

COMMITTEE OF THE WHOLE DECEMBER 5, 2005

SITE DEVELOPMENT FILE DA.05.032
LANDUCON DEVELOPMENT (2004) LIMITED

The Commissioner of Planning recommends:

THAT the building elevations for Site Development File DA.05.032 (Landucon Development (2004) Limited) BE APPROVED.

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted an application to permit a 4,568.16m² single-storey, multi-unit industrial building on a 1.21 ha lot, as shown on Attachment #2.

Background - Analysis and Options

The subject lands shown on Attachment #1, are located on the west side of Keele Street, south of Rutherford Road, in Part of Lot 13, Concession 4, City of Vaughan.

The subject lands are designated "Prestige Area" by OPA #450 (Employment Area Plan) and zoned EM1 Prestige Employment Area Zone by By-law 1-88. The proposed site development conforms and complies with the Official Plan and Zoning By-law, respectively.

The U-shaped building will be constructed to a height of 6.7m, with the height increasing to 8.83m at the dominant corners (northeast and southeast) of the building facing Keele Street as shown on Attachment #3a. The building materials on the north, east and south elevations, consist of light grey precast concrete panels with two 1.6m wide white coloured precast panel bands that wrap around the building for architectural detail. Blue double-glazed windows are evenly spaced along the lower and middle portions of the building. Each of the 25 units will have an entry door, and a sign box located above.

The westerly and the interior courtyard elevations consist of light grey insulated pre-cast panels. There are 26 man-doors and 21 overhead doors located within the interior courtyard as shown on Attachment #3b. The roof-top mechanical equipment will be screened from the view of streets.

Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Conclusion

The Development Planning Department is satisfied with the proposed elevations for the multi-unit industrial building.

Attachments

1. Location Map
2. Site Plan
- 3a. Elevation Plan (North, South, East, West)
- 3b. Elevation Plan (Interior courtyard)

Report prepared by:

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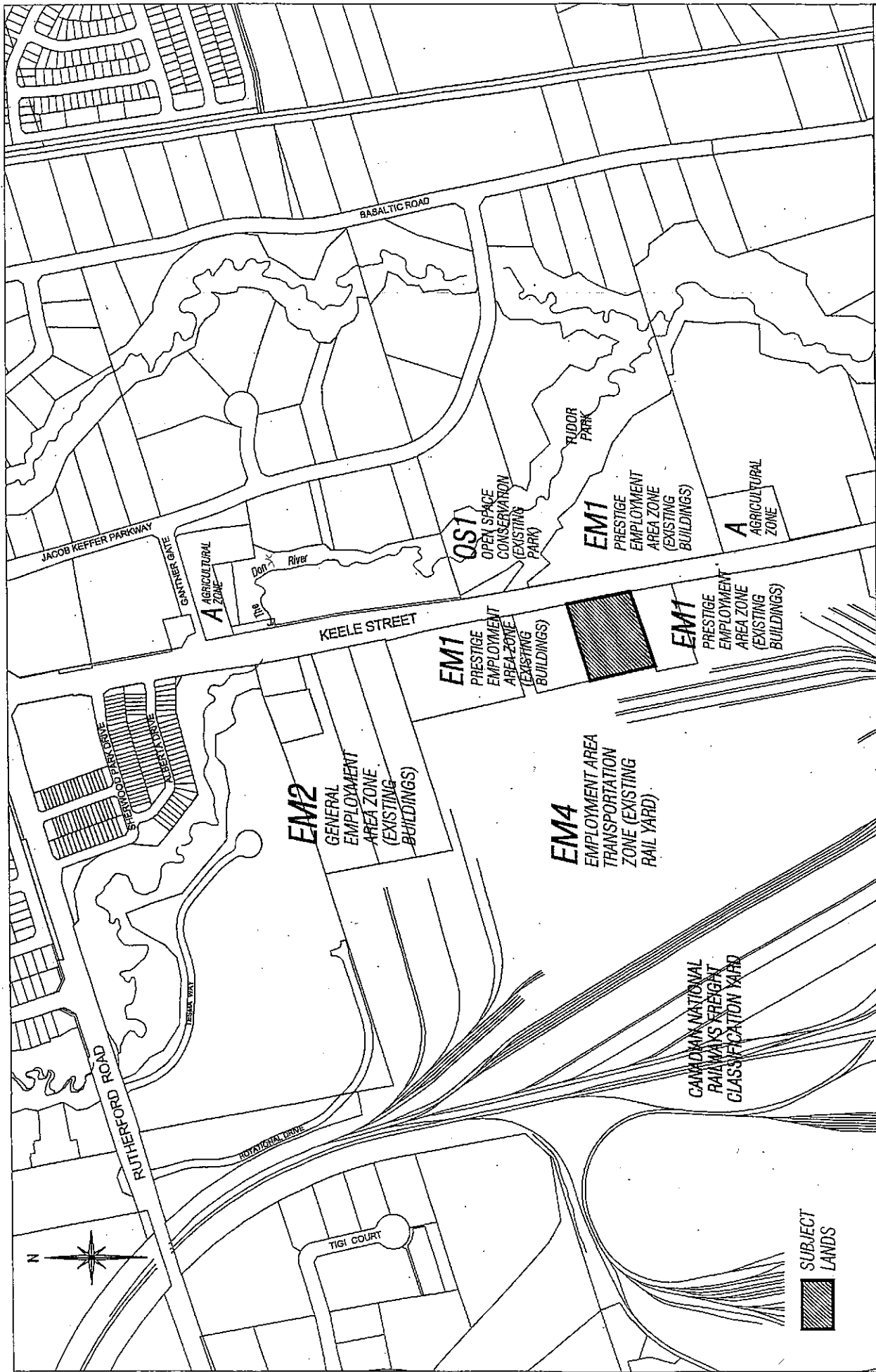
Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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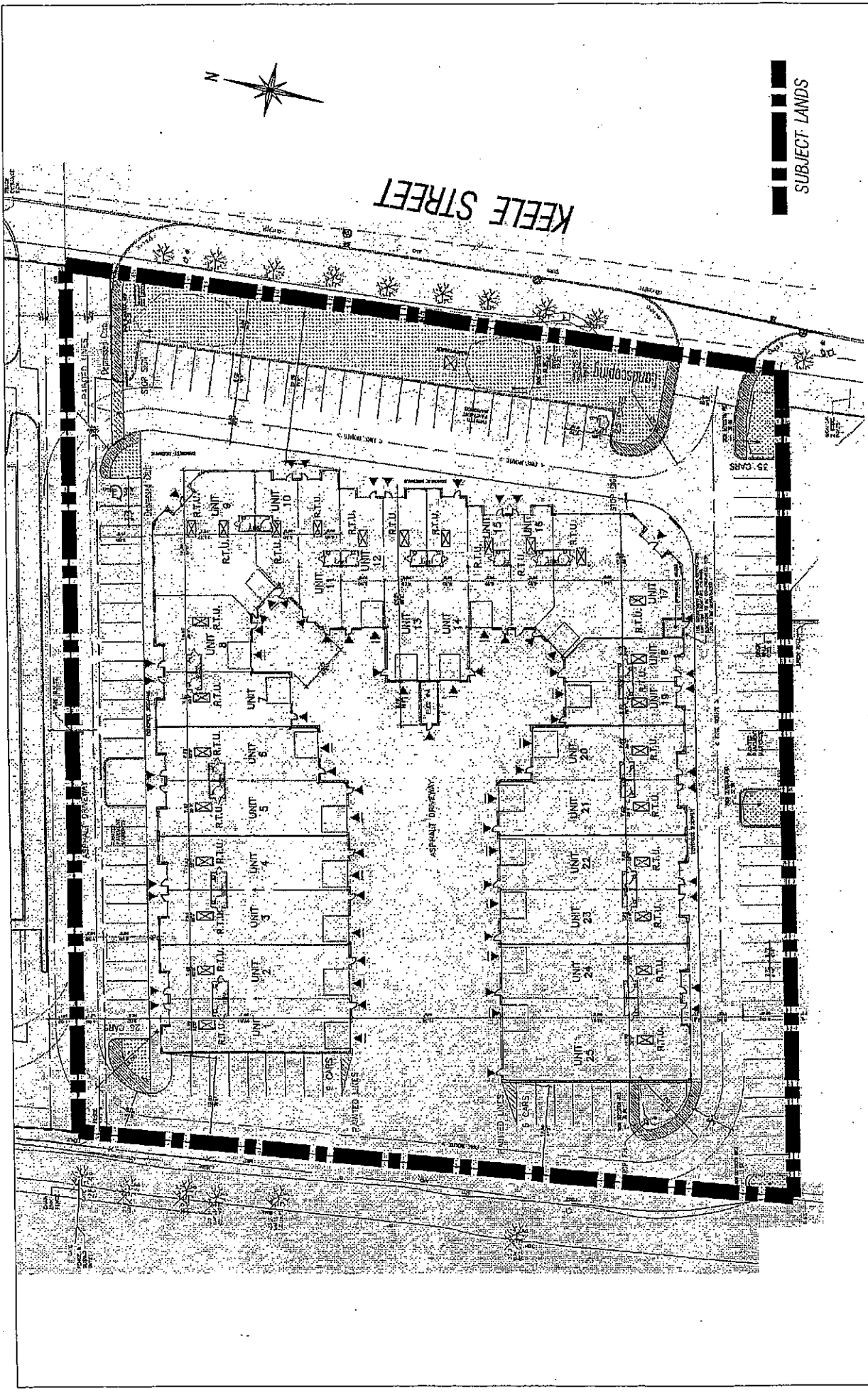


City of **Vaughan**

Development Planning Department

Location Map

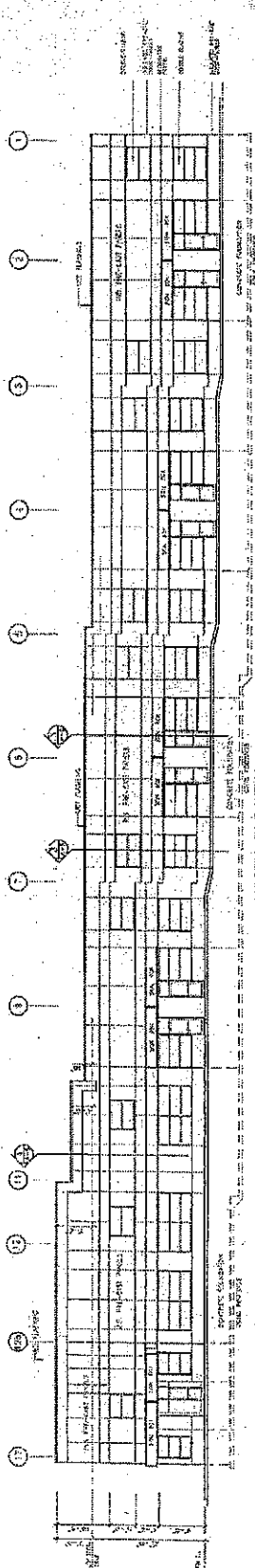
Part of Lot 13, Concession 4
 APPLICANT: LANDUCON DEVELOPMENT (2004) LIMITED
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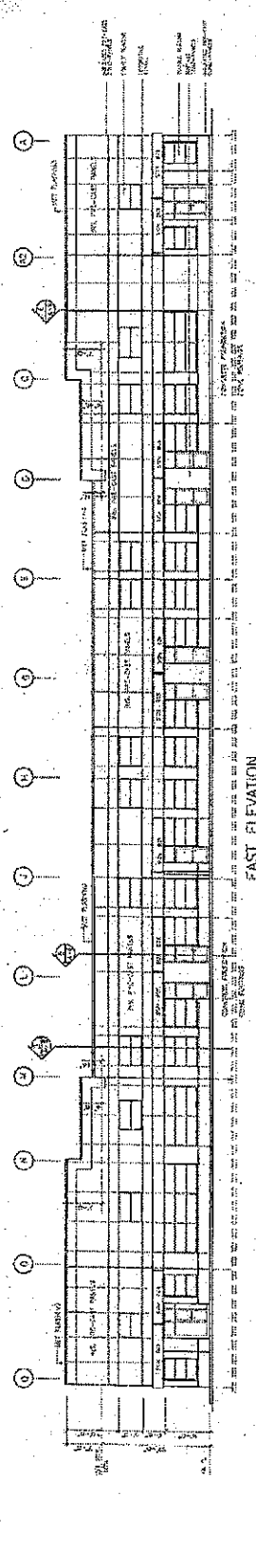
Attachment 2
 FILE No.: DA.05.032
 Not to Scale
 June 14, 2005

City of **Vaughan**
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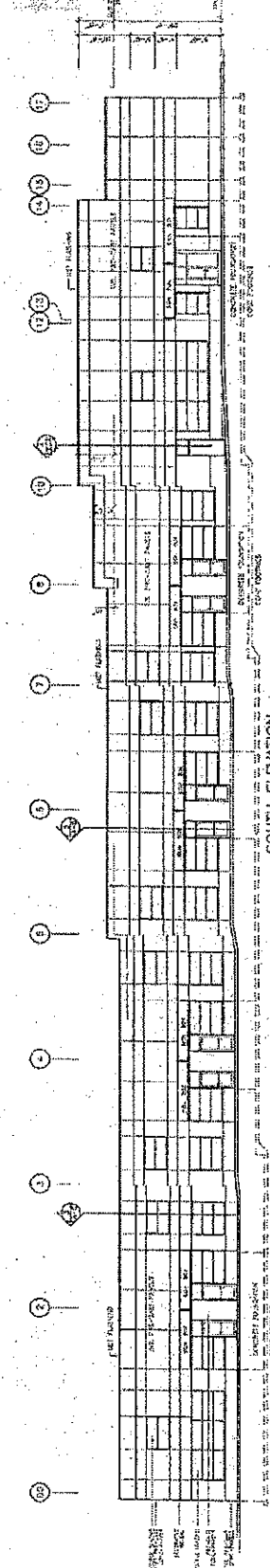
Site Plan
 Part of Lot 13,
 Concession 4
 APPLICANT:
 LANDUCON DEVELOPMENT (2004) LIMITED
 NS/VFTA ATTACHMENTS/VA/04.05.032



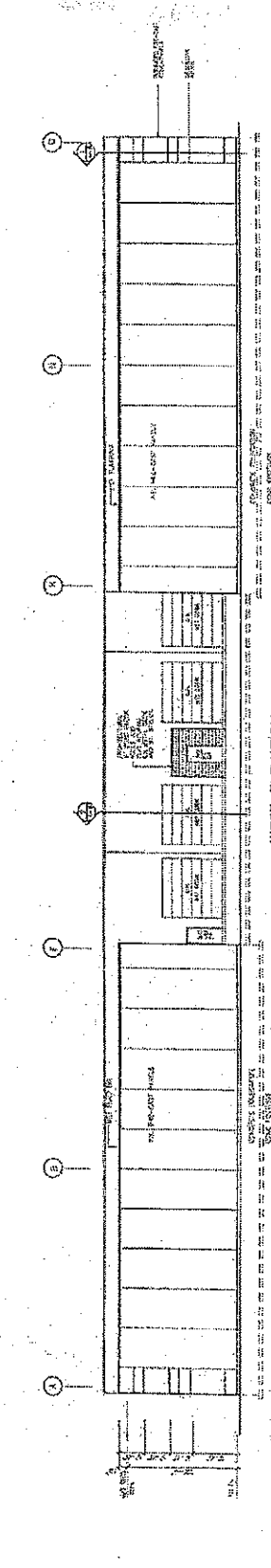
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

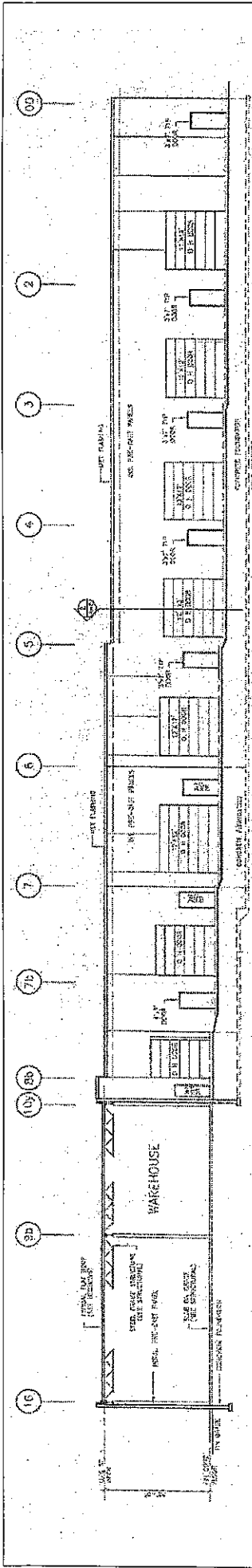
North, South, East & West Elevations

APPLICANT:
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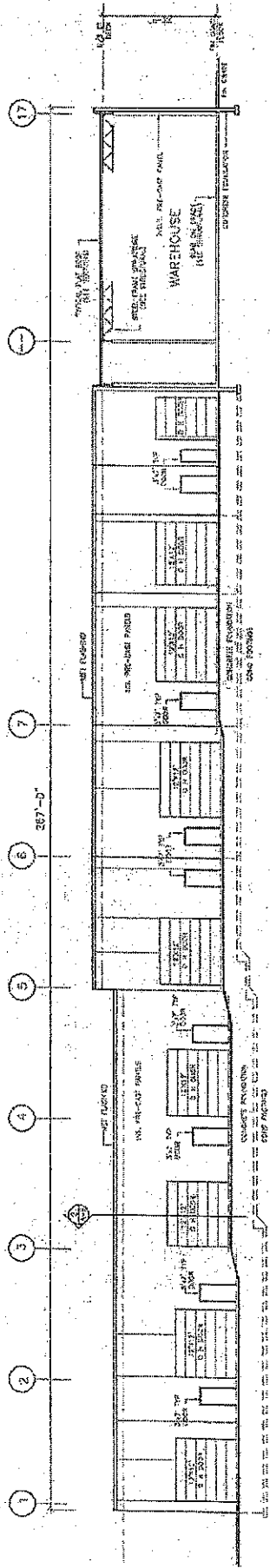


Development Planning Department

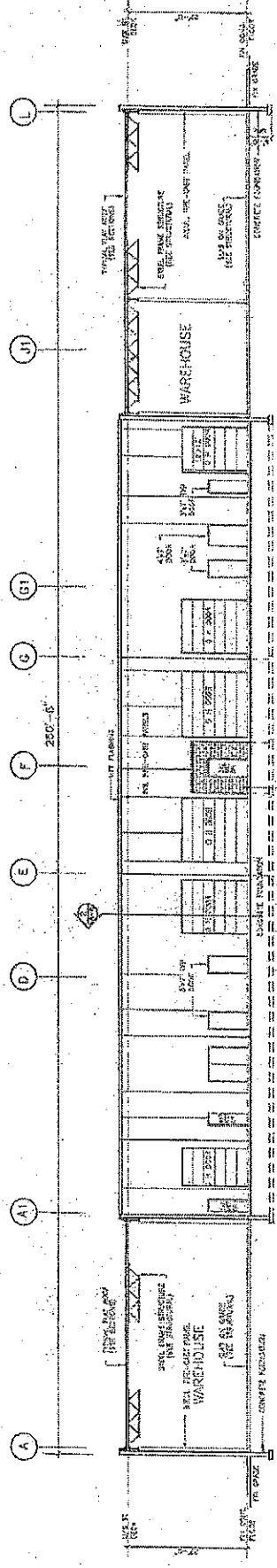
Attachment 3a
FILE No.: DA.05.032
Not to Scale
November 14, 2005



REAR INTERIOR SOUTH ELEVATION



REAR INTERIOR NORTH ELEVATION



REAR INTERIOR EAST ELEVATION

Elevations - Interior Courtyard

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Part of Lot 13,
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Development Planning Department

Attachment
3b

FILE No.:
DA.05.032

Not to Scale

November 14, 2005