

COMMITTEE OF THE WHOLE MAY 28, 2007

**SITE DEVELOPMENT FILE DA.07.033
GUGLIETTI BROTHERS INVESTMENTS LIMITED**

Recommendation

The Commissioner of Planning recommends:

1. THAT Site Development File DA.07.033 (Guglietti Brothers Investments Limited) BE APPROVED, subject to the following conditions:
 - a) That prior to the execution of the site plan agreement:
 - i) the final site plan, landscape plan, existing site and vegetation analysis plan, and building elevations, shall be approved by the Development Planning Department;
 - ii) the final site servicing and grading plan, stormwater management report, traffic impact study, parking, access and on-site vehicular circulation shall be approved by the Engineering Department;
 - iii) all requirements of the Region of York Transportation and Works Department shall be satisfied; and,
 - iv) the required variances shall be approved by the Committee of Adjustment, and shall be final and binding.
 - b) That the site plan agreement contain the following provision:
 - i) If required, the Owner shall pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands in accordance with Section 42 of the Planning Act and City of Vaughan policy. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment. The cash-in-lieu of the dedication of parkland shall be credited by the amount paid for under Section 51.

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

N/A

Purpose

The Owner has submitted a Site Development Application to permit the development of the subject lands shown on Attachment #1 with a three-storey office building having a gross floor area of 6,293.49m², as shown on Attachment #2.

Background - Analysis and Options

The 1.27ha site shown on Attachment #1 is located on the north side of Confederation Parkway, between Dufferin Street and Floral Parkway, being Part of Block 23 within Registered Plan 65M-2623 (8800 Dufferin Street), City of Vaughan. The site is currently vacant.

The subject lands are designated "Neighbourhood Commercial Centre" by site-specific OPA #457, and zoned C4 Neighbourhood Commercial Zone by By-law 1-88, subject to Exception 9(1007). The surrounding land uses are:

- North - existing office building with a second office building under construction (C4 Neighbourhood Commercial Zone)
- South - Confederation Parkway; office building (C7 Service Commercial Zone)
- East - Dufferin Street; approved synagogue (File DA.04.042) for Temple Kol Ami (A Agricultural Zone), and approved townhouses (RVM2 Residential Urban Village Multiple Dwelling Zone Two)
- West - Floral Parkway; existing employment uses (EM1 Prestige Employment Area Zone)

Official Plan

The subject lands are designated "Neighbourhood Commercial Centre" by site-specific OPA #457, which contemplates office uses. The development of the site with the proposed office building conforms to the Official Plan.

Zoning

The subject lands are zoned C4 Neighbourhood Commercial Zone by By-law 1-88, subject to Exception 9(1007), which permits the proposed office use. The proposed site plan has been reviewed, and requires the following variances:

- By-law 1-88 requires a minimum landscape strip width of 9.0m along Dufferin Street, whereas 7.29m has been provided;
- By-law 1-88 requires a minimum landscape strip width of 6.0m along Confederation Parkway, whereas 3.0m has been provided;
- By-law 1-88 requires a minimum front yard (east) setback of 11.0m, whereas 7.29m has been provided;
- By-law 1-88 requires a minimum exterior side yard (south) setback of 11.0m, whereas 7.36m has been provided at the southwest corner of the proposed building;
- By-law 1-88 permits a maximum building height of 11.0m, whereas 14.94m is proposed; and,
- By-law 1-88 requires 2 loading spaces, whereas 1 loading space is proposed.

The Development Planning Department has no objections to the proposed variances as the proposal will facilitate a well-designed office development at this location. The Applicant and the Region of York are now finalizing the extent of possible conveyances as the Region is protecting a 42.6m Right-of-Way for this section of Dufferin Street. As such, there may be adjustments to some of the variances discussed. Should Council approve the site plan application, the Owner will be required to obtain approval of the above-noted variances from the Committee of Adjustment, which shall be final and binding, prior to the registration of the implementing site plan agreement.

Site Design

The site plan (Attachment #2) shows the proposed three-storey office building located at the northwest corner of Confederation Parkway and Dufferin Street. The property also has frontage on Floral Parkway. Two access points are proposed including one full-movement access on Floral Parkway and a right-in/right-out access on Confederation Parkway. Landscaping and pedestrian walkways are proposed around the building with connections to Confederation Parkway and Dufferin Street. Landscaping is also proposed around the perimeter of the site and within the parking area. A total of 257 parking spaces will be provided to the north and west of the building.

The final site plan shall be approved to the satisfaction of the Development Planning Department.

Parking

The required parking for the site in accordance with By-law 1-88 standards is calculated as follows:

Office:	3.5 spaces/100m ² GFA	
	x Building at 6,293.49m ² GFA	= 221 spaces
Total Parking Required:		= 221 spaces
Total Parking Provided:		= 257 spaces

The proposed parking for the site meets the minimum requirement with a surplus of 36 parking spaces.

Services

The Owner has submitted a site grading and servicing plan and a stormwater management report, which must be approved to the satisfaction of the Vaughan Engineering Department, and the Region of York Transportation and Works Department.

All hydro requirements will be addressed by the Owner, to the satisfaction of PowerStream Inc.

Landscaping

The proposed landscape plan (Attachment #3) consists of a mix of deciduous and coniferous trees, shrubs, and sodded area along Dufferin Street, Confederation Parkway and Floral Parkway. Deciduous trees will also be located within the parking lot. A number of existing trees are located on the easterly perimeter of the property, which are proposed to be removed. The applicant has submitted an Existing Site & Vegetation Analysis Plan that will be reviewed by Development Planning Staff. The applicant is willing to work with Staff to enhance the landscape plan, and where possible, existing trees that are in good condition will be saved and integrated into the new landscape design. The final landscape plan will be approved to the satisfaction of the Development Planning Department.

Building Design

The proposed three storey office building is square-shaped with return features at the corner facing the Dufferin Street and Confederation Parkway intersection. The main height of the building is 14.94m, however, the height of the building measured to the top of the mechanical penthouse is 18.8m. The primary façade of the building is the Floral Parkway (west) elevation. This elevation incorporates buff coloured pre-cast concrete with rows of green spandrel glazing and reflective double glazing. The Floral Parkway façade also includes 4 columns comprised of grey natural stone and a tempered glazed canopy to accentuate the proposed principal entrance to the building.

The south elevation (Confederation Parkway) and east elevation (Dufferin Street) each use the buff coloured pre-cast concrete with rows of green spandrel glazing and reflective double glazing as the primary materials. The south elevation includes a man door. The southeast corner of the building includes returns at each elevation that are accentuated by columns comprised of grey natural stone in an effort to upgrade the corner of the building that faces the Dufferin Street and Confederation Parkway intersection.

The north elevation faces the existing Aspen Ridge building and another building under construction, and includes 3 man doors and 2 overhead doors, and is comprised of buff coloured pre-cast concrete with rows of green spandrel glazing and reflective double glazing.

The final building elevations shall be approved to the satisfaction of the Development Planning Department.

Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Regional Implications

Although no vehicular access is proposed from Dufferin Street, the subject lands abut Dufferin Street, and the approval of the site plan is subject to the requirements of the Region of York. The Owner will be required to satisfy all requirements of the Region of York, prior to the execution of the implementing site plan agreement. York Region has received the subject application, and has no objections to the development concept, in principal. The Region is protecting a 42.6m Right-of-Way for this section of Dufferin Street, and as such, all setbacks must be referenced from 21.3m from the centreline of construction of Dufferin Street. The Region must also approve a traffic management plan and Environmental Site Assessment (Phase 1) as part of this proposal.

Conclusion

The Development Planning Department has reviewed the proposed Site Plan Application in accordance with the policies of the Official Plan and the requirements of the Zoning By-law, and is satisfied that the proposed three-storey office building will facilitate an appropriate development of the site, subject to the conditions of approval identified in this report, and obtaining the required variances from the Committee of Adjustment. On this basis, Staff recommends approval of the Site Plan Application.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. Building Elevations

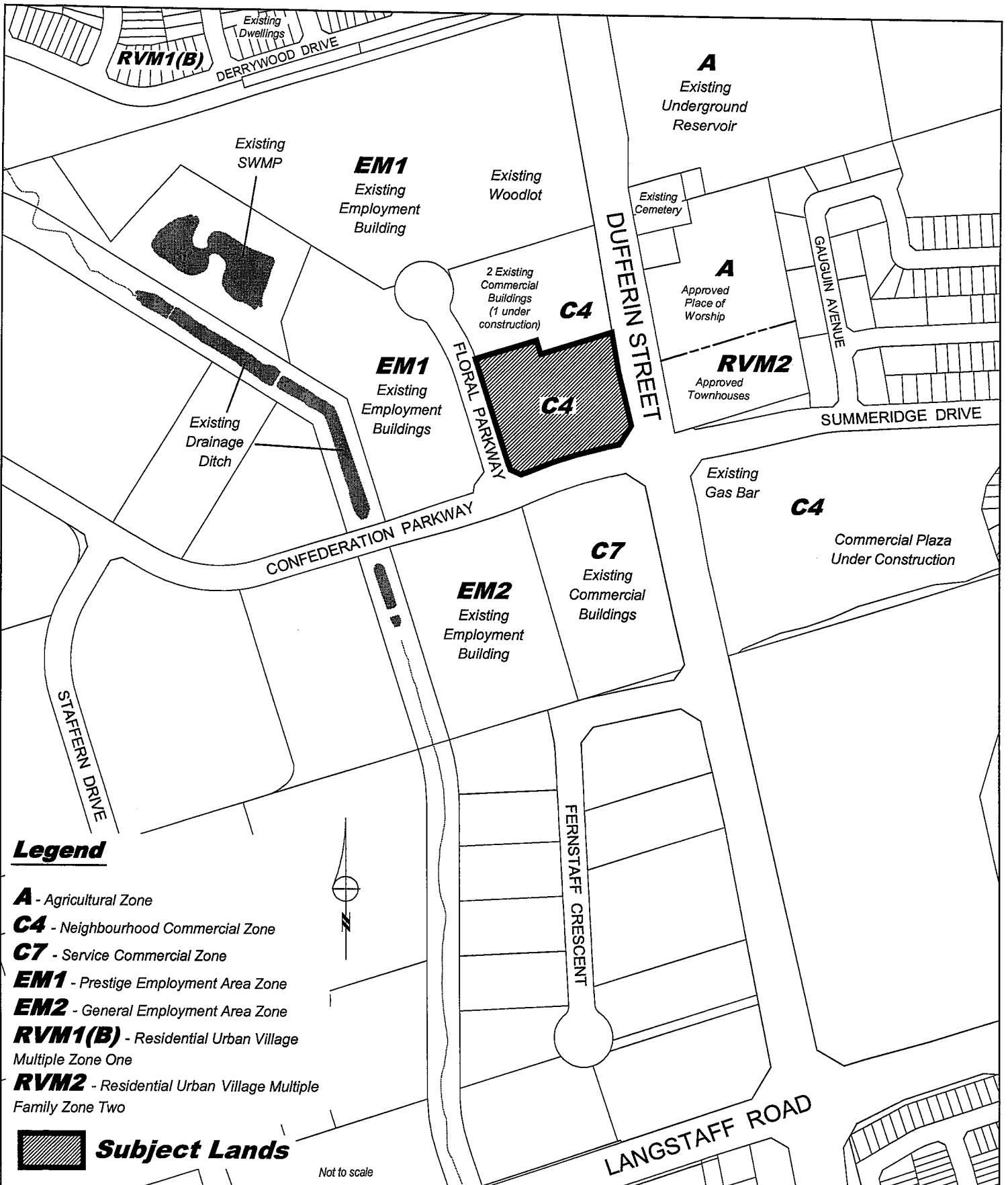
Report prepared by:

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Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning
/CM

MARCO RAMUNNO
Director of Development Planning



Location Map

Part Lots 12, 13
Concession 3

Part Block 23
Plan 65M-2623

APPLICANT: GUGLIETTI
BROTHERS INVESTMENTS LIMITED



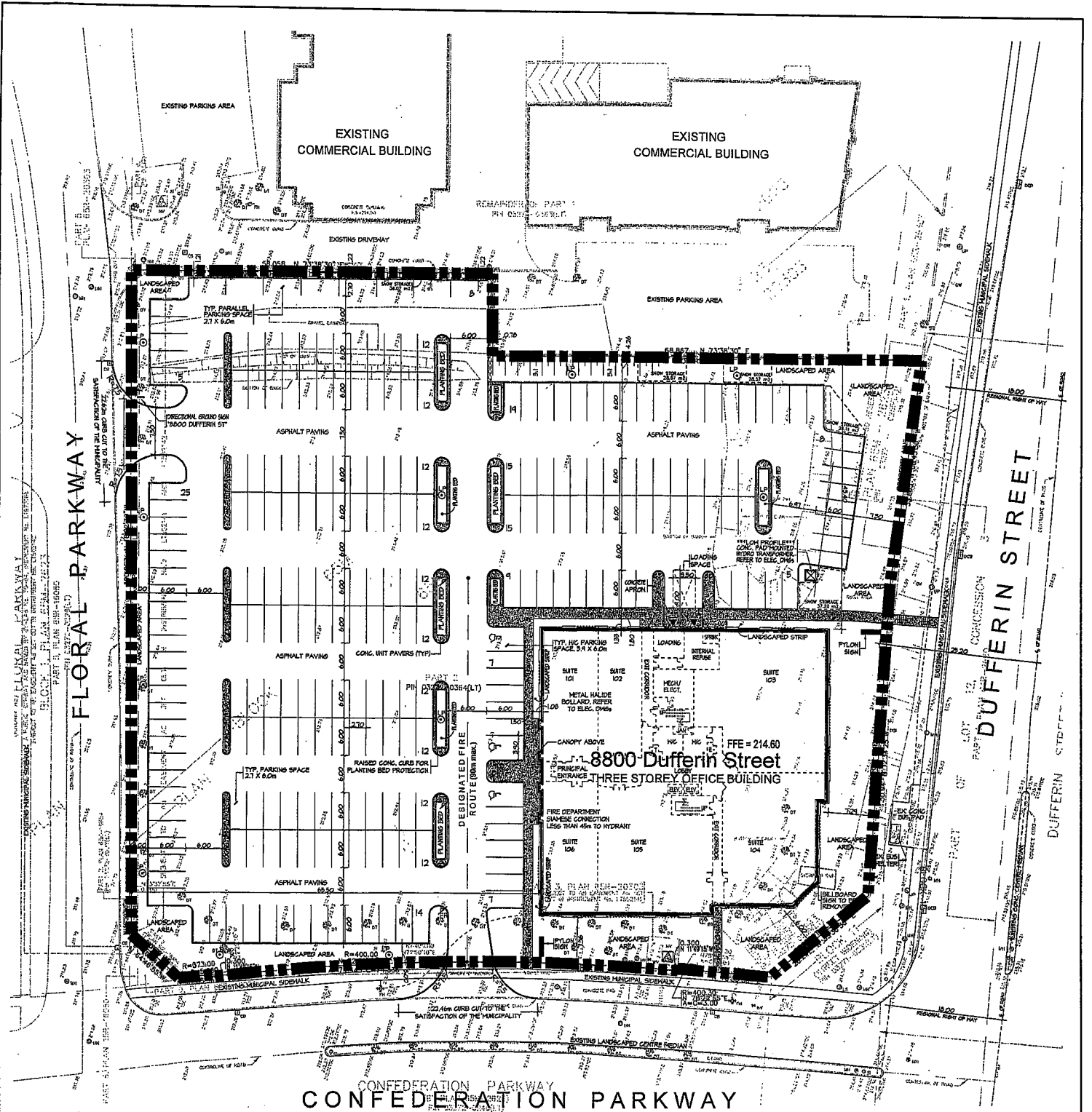
Development Planning Department

Attachment

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DA.07.033

April 02, 2007

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Subject Lands

Not to scale

Site Plan

Part Lots 12, 13 Part Block 23
 Concession 3 Plan 65M-2623

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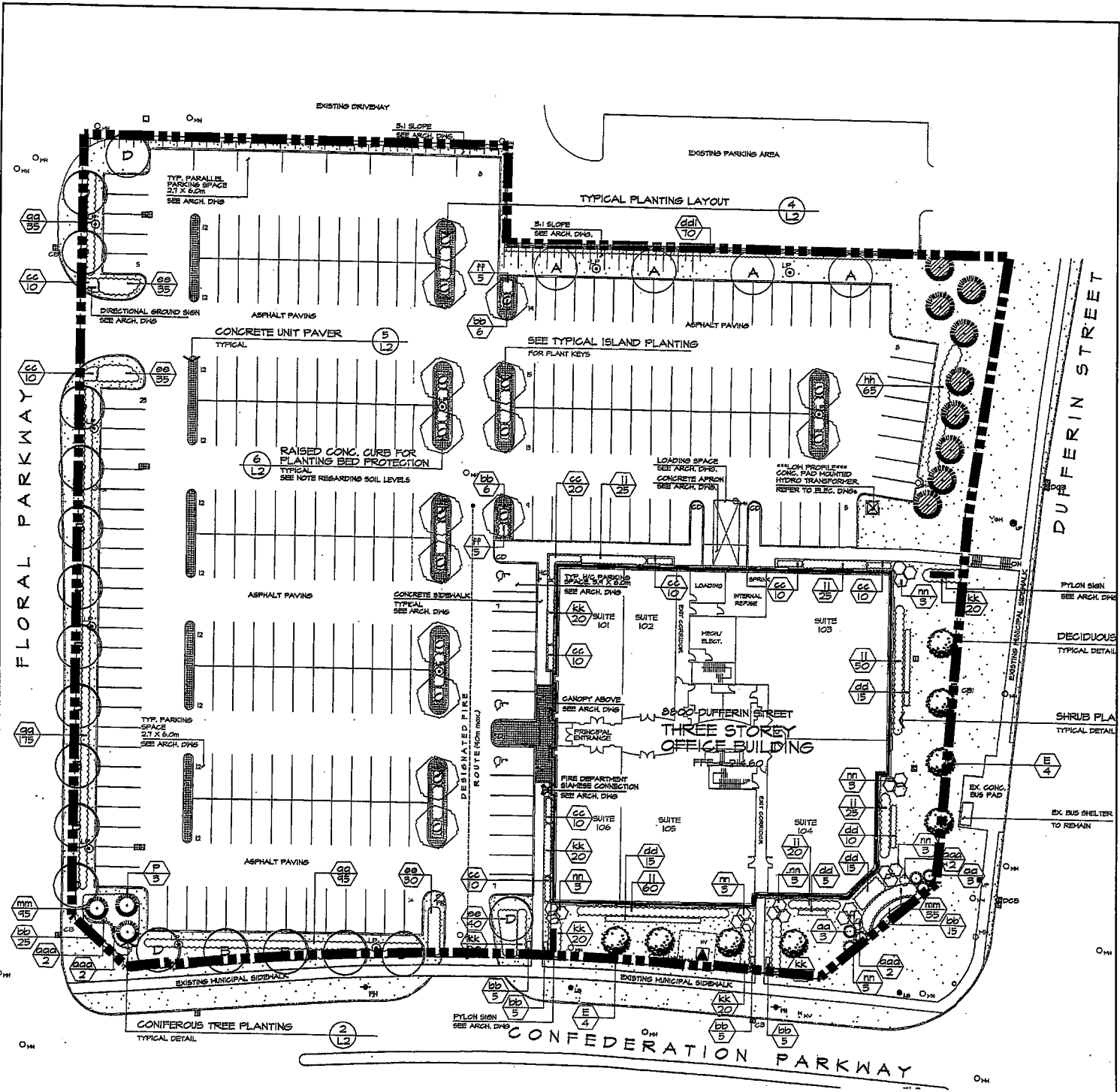
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■■■■■ Subject Lands

Not to scale

Landscape Plan

Part Lots 12, 13 Part Block 23
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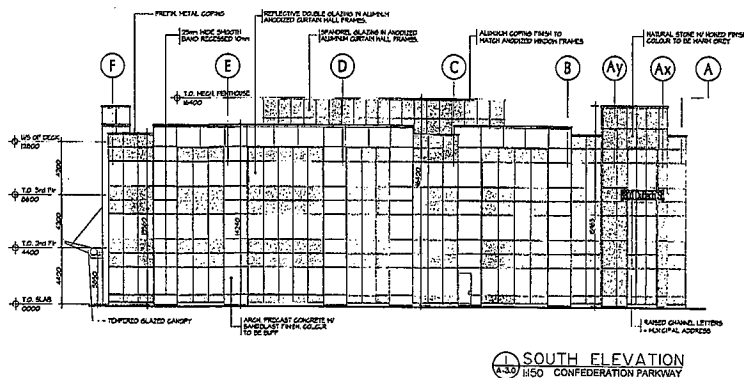
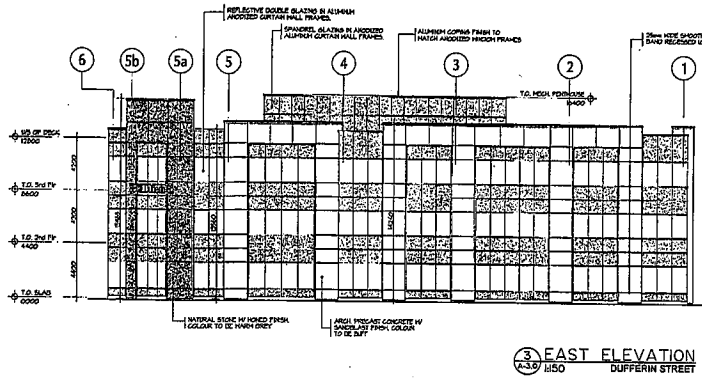
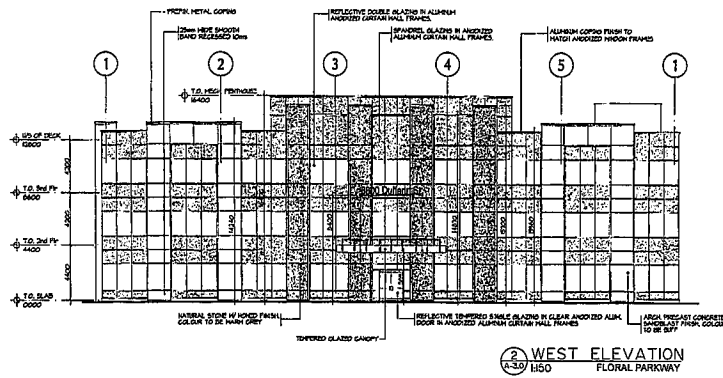
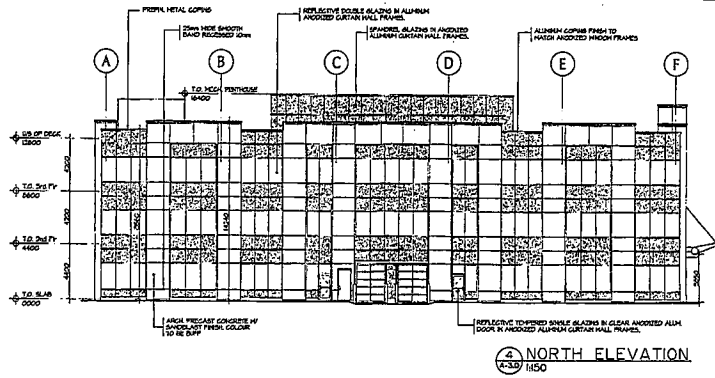
Attachment

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Not to scale

Elevations

Part Lots 12, 13
Concession 3

Part Block 23
Plan 65M-2623

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