

COMMITTEE OF THE WHOLE MAY 28, 2007

SITE DEVELOPMENT FILE DA.07.036
1688643 ONTARIO LIMITED

Recommendation

The Commissioner of Planning recommends:

1. THAT Site Development File DA.07.036 (1688643 Ontario Limited) BE APPROVED to permit the construction of an eight storey building for the purposes of business and professional office uses, as shown on Attachment #2, subject to the following conditions:
 - a) that prior to the execution of the site plan agreement:
 - i) the final site plan, parking plans, building elevations, landscaping and signage plans shall be approved by the Development Planning Department;
 - ii) the final site grading and servicing plans, stormwater management report, access, parking and on-site vehicular circulation shall be approved by the Engineering Department;
 - iii) the Owner shall close the previous applicable Site Development File DA.06.045 to the satisfaction of the Development Planning Department;
 - iv) all requirements of the Region of York Transportation and Works Department shall be satisfied;
 - v) all hydro requirements of PowerStream Inc. shall be satisfied; and
 - vi) all requirements of Canadian National Railway (CNR) shall be satisfied; and,
 - b) that the site plan agreement contain the following provision:
 - i) the Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 2% of the value of the subject lands, prior to the issuance of a building permit, in accordance with the Planning Act. The Owner shall submit an appraisal prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

N/A

Purpose

The Owner has submitted a Site Development Application (File DA.07.036) on the subject lands shown on Attachment #1 for a proposed eight storey, 13,804.04 m² office building with 546 parking spaces, including 12 handicap spaces, as shown on Attachment #2.

Background - Analysis and Options

The subject lands as shown on Attachment #1 are generally located at the northeast corner of Melville Road and Rutherford Road in Part of Lot 16, Concession 4, City of Vaughan. The 1.94 ha site is currently vacant and has frontage on Melville Avenue and Rutherford Road. The surrounding land uses are:

- North - CNR Rail Line (M3 Transportation Industrial Zone); existing Vaughan Sports Village (A Agricultural Zone)
- South - existing gas station (C5 Community Commercial Zone); Rutherford Road; existing employment uses (EM1 Prestige Employment Area Zone)
- East - CNR Rail Line (M3 Transportation Industrial Zone); existing Vaughan Sports Village (A Agricultural Zone)
- West - Melville Avenue; existing police station and City of Vaughan and Region of York Joint Operations Centre (EM2 General Employment Area Zone)

In May 2006, the Owner submitted a Site Development Application (File DA.06.045) to permit five multi-unit commercial buildings on the subject lands, which was subsequently approved by Council in June 2006. In August 2006, Minor Variance Application A340/06 was approved by the Committee of Adjustment, which permitted a reduced landscape strip along Rutherford Road from 6.0 m to 4.5 m for the subject lands and the abutting gas bar site. As the Owner no longer wishes to pursue the proposed multi-unit commercial development, the Owner is required to close Site Development File DA.06.045. A condition of approval is included in this respect.

Official Plan

The subject lands are designated "Community Commercial Centre" by OPA #350 (Maple Community Plan), as amended by OPA #613, which permits business and professional office uses. The proposed development conforms to the Official Plan.

Zoning

The subject lands are zoned C5 Community Commercial Zone by By-law 1-88, subject to Exception 9(1208). The proposed office building use is permitted on the subject lands and would permit offices for Regulated Health Professionals. The proposed development also meets all of the zone requirements of By-law 1-88.

Site Design

The proposed site plan is shown on Attachment #2. The Owner of the subject lands also owns the lands directly at the northeast corner of Melville Road and Rutherford Road, where the existing gas bar and car wash facility is located and which have been leased to Shell Canada. The northerly and easterly limits of the gas bar lands represent the common lease line between the two developments. The Owner does not propose any internal traffic or pedestrian connections between the subject lands and the gas bar lands.

The proposed office building is situated predominately in the middle of the subject lands in a campus-style orientation. This allows for the even distribution of surface parking spaces at the north and south ends of the property. A total of 546 parking spaces are provided on the site, of which 12 spaces are allocated for the physically disabled. The majority of the handicap spaces

are located close to the proposed building. A total of 220 parking spaces are located underground and accessed by a ramp located on the north side of the building, away from Melville Avenue and Rutherford Road. Two loading spaces and the internal garbage room are also located at the north side of the building and will not be visible from the street lines. The ambulance receiving area is located on the west side of the building. The Canadian National Railway runs along the north property line of the subject lands and is separated by a combination of retaining wall and chain link fence.

Access onto the site will be provided from 2 driveways, one each from Rutherford Road and Melville Avenue. The final design and location of these driveways must be approved by the City of Vaughan Engineering Department and the Region of York Transportation and Works Department.

The final site plan shall be approved to the satisfaction of the Development Planning Department.

Parking

By-law 1-88 requires that the minimum required parking for the proposed office building be calculated as follows:

Parking Standard	Gross Floor Area (GFA)	Required Parking
3.5 spaces / 100 m ² GFA	13,804.04 m ²	484 spaces (including 5 required spaces for the physically disabled)

The total proposed parking is 546 spaces, including 12 spaces for the physically disabled. The proposed development meets the minimum parking requirement of By-law 1-88, with a surplus of 62 parking spaces.

Landscape Plan

The proposed landscape plan is shown on Attachment #3 and provides for a mix of coniferous and deciduous trees, shrubs, ground covers and perennials within the buffer strips abutting each street line. The landscaped areas will assist to visually screen the on-surface parking areas from the street.

The Development Planning Department has reviewed the landscape plan and has provided detailed comments regarding plant material composition, spacing and location. It is recommended that additional plantings be required in the parking area to break up the mass of asphalt and provide a more attractive view from the street. As noted above, the subject lands have a surplus of 62 parking spaces. As a result, it is recommended that the row of parking along the property line abutting the CN Railway should be broken up with curbed landscaped islands. The Owner is aware of these comments and the Development Planning Department will work with the Owner to finalize the landscape plan.

The landscape plan includes entry details that show a combination of masonry pillars with coping and 1.2 m high decorative black fencing that will flank each side of the two entry points onto the site. The final landscape plan and landscape cost estimate, including detailed drawings shall be approved to the satisfaction of the Development Planning Department.

Building Elevations

The proposed building elevations are shown on Attachments #4, #5, and #6. The proposed building consists of three elements, comprised of an 8-storey, 3-storey and one-storey

components. The main entrance is located on the south elevation of the 8 storey portion and is comprised of a large portico receiving area.

The progressive and urbane elevations consist of precast concrete panels with alternating horizontal panels of gold reflective vision glass and with a gold reflective spandrel glass curtain wall framing. The elevations are well articulated with the precast concrete panel with gold reflective glazing being in clear anodized aluminum frames. The curved articulation helps to break up the concrete texture of the elevations and provides visual interest to the building. The building is capped with modern precast concrete cornices that are curved to mirror the curvature of the anodized aluminum frame accents. The proposed signage is affixed vertically on the south and west elevations.

The one-storey component consists primarily of precast concrete panels with gold reflective glazing in clear anodized aluminum frames. The elevations are articulated with ground floor piers that support a canopy to facilitate a friendlier pedestrian environment and shelter from the elements.

The final elevations and signage plans shall be approved to the satisfaction of the Development Planning Department.

Canadian National Railway (CNR)

The subject lands abut the Canadian National Railway (CNR) MacMillan Yard pullback track. Accordingly, the Site Development Application has been forwarded to CNR for review. CNR has commented on fencing details along the mutual property line and provisions on potential alterations to the existing drainage pattern affecting the railway property. CNR recommends that rail noise, vibration and safety concerns be considered and incorporated into the design of the development. The Owner will be required to satisfy all requirements of CNR. A condition of approval is included in this report.

Services

The Owner has submitted site-servicing and grading plans and a stormwater management report, which must be approved to the satisfaction of the City's Engineering Department.

The site will be serviced by private garbage pick-up and snow removal.

All hydro requirements must be addressed to the satisfaction of PowerStream Inc., prior to the registration of the Site Plan Agreement.

Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Regional Implications

The site plan must be reviewed and approved to the satisfaction of the Region of York Transportation and Works Department, as the site has access onto Rutherford Road, being a Regional road, and the Melville access being in close proximity to the Melville and Rutherford intersection. The Owner is required to comply with all Regional requirements. The Region of York will be signing party to the site plan agreement.

Conclusion

The Development Planning Department has reviewed Site Development File DA.07.036 in accordance with the policies of OPA #350 as amended by OPA #613, the requirements of By-law 1-88, and in the context of the surrounding land uses. The Development Planning Department is satisfied with the proposed application to permit an eight storey building for the purposes of a business and professional office use and can support the proposed development subject to the comments and recommendations in this report. The proposed development, as shown on Attachment #2, is an appropriate form of development for the subject lands, conforms to the policies of the Official Plan, complies with the requirements of By-law 1-88, and is compatible with the surrounding land uses.

Attachments

1. Location Map
2. Site Plan
3. Landscape Plan
4. North Elevations
5. South Elevations
6. East & West Elevations

Report prepared by:

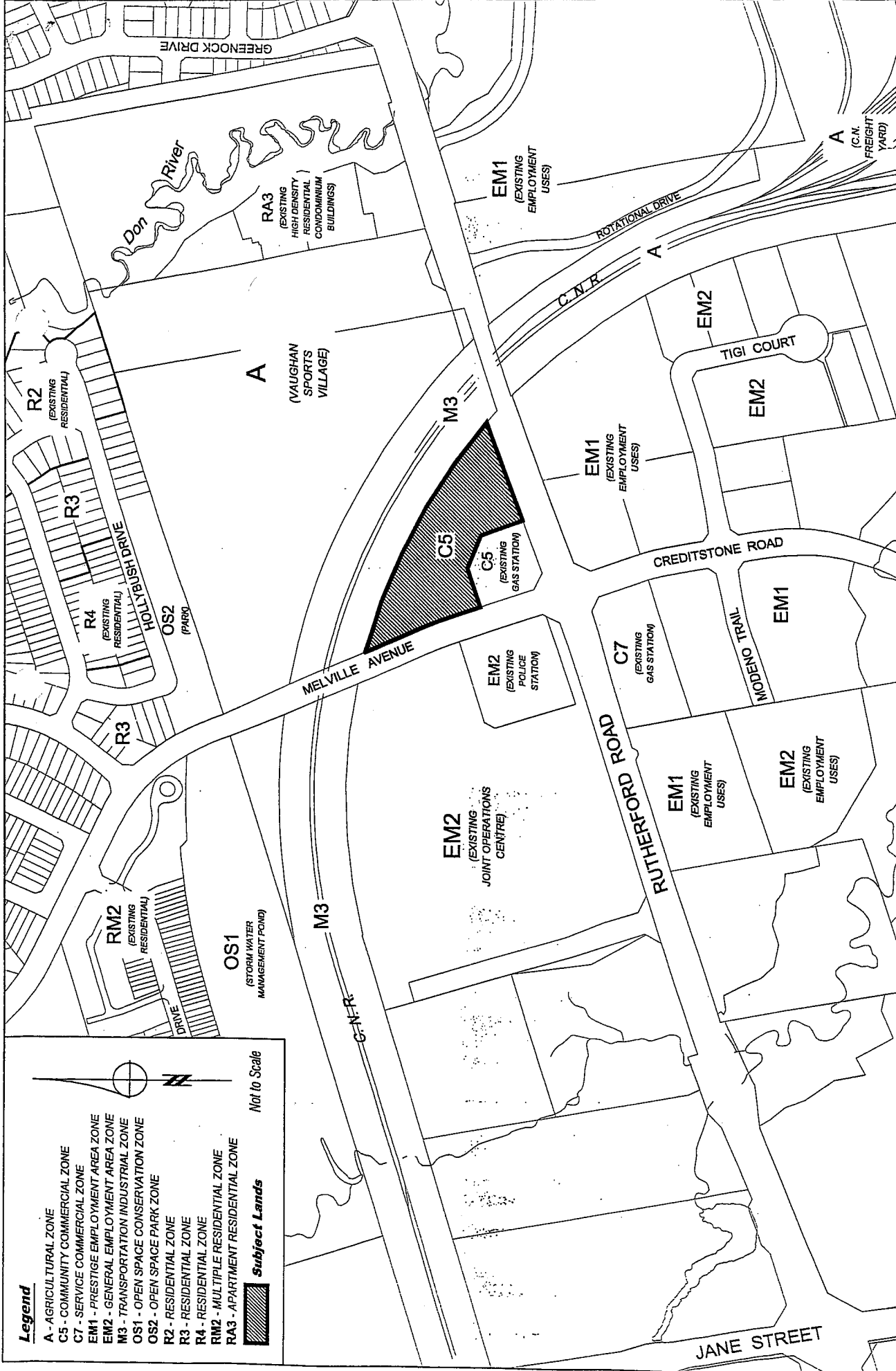
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Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

/CM



Legend

- A - AGRICULTURAL ZONE
- C5 - COMMUNITY COMMERCIAL ZONE
- C7 - SERVICE COMMERCIAL ZONE
- EM1 - PRESTIGE EMPLOYMENT AREA ZONE
- EM2 - GENERAL EMPLOYMENT AREA ZONE
- M3 - TRANSPORTATION INDUSTRIAL ZONE
- OS1 - OPEN SPACE CONSERVATION ZONE
- OS2 - OPEN SPACE PARK ZONE
- R2 - RESIDENTIAL ZONE
- R3 - RESIDENTIAL ZONE
- R4 - RESIDENTIAL ZONE
- RM2 - MULTIPLE RESIDENTIAL ZONE
- RA3 - APARTMENT RESIDENTIAL ZONE

Subject Lands

Not to Scale

Location Map

Part of Lot 16,
Concession 4
APPLICANT:
1688643 ONTARIO LIMITED



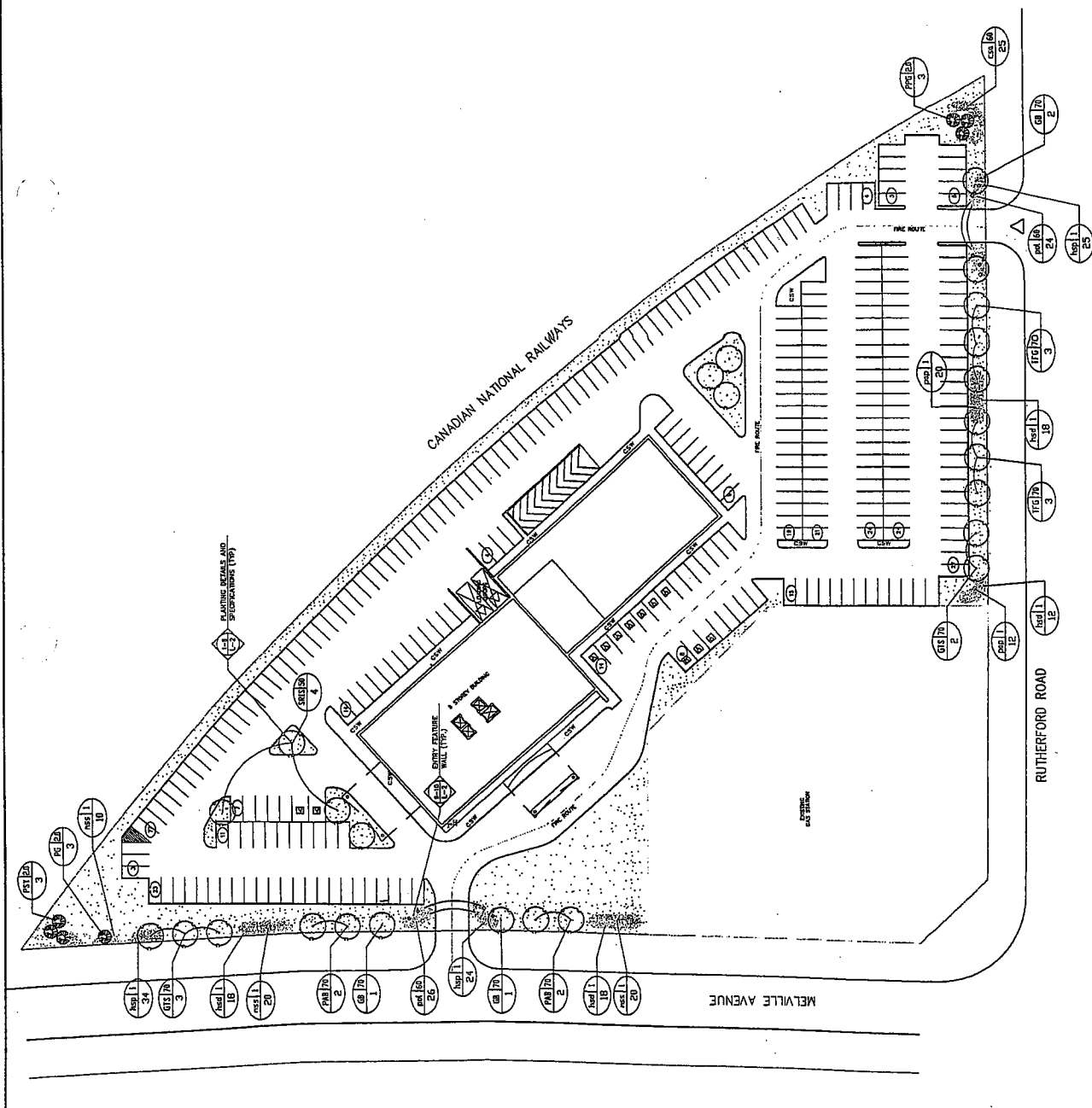
Development Planning Department

Attachment 1

FILE No.:
DA.07.036

April 12, 2007

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Development Planning Department

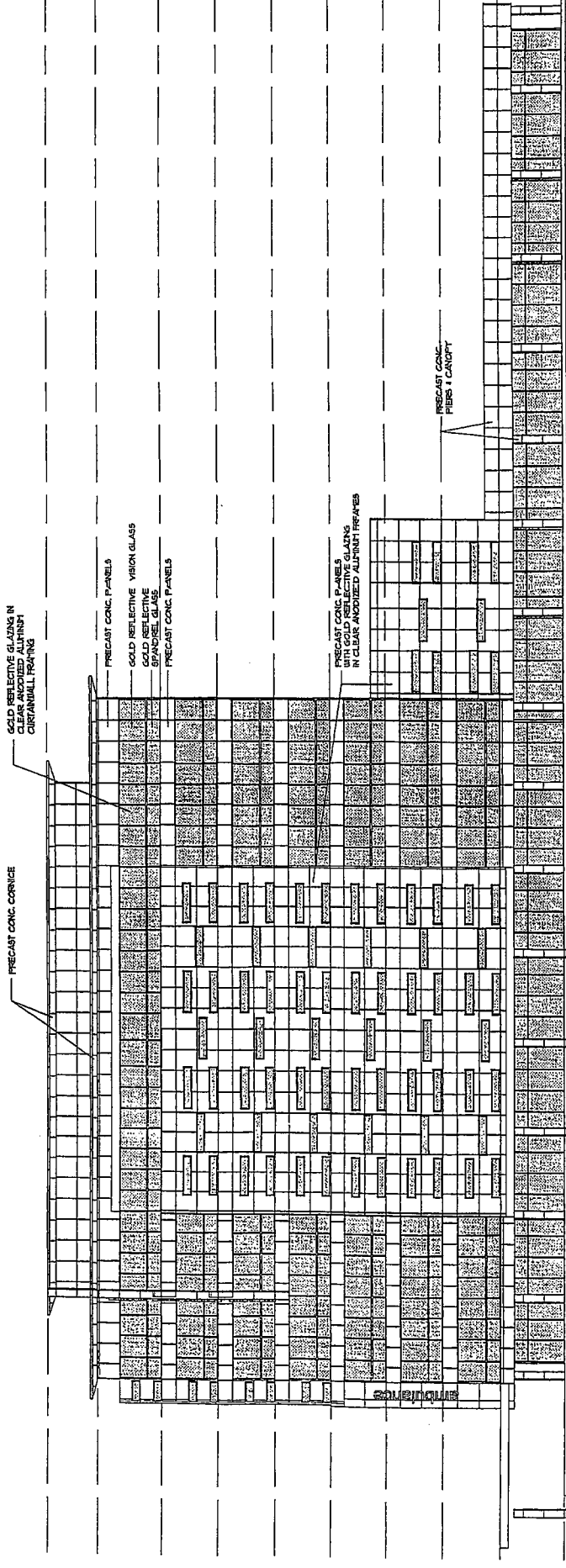
Landscape Plan

Part of Lot 16,
 Concession 4

APPLICANT:
 1688643 ONTARIO LIMITED

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Not to Scale



4 SOUTH ELEVATION
A300 / Scale: 1:200

MELVILLE AVENUE

Not to Scale

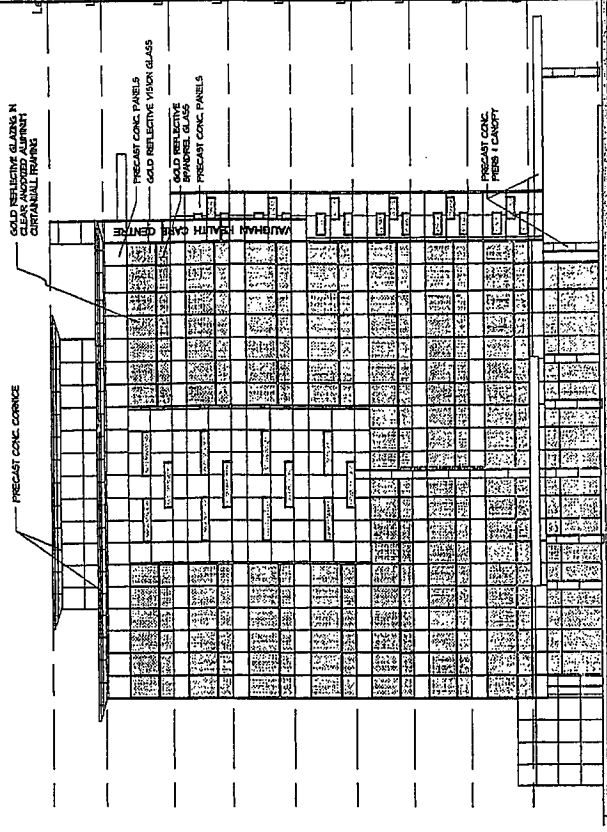
South Elevation

Part of Lot 16,
Concession 4
APPLICANT:
1688643 ONTARIO LIMITED

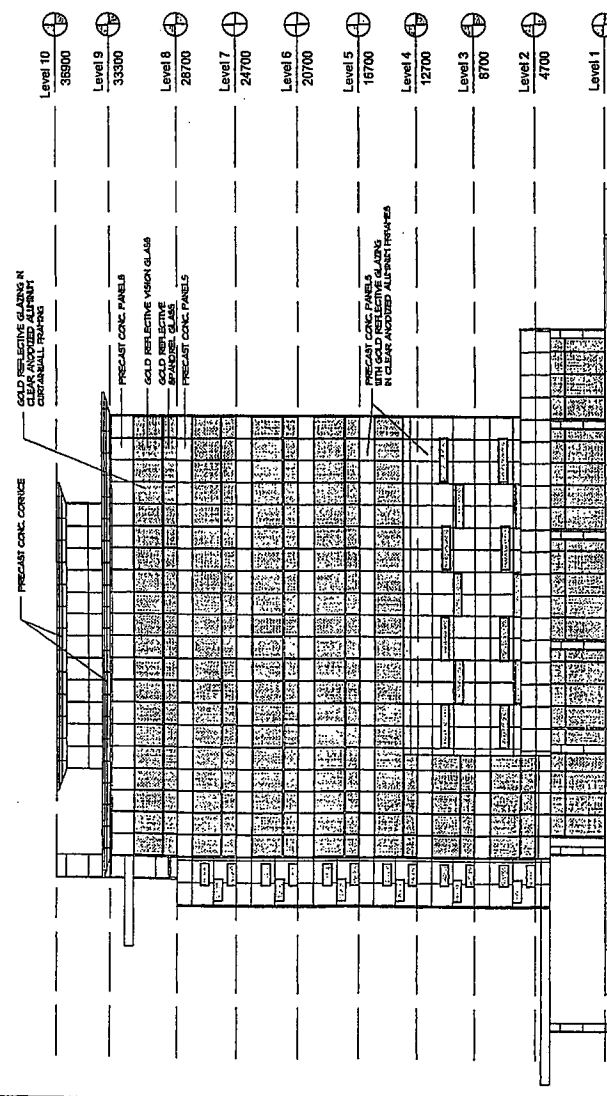
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Development Planning Department



2 WEST ELEVATION
A309 Scale: 1:200



3 EAST ELEVATION
A309 Scale: 1:200

Not to Scale

East & West Elevations

Part of Lot 16,
Concession 4
APPLICANT:
 1688643 ONTARIO LIMITED
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