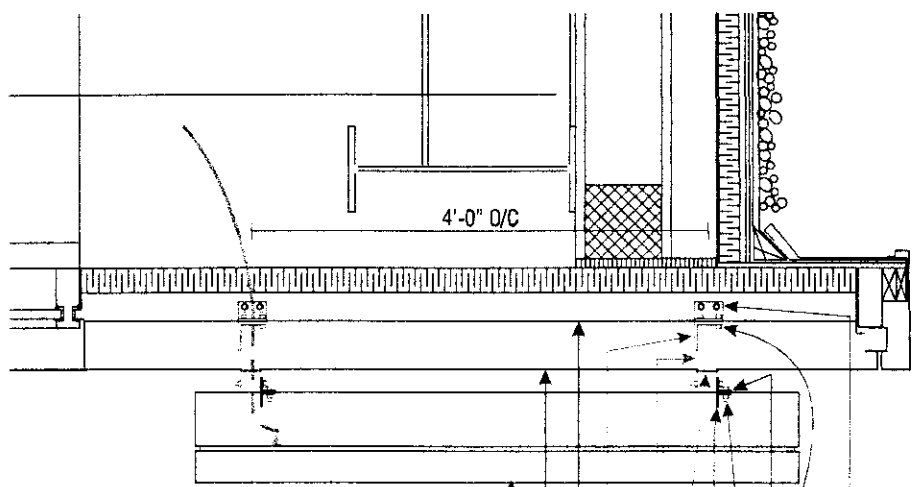
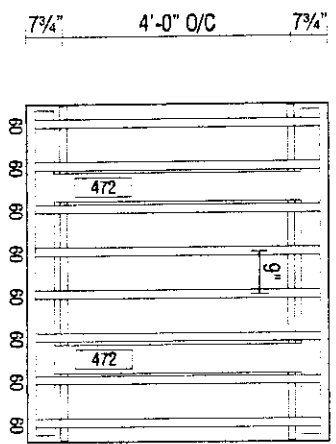
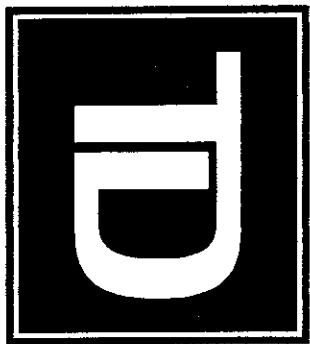
TOP OF CURB

SEE PLAN 11155 FOR  
DETAILED INFORMATION

CONC GUTTER CURB

CENTRELINE OF ROAD

1 3



3\"/>

- 2\"/>
- 3/8\"/>
- 1 1/2\"/>
- 3/8\"/>
- 1 1/2\"/>
- Silicone seal by others
- 2\"/>
- 3\"/>
- Existing window mullion
- Existing curtain wall
- S/F Illuminated TD Shield

**Note:** See page 5 for Scope of Work

Technical Inquiry from Barbara  
Lappert on 11/17/05

Client	TD Canada Trust
Address	2300 Steeles Avenue West Vaughan, ON
Dwg No.	14225
Designer	FB
Sales	Steve O'Brien

Date	December 14, 2004
Rev.	January 17, 2005
Rev.	

<input checked="" type="checkbox"/> CONCEPTUAL <small>NOT FOR CONSTRUCTION</small>	<input type="checkbox"/> SHOP READY <small>CONSTRUCTION DRAWING</small>
Scale: 3/8" = 1'-0"	Page: 4 of

www.zipsigns.com  
5040 North Service Rd. Burlington, ON  
Ph. 905-332-8332 Fax 905-332-9994

**Signs 1 & 3**  
Supply 2 new exterior s/f illuminated displ.

- Graphics / Substrate**  
Write & Light Green VQ10018 vinyl graph  
Apply vinyl to 1st surface  
White 3M Panaflex 945 vinyl faces
- Illumination**  
H/O daylight fluorescent lamps @ 9\"/>

- Construction**  
Signpro SR2520 flex face retainers c/w 1 1/2\"/>
- Signpro 680 single fillers  
24ga pre-coat white metal backs  
2 - 1 1/2\"/>
- All exterior exposed metal painted Dark Gr  
PMS 5535. Interior painted White

- Notes**
- 1) All fasteners to be stainless steel
  - 2) Provide weep holes @ 48\"/>

- Light Green VQ10018 Vinyl
- White Vinyl Flex Face
- Dark Green PMS 5535

