

COMMITTEE OF THE WHOLE DECEMBER 5, 2005

**SITE DEVELOPMENT FILE DA.05.024
1609985 AND 1609986 ONTARIO LIMITED**

Recommendation

The Commissioner of Planning recommends:

THAT Site Development File DA.05.024 (1609985 and 1609986 Ontario Limited) BE APPROVED, to permit 10 residential blocks, comprised of 57 townhouse units, as shown on Attachment #2, subject to the following conditions:

- a) that prior to the registration of the site development agreement:
 - i) the final site plan, elevation plan and landscape plan, shall be approved by the Development Planning Department;
 - ii) the final site servicing and grading plans, stormwater management report, and on-site vehicular circulation shall be approved by the Engineering Department;
 - iii) all required road widenings and access onto Regional Road #7 shall be approved to the satisfaction of the Region of York Transportation and Works Department;
 - iv) all hydro requirements of PowerStream Inc. shall be satisfied;
 - v) the approved Plan of Subdivision 19T-04V14 shall be registered;
 - vi) the subject lands shall be appropriately zoned; and,
- b) that the site development agreement contain the following provisions:
 - i) snow removal and garbage pick-up shall be privately administered and the responsibility of the condominium corporation; and,
 - ii) the Owner shall agree to obtain and provide the necessary easements (vehicular, pedestrian, maintenance, etc.) to the satisfaction of the City.

Economic Impact

There are no requirements for new funding associated with this report. The proposed development will add new assessment to the local tax base.

Purpose

The Owner has submitted a Site Development Application to develop a 1.14ha parcel of land with 10 residential townhouse blocks comprised of 57 units, served by a private condominium road as shown on Attachment #2. A total of 128 parking spaces are proposed for the development, including 2 spaces for each townhouse unit and 14 visitor parking spaces.

Background - Analysis and Options

The subject lands shown on Attachment #1 are currently comprised of an assembly of 3 separate residential lots and are located on the south side of Regional Road #7, east of Bruce Street, being Lots 38, 39 and 40 on Registrar's Complied Plan 9831 (4785, 4795 and 4803 Regional Road #7), in Lot 5, Concession 7, City of Vaughan. The related draft plan of subdivision 19T-

04V14 was approved by Council on June 27, 2005, and will facilitate the site development application by assembling the lots into a single parcel under one 65M-Plan allowing the eventual creation of individual freehold townhouse units through Part Lot Control. The surrounding land uses are:

- North - Regional Road #7; detached residential (R2 and R4 Residential Zones)
- South - Woodbridge College High School (A Agricultural Zone)
- East - proposed townhouse development (United Capital Inv. Ltd - DA.04.080; RM2 Multiple Residential Zone)
- West - vacant residential lot, detached residential (R1 Residential Zone)

Official Plan

The subject lands are designated "Medium Density Residential" by OPA #240 (Woodbridge Community Plan) as amended by site-specific OPA #623, which permits the proposed residential townhouse development. The proposal conforms to the Official Plan.

Zoning

The subject lands are zoned R1 Residential Zone by By-law 1-88. Council, on January 24, 2005, approved the related Zoning By-law Amendment Application Z.04.053 to rezone the subject lands from R1 Residential Zone to RM2 Multiple Residential Zone to implement the site-specific OPA #623.

The implementing site-specific zoning by-law will be enacted upon Council's approval of the site development application, to ensure that all required exceptions to facilitate the proposed residential development are addressed. To date, the following zoning exceptions are required to implement the proposed site plan:

- a minimum front yard of 3m, whereas 4.5m is required;
- a minimum parking space size of 2.1m x 6m for the two parallel visitor parking spaces located directly south of Block 3 on Attachment #2, whereas 2.7m x 6m is required;
- a maximum site driveway access width along Regional Road #7 of 9m, whereas 7.5m is permitted; and
- any other exceptions required to facilitate the site plan shall be included in the implementing zoning by-law, if approved.

A condition is included in the recommendation section requiring that the lands be appropriately zoned.

Site Design

The subject lands are currently comprised of three properties, all under a Registrar's Compiled Plan. On June 27, 2005, Council approved Draft Plan of Subdivision File 19T-04V14 to facilitate the merging of the lots into one registered plan to allow the residential block to be developed through the site development process and with the individual freehold lots to be created through Part Lot Control. The common element areas, including the amenity areas, visitor parking areas and road will be created through the subsequent Draft Plan of Condominium process. Prior to the registration of the site plan agreement, the plan of subdivision must be registered.

The proposed site plan as shown on Attachment #2 includes a total of 57 freehold residential units to be serviced by a common element condominium road which connects to a larger comprehensive townhouse development to be developed by others as shown on Attachment #9. A majority of the units utilize a traditional design with front entrances and garages having access from the internal private road and with private rear yards, with the exception of the block abutting

Regional Road #7 where the main unit entrances and front yards face Regional Road #7 with the garages located at the rear of the dwelling accessed from the private internal road. Unlike the Stone Manor Development to the east, this proposal does not provide a central common amenity area and instead provides amenity area in the form of traditional rear yards similar to the immediate neighbour to the east, United Capital Investments (DeLuca Group).

The site will be served by a direct vehicular access point on Regional Road #7 as shown on Attachment #2. Pedestrian walkways will be provided within the subject development and will connect to the walkways in the adjacent townhouse developments. Easements are required to ensure appropriate vehicular, pedestrian and servicing connectivity for the subject lands with the adjacent lands to the east and west. The site development agreement will contain a clause requiring the Owner to obtain and provide the appropriate servicing easements and cross-easements with the adjacent lands.

Parking and Access

The proposed site plan provides 128 parking spaces, which includes 2 spaces for each dwelling unit and 14 visitor parking spaces. Based on the residential parking standards in By-law 1-88, the required parking for the development is calculated as follows:

$$57 \text{ units} \times 1.75 \text{ spaces/unit (Inc. 0.25 spaces/unit for visitor parking)} = 100 \text{ spaces}$$

The proposed parking supply exceeds the minimum requirement of By-law 1-88.

Block Elevations

The proposed typical building elevations are shown on Attachments #4 to #8, inclusive. A total of 10 residential blocks are proposed of which, 9 are comprised of 4 to 6 units each with a minimum width of 6m and one is comprised of 7 units. Seven different models are proposed for the 57 unit condominium project. The units will be constructed using a stone and brick combination as the predominant wall cladding material with elements of stucco, precast and masonry detailing. The use of large windows, architectural moulding and prefinished aluminium railings provide a greater level of interest to each residential block. A variation of traditional roof types are utilized including dormers and gables with the applicable roof pitches and the use of decorative columns and entablature detailing surrounding the rooflines.

The elevation of Block 10, along Regional Road #7 is comprised of 6 units and is enhanced by the use of large palladium and feature windows. The extensive use of glazing together with decorative block and stucco surrounds and boxed window elements results in an attractive streetscape along Regional Road #7. The rear elevations of Block 10 facing the internal private road incorporates both the garage and front entrance-like features and balconies, which provide a consistent appearance with the other dwellings in the development.

Architectural Guidelines have been prepared and approved for the subject lands and the adjacent lands to the east {Stone Manor Developments and United Capital Investments (DeLuca Group)}. The guidelines will ensure that a high quality product is provided to compliment the existing community. The final building elevations must be approved by the Development Planning Department, in accordance with the approved Architectural Guidelines.

Landscaping

The proposed landscape plan shown on Attachment #3 consists of an abundance of landscaping material comprised of a mixture of deciduous and coniferous trees, and ornamental trees and shrubbery. The landscape plan utilizes a typical street tree planting plan including a deciduous tree in front of each residential dwelling unit where possible and enhanced landscaping adjacent to all end units and flankage lots for appearance and privacy. The central east/west walkway

through the proposed development has been landscaped with additional landscape material creating a passive pedestrian area. The rear yard of each lot, although private have been treated with landscaping and each unit is separated by a 1.8m high privacy fence.

A master landscape plan has been submitted to fulfill a condition of subdivision approval, which will be utilized to ensure that landscaping is consistent throughout the comprehensive development plan area shown on Attachment #9, and specifically with the future developments to the east. A chain link fence with some landscape planting has been provided for the lots abutting the school yard. Additional landscape material in the form of coniferous trees should be placed along this lot line in order to provide an appropriate buffer from the school activities. The applicant is proposing an asphalt sidewalk for the central east/west walkway and sidewalks in front of Blocks 1 to 9. The visitor parking area adjacent to Block 9 includes a sidewalk located along the north edge of the parking area. The Development Planning Department recommends that this sidewalk be relocated between the parking stalls and the residential end unit of Block 9, to ensure pedestrian visibility and safety in this location. The final landscape plan and cost estimate must be approved to the satisfaction of the Development Planning Department.

Servicing

The Vaughan Engineering Department has reviewed the site plan and has indicated that the municipal services for this development must be in accordance with the approved Servicing Report and any subsequent plan and reports as amended for the Regional Road #7 and Helen Street comprehensive townhouse development. The Engineering Department has red-lined the site servicing and grading plans for revision.

The development is located within the Woodbridge Service Area, which is a natural tributary to the Islington Avenue Collector and within the servicing area of Pressure District 4 (PD4) of the York Water Supply System. On June 27, 2005, Council approved the draft plan of subdivision for this property and passed a resolution, which allocated sewage capacity for a total of 58 residential units. The final servicing and grading plans must be approved to the satisfaction of the Engineering Department.

All hydro requirements must be approved to the satisfaction of PowerStream Inc.

Snow removal and garbage pick-up at curb side will be privately administered and the responsibility of the condominium corporation.

The parkland dedication requirement under the Planning Act will be satisfied through cash-in lieu to be paid through the registration of the related subdivision agreement.

Region of York

The Owner is required to satisfy all requirements of the Region of York Transportation and Works Department, including access and any required road widenings on Regional Road #7.

Relationship to Vaughan Vision 2007

This staff report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Conclusion

The Development Planning Department has reviewed the proposed Site Development Application in accordance with the site-specific Official Plan and the comments provided by City Departments and external public agencies. The proposed development is consistent with the prescribed

policies of the Official Plan. The implementing site-specific zoning by-law will be enacted upon Council's approval of the site development application to ensure that all zoning exceptions required to facilitate the development are addressed. The development of the subject lands for townhouse units is consistent with the adjacent lands and is an appropriate development form for this site. The proposed building elevations and site plan layout are considered to be satisfactory, subject to the comments in this report. Accordingly, the Development Planning Department can support the approval of the Site Development Application, subject to the conditions in this report.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Typical Elevations - Blocks 1 and 2
5. Typical Elevations - Blocks 3 and 4
6. Typical Elevations - Blocks 5 and 6
7. Typical Elevations - Blocks 7 and 8
8. Typical Elevations - Blocks 9 and 10
9. Comprehensive Development Plan

Report prepared by:

Eugene Fera, Planner, ext. 8064
Mauro Peverini, Senior Planner, ext. 8407
Grant Uyeyama, Manager of Development Planning, ext. 8635

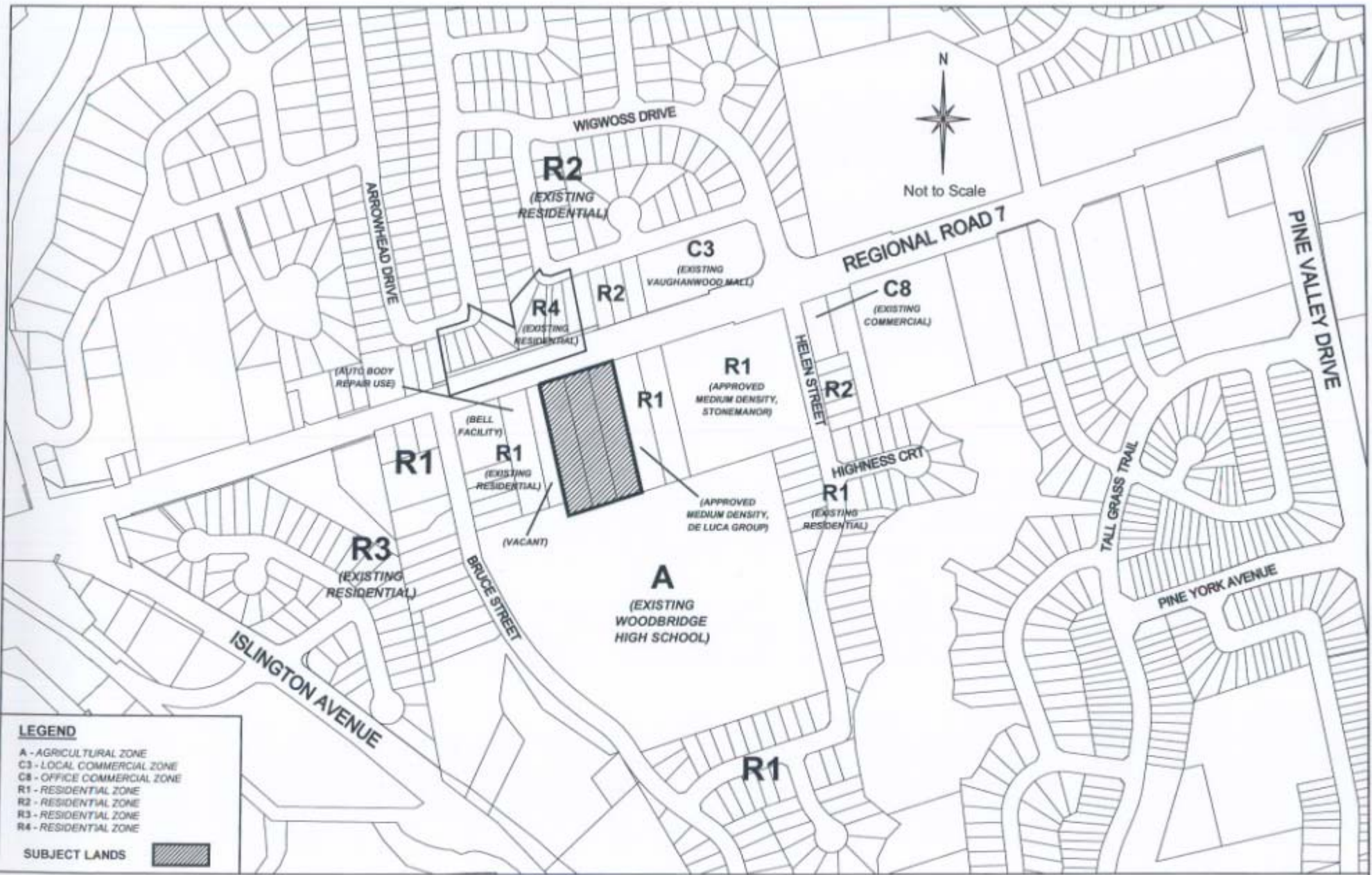
Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning


/CM

R:\SER\WORKING\FERAE\forestgreen77.CW.doc



LEGEND

A - AGRICULTURAL ZONE
 C3 - LOCAL COMMERCIAL ZONE
 C8 - OFFICE COMMERCIAL ZONE
 R1 - RESIDENTIAL ZONE
 R2 - RESIDENTIAL ZONE
 R3 - RESIDENTIAL ZONE
 R4 - RESIDENTIAL ZONE

SUBJECT LANDS 

Location Map

Part of Lot 5,
 Concession 7

APPLICANT:
 1609985 & 1609986 ONTARIO LTD.



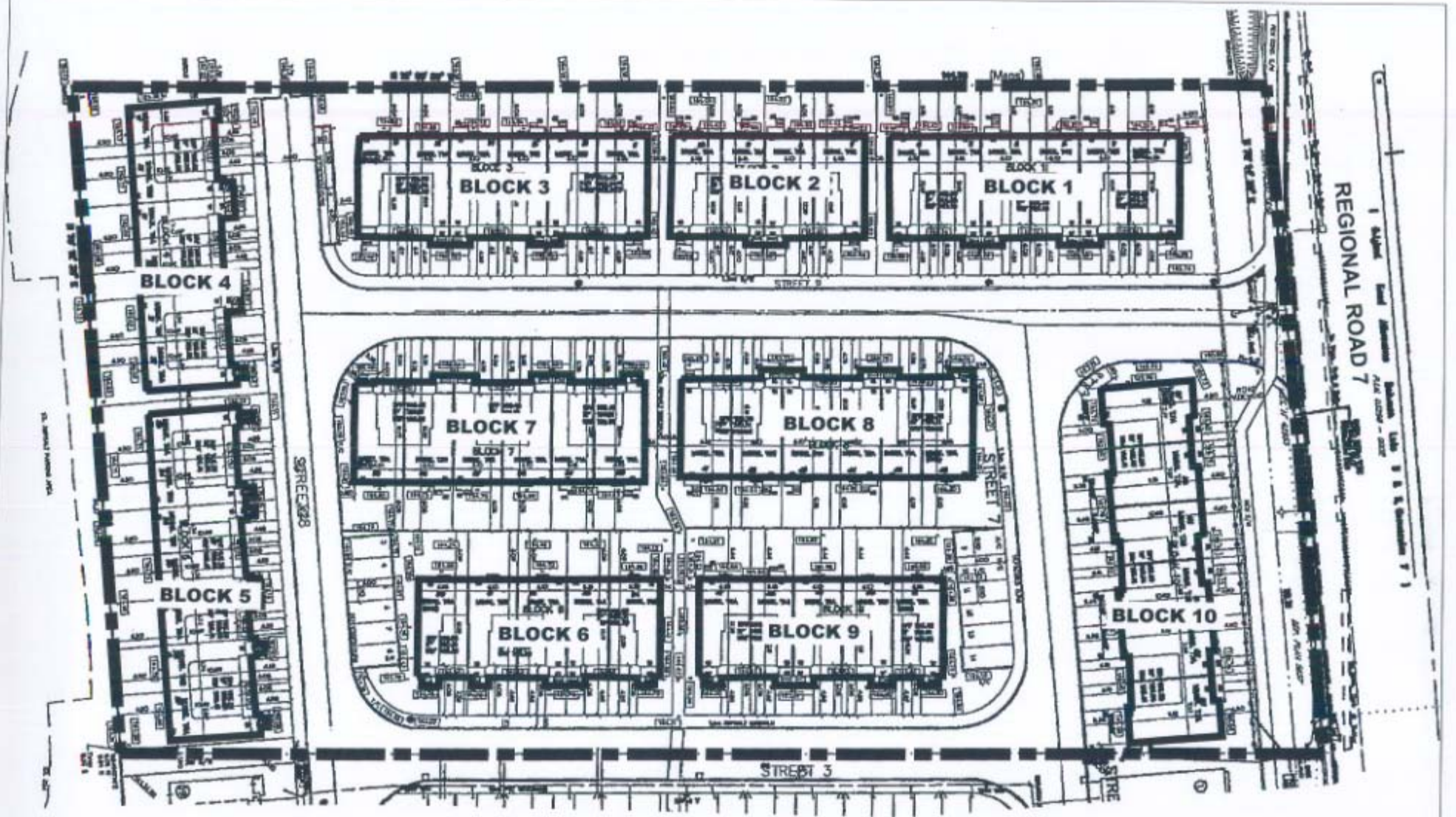
Development Planning Department

Attachment

FILE No.:
 DA.05.024
 RELATED FILES:
 OP.04.018, Z.04.053
 & 19T - 04V14
 November 14, 2005

1

N:\0175\1 ATTACHMENTS\DA\da.05.024



Site Plan

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.



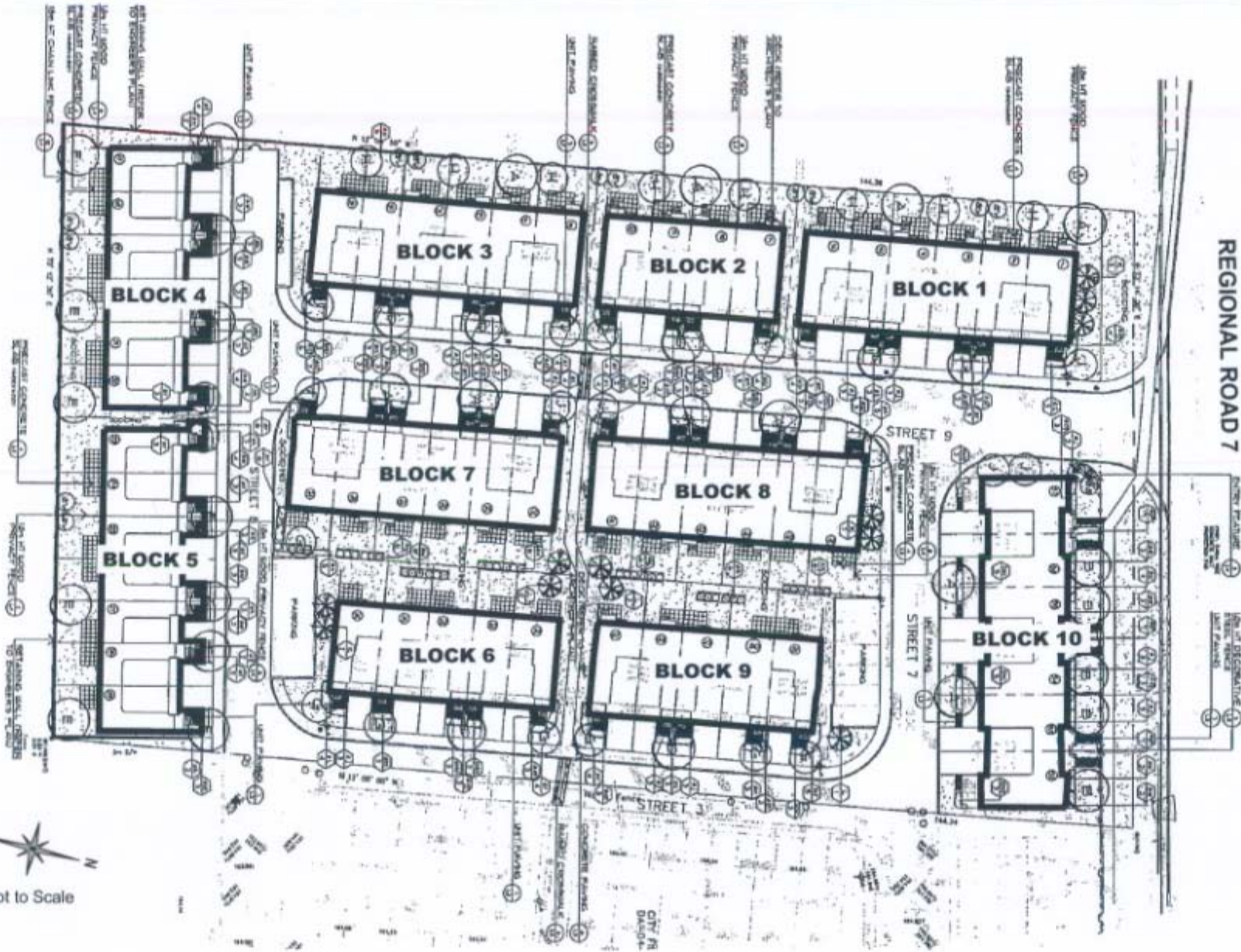
Development Planning Department

Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
November 8, 2005

2

N:\DPT\1 ATTACHMENTS\OP\op.04.018



Landscape Plan

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.

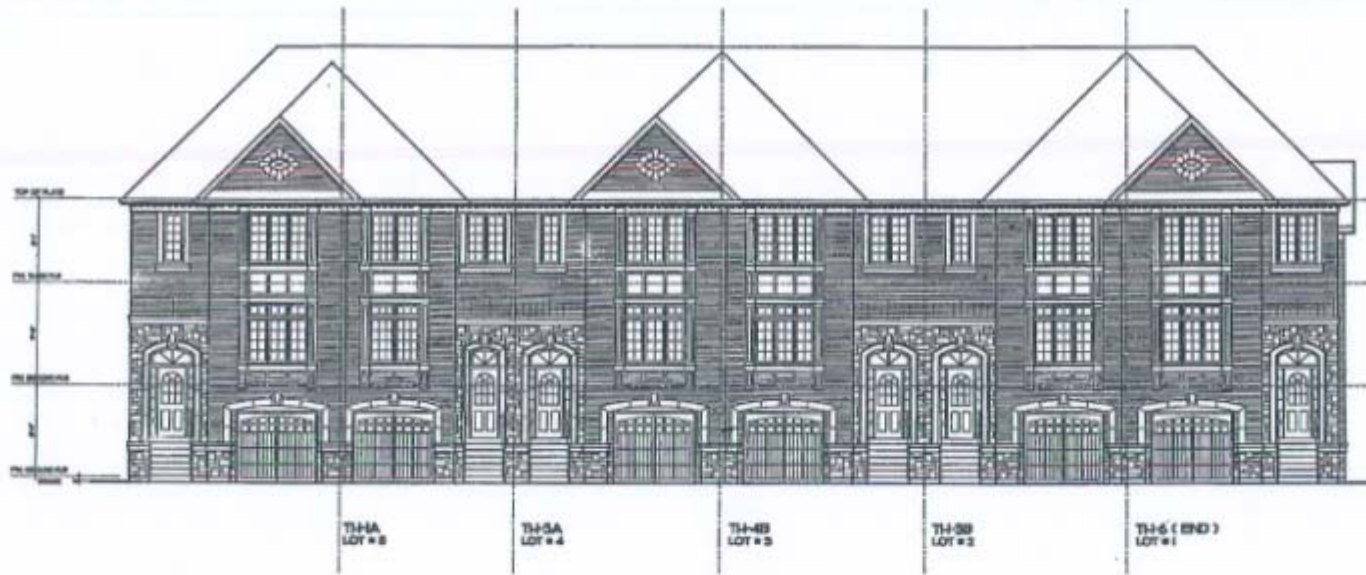


Development Planning Department

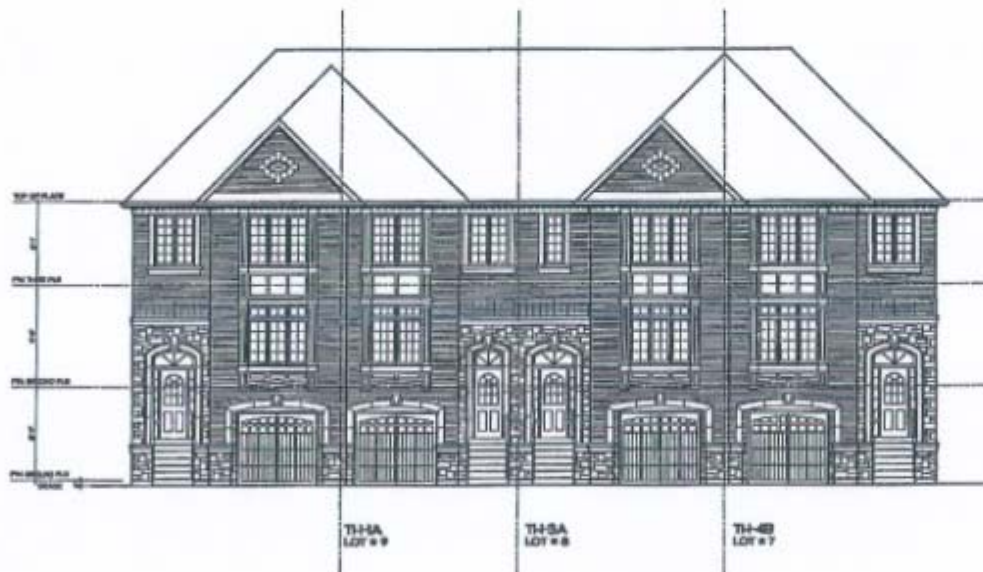
Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
November 8, 2005

3



**BLOCK 1 -
FRONT ELEVATION**



**BLOCK 2 -
FRONT ELEVATION**

Not to Scale

Elevations - Blocks 1 & 2

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.



Development Planning Department

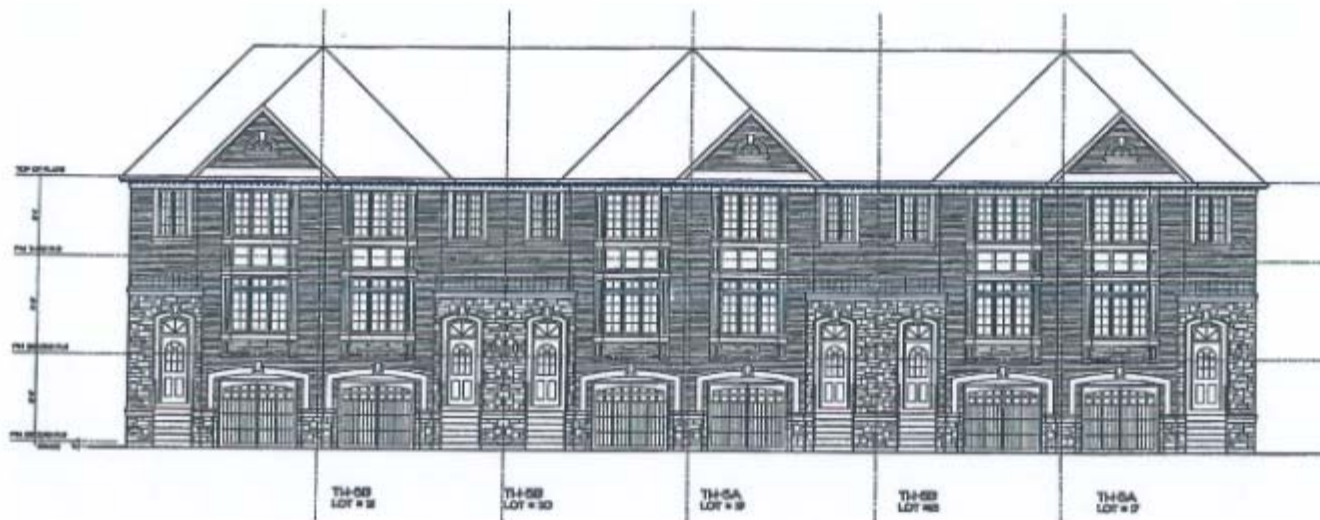
Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
October 13, 2005

4



**BLOCK 3 -
FRONT ELEVATION**



**BLOCK 4 -
FRONT ELEVATION**

Not to Scale

Elevations - Blocks 3 & 4

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.

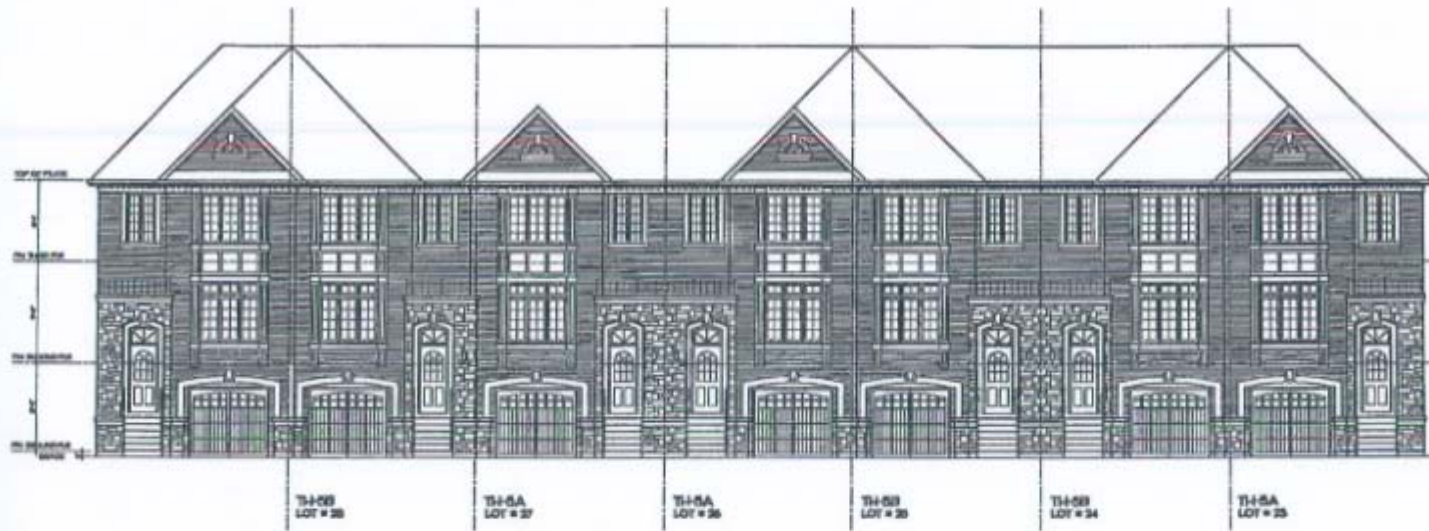
**City of
Vaughan**

Development Planning Department

Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
October 13, 2005

5



**BLOCK 5 -
FRONT ELEVATION**



**BLOCK 6 -
FRONT ELEVATION**

Not to Scale

Elevations - Blocks 5 & 6

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.

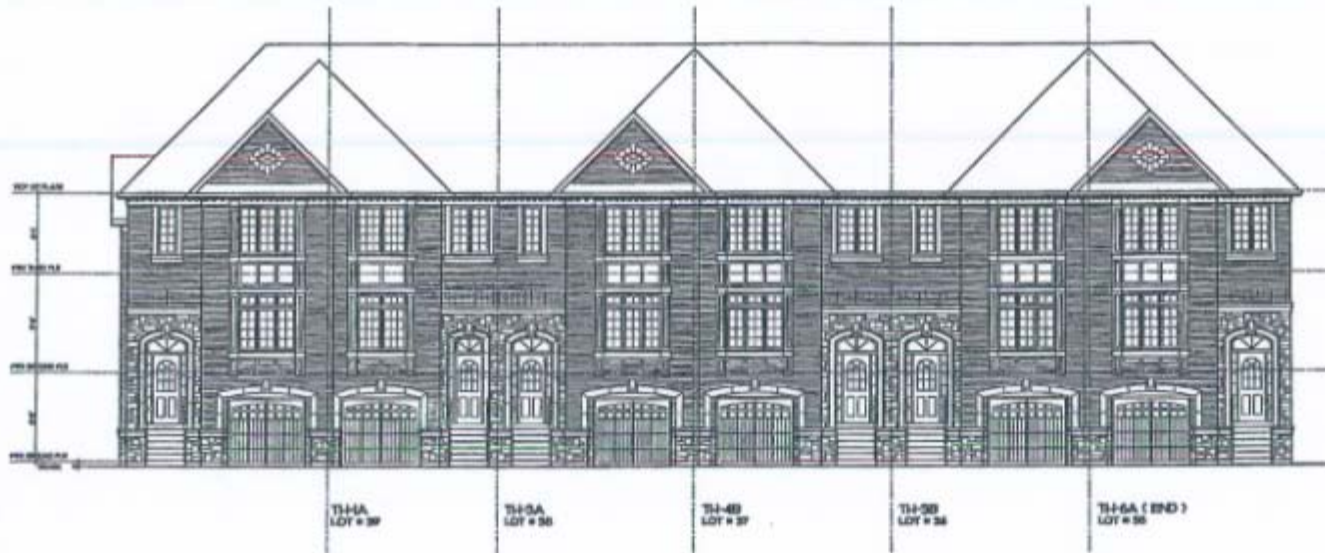


Development Planning Department

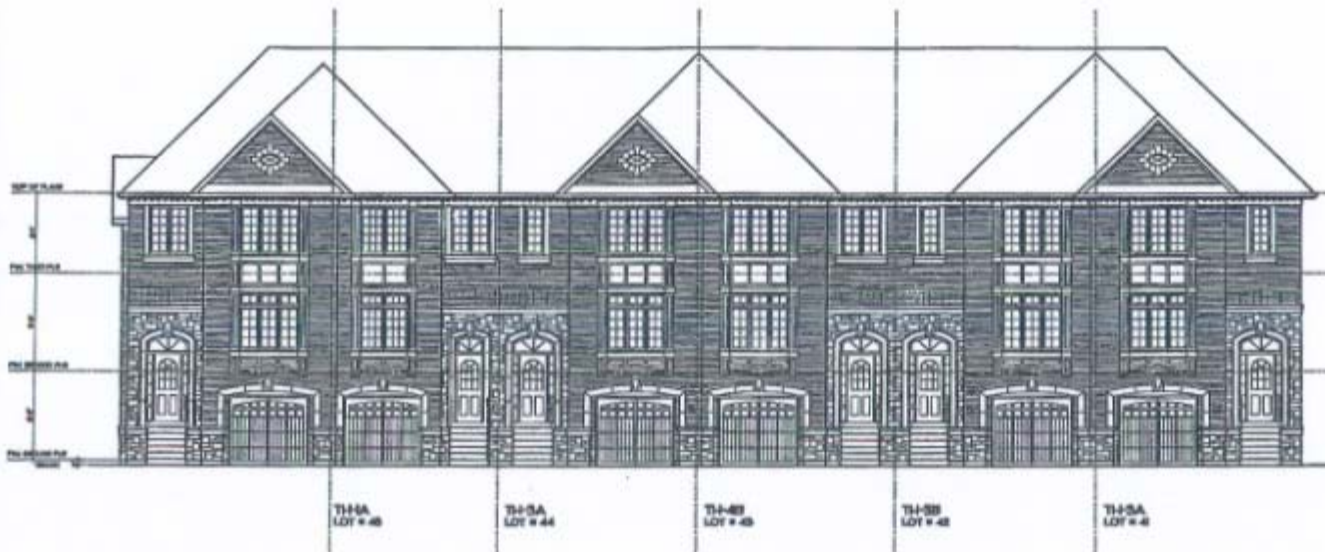
Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
October 13, 2005

6



**BLOCK 7 -
FRONT ELEVATION**



**BLOCK 8 -
FRONT ELEVATION**

Not to Scale

Elevations - Blocks 7 & 8

Part of Lot 5,
Concession 7

APPLICANT:
1609985 & 1609986 ONTARIO LTD.

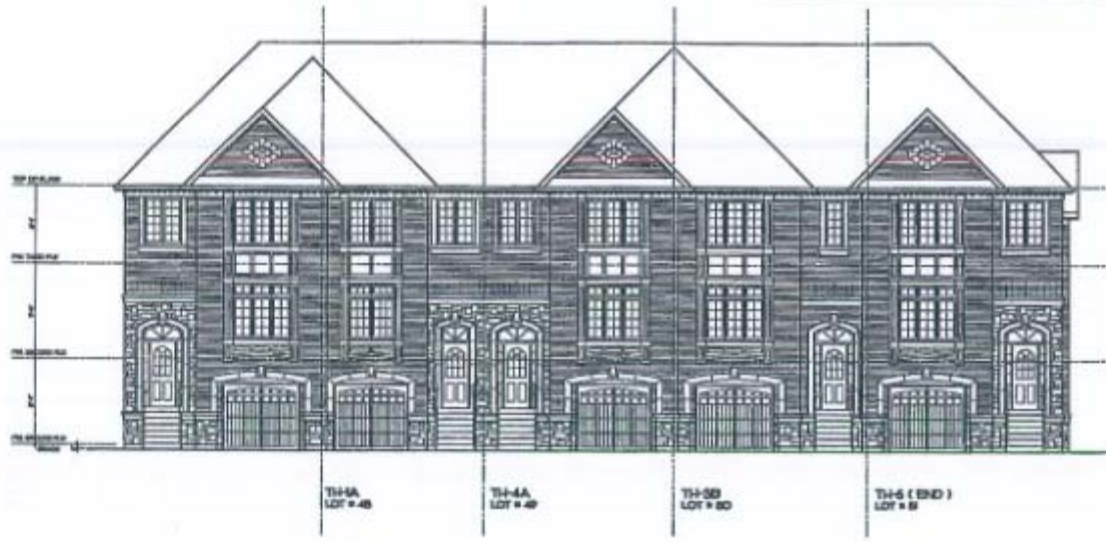


Development Planning Department

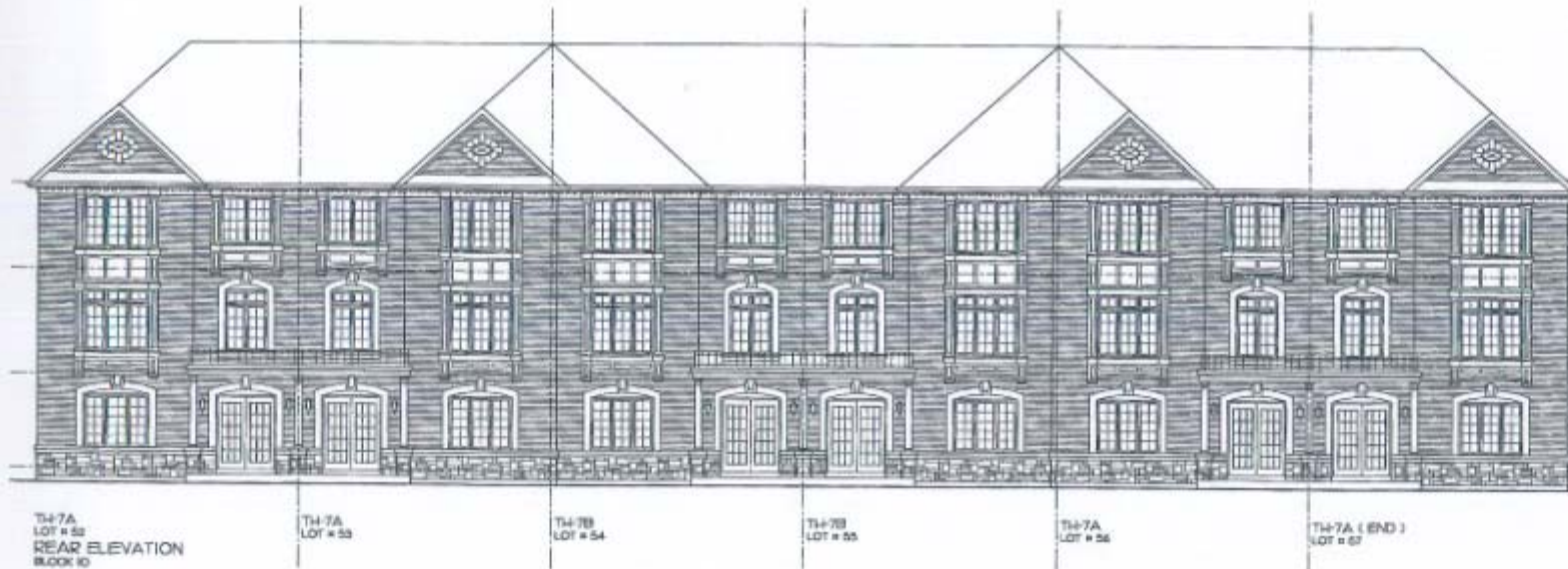
Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
October 13, 2005

7



**BLOCK 9 -
FRONT ELEVATION**



**BLOCK 10 -
FRONT ELEVATION
(REGIONAL ROAD 7)**

Not to Scale

Elevations - Blocks 9 & 10

Part of Lot 5,
Concession 7
APPLICANT:
1609985 & 1609986 ONTARIO LTD.



Development Planning Department

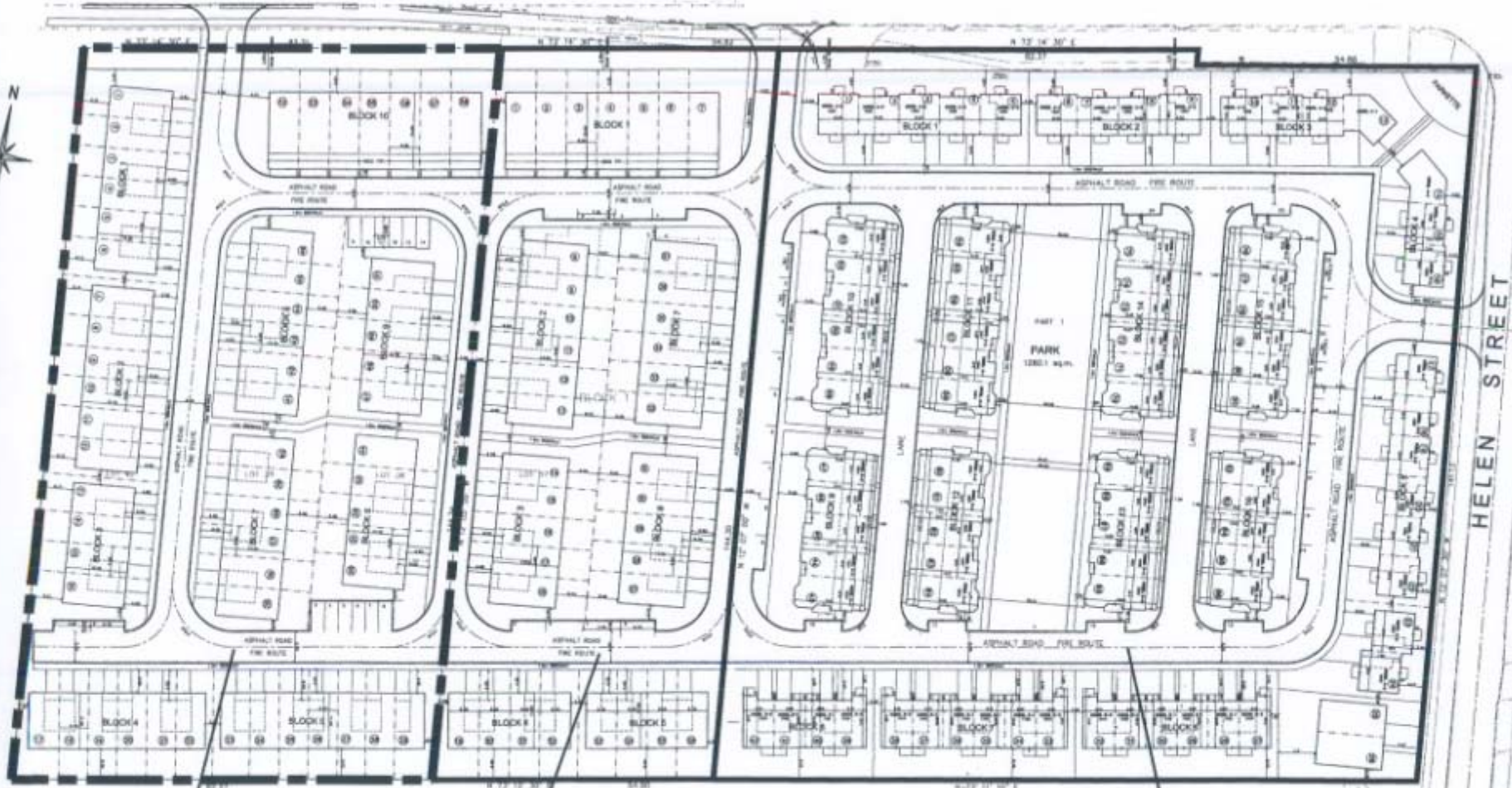
Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T - 04V14
November 17, 2005

8

N:\OFFICE\ATTACHMENTS\OP\op.04.018

REGIONAL ROAD 7



OFFICIAL PLAN & ZONING
AMENDMENT APPLICATIONS
1609985 & 1609986 ONTARIO LTD.
Approved by Council January 24/05

DRAFT PLAN OF SUBDIVISION
19T-04V14 Approved by
Council June 27/05

OFFICIAL PLAN & ZONING
AMENDMENT APPLICATIONS
United Capital Investments Inc, C/O DeLuca Group
Approved by Council October 12/04

SITE PLAN APPLICATION DA.04.080
Approved by Council September 26/05
DRAFT PLAN OF SUBDIVISION
19T-04V04 Approved by
Council April 25/05

SUBJECT LANDS

OFFICIAL PLAN & ZONING
AMENDMENT APPLICATIONS
Stone Manor Development
Approved by Council October 12/04

SITE PLAN APPLICATION DA.03.071
Approved by Council September 26/05
DRAFT PLAN OF SUBDIVISION
19T-04V03 Approved by
Council April 25/05

Not to Scale

**Comprehensive
Development Plan**

APPLICANT:
1609985 & 1609986
ONTARIO LTD.

Part of Lot 5,
Concession 7



Development Planning Department

Attachment

FILE No.:
DA.05.024
RELATED FILES:
OP.04.018, Z.04.053
& 19T-04V04
November 14, 2005

9