

COMMITTEE OF THE WHOLE MAY 28, 2007

SITE DEVELOPMENT FILE DA.07.004
STRATHERN HEIGHTS INVESTMENTS INC.

Recommendation

The Commissioner of Planning recommends:

1. THAT the building elevations for a multi-unit industrial building with ancillary office for Site Development File DA.07.004 (Strathern Heights Investments Inc.) as shown on Attachment #3, BE APPROVED.

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

N/A

Purpose

For the Committee of the Whole to consider the building elevations (Attachment #3) for the Site Development Application (File DA.07.004) on the subject lands shown on Attachment #1, to facilitate the development of a multi-unit industrial building comprised of a 8,825.8 m² warehouse with 1,380.4 m² of ancillary office, as shown on Attachment #2.

Background - Analysis and Options

The subject lands shown on Attachment #1 are located south of Teston Road, between Highway #400 and Cityview Boulevard (505 Cityview Boulevard), being Block 200 on Plan 65M-3914, City of Vaughan.

The subject lands are designated "High Performance Employment Area" by OPA #600 and zoned EM1 Prestige Employment Area Zone by By-law 1-88, subject to Exception 9(1218). The proposed industrial use conforms to the Official Plan and complies with the Zoning By-law, with the exception of the driveway access, which must be reduced from 14 m to 13.5 metres. The location of the driveway must also be confirmed by the City, Region of York and the Ministry of Transportation.

The elevation plan that is provided on Attachment #3 shows an irregular shaped building that will be constructed to a height of 9 m. The proposed building materials consist of white smooth and aggregate precast and light blue reflective glass and dark blue spandrel glass. The primary façade is located on the west elevation, facing Cityview Boulevard and consists of two double-door glass entries with a canopy for corporate signage above, surrounded by a glass curtain wall, with reflective glass at the base and spandrel glass above to the roofline. The east elevation faces Highway #400 and consists of two glass entrances with a sign box above, with lower and upper level windows, framed in alternating smooth and aggregate vertical precast panels. The north and south elevations are of similar design, with recessed loading areas and alternating smooth and aggregate horizontal precast panels and upper level windows. The loading areas are not visible from Cityview Boulevard and Highway #400 and the roof-top mechanical units will be screened from view of abutting roads by a 1 m high parapet.

Landscaping

The proposed landscaping for the site is shown on Attachment #4, which includes a minimum 6 m and 14 m wide landscape strips adjacent to Cityview Boulevard and Highway #400, respectively. The Development Planning Department is generally satisfied with the proposed landscaping, and will continue to work with the Owner to finalize the plans.

Relationship to Vaughan Vision 2007

This report is consistent with the priorities set forth in Vaughan Vision 2007, particularly 'A-5', "Plan and Manage Growth".

Regional Implications

N/A

Conclusion

The Development Planning Department is satisfied with the proposed elevations for the employment use building.

Attachments

1. Location Map
2. Site Plan
3. Elevation Plan
4. Landscape Plan

Report prepared by:

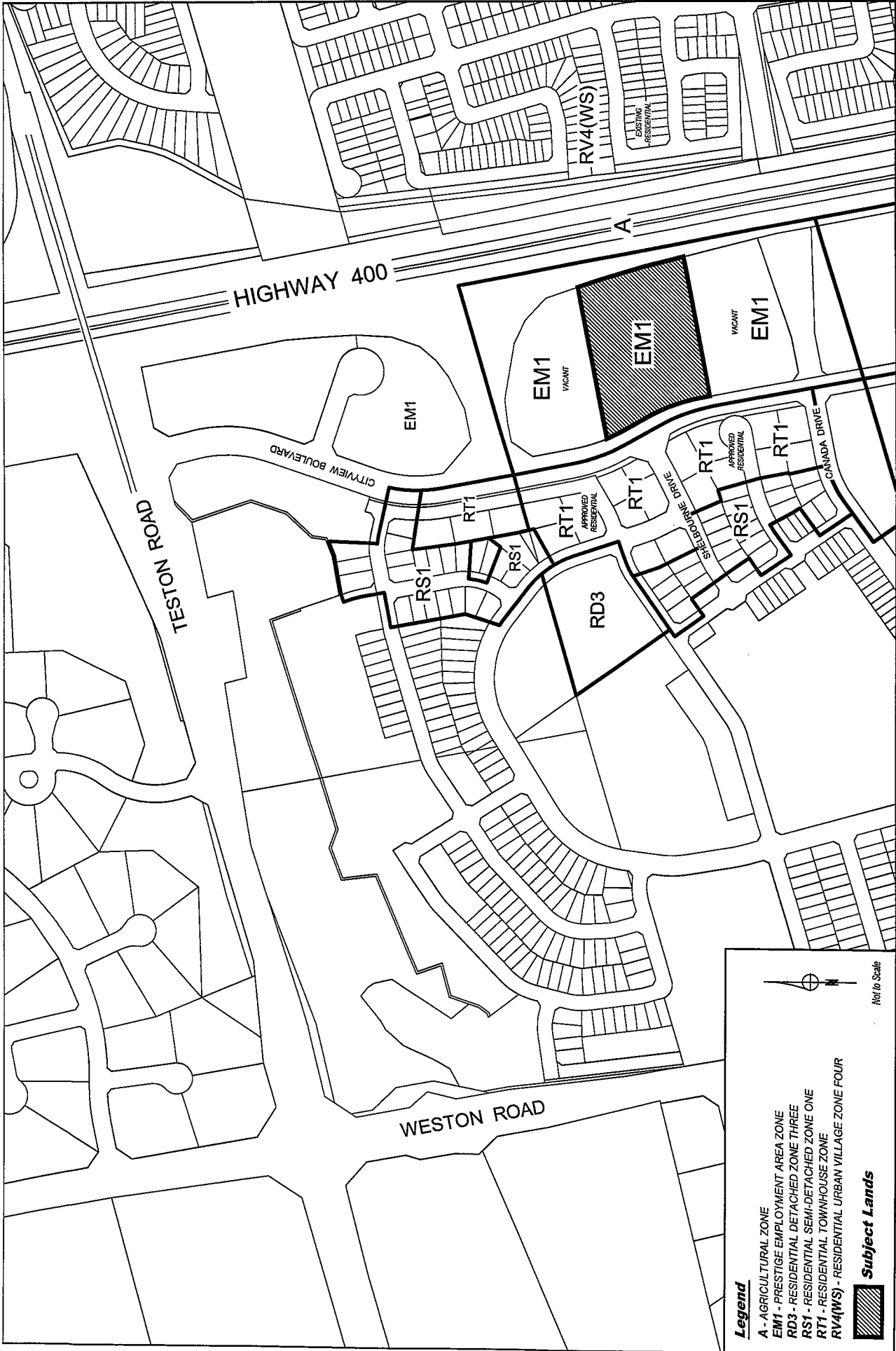
Christina Napoli, Planner, ext. 8485
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Grant Uyeyama, Manager of Development Planning, ext. 8635

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

MARCO RAMUNNO
Director of Development Planning

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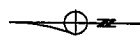


Legend

- A - AGRICULTURAL ZONE
- EM1 - PRESTIGE EMPLOYMENT AREA ZONE
- RD3 - RESIDENTIAL DETACHED ZONE THREE
- RS1 - RESIDENTIAL SEMI-DETACHED ZONE ONE
- RT1 - RESIDENTIAL TOWNHOUSE ZONE
- RV4(WS) - RESIDENTIAL URBAN VILLAGE ZONE FOUR



Subject Lands



Not to Scale

Location Map

Part of Lot 24,
Concession 5

APPLICANT:
STRATHERN HEIGHTS INVESTMENTS INC.

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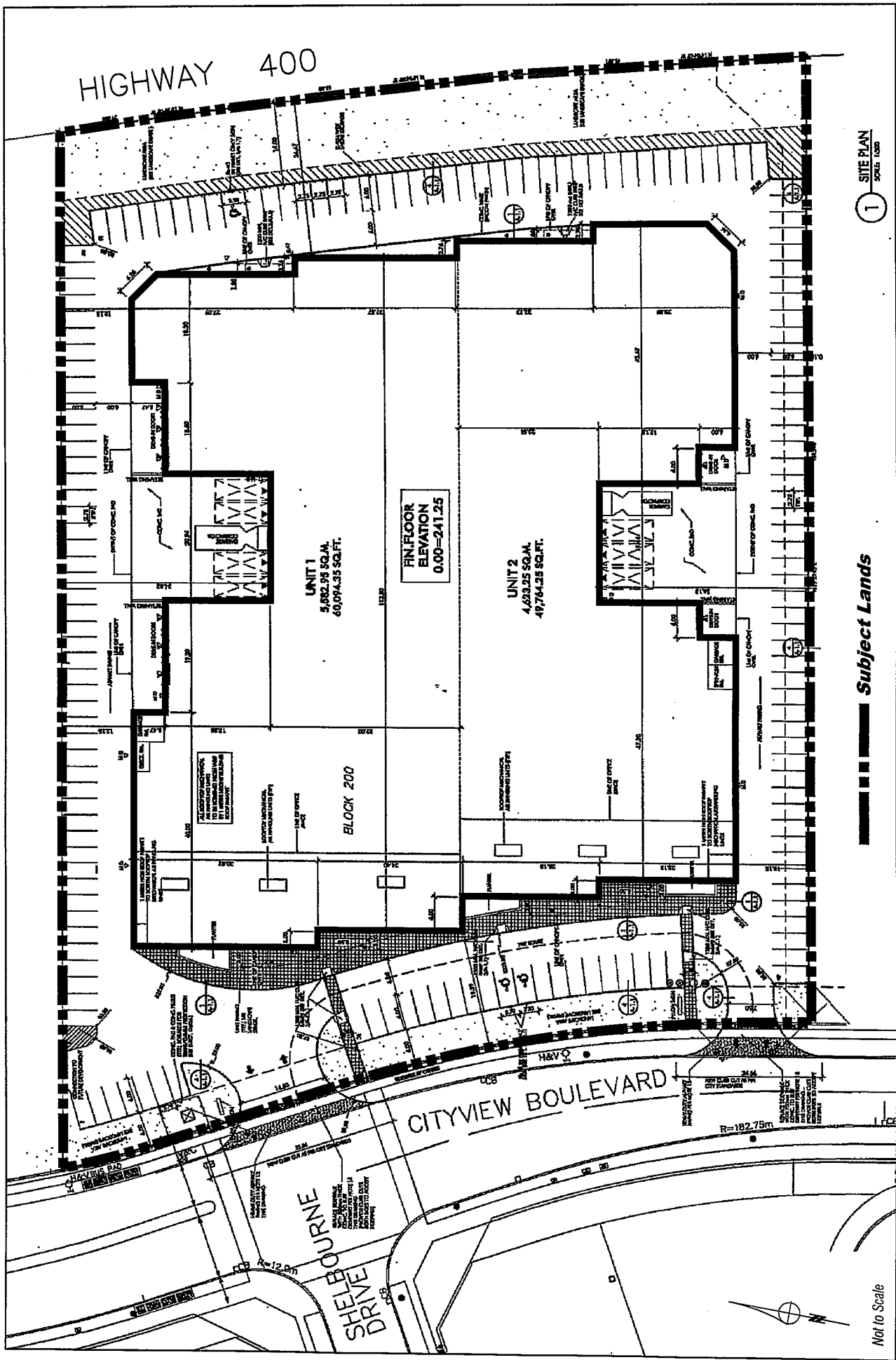
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Attachment 1

FILE No.: DA.07.004

May 10, 2007



Attachment 2

FILE No.: DA.07.004

May 10, 2007



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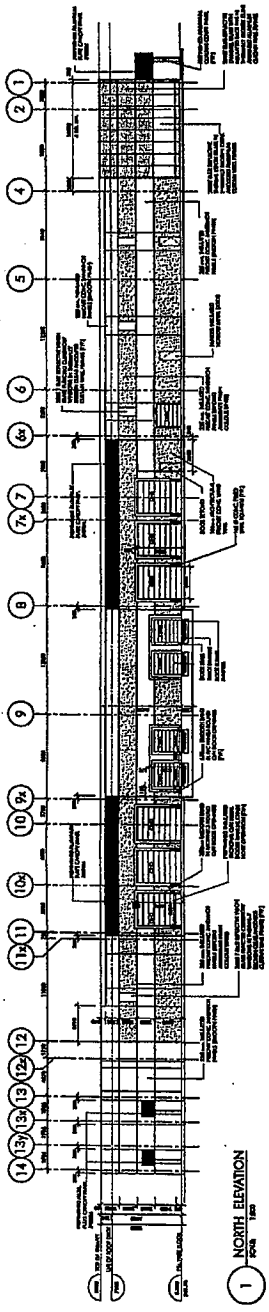
Development Planning Department

Site Plan

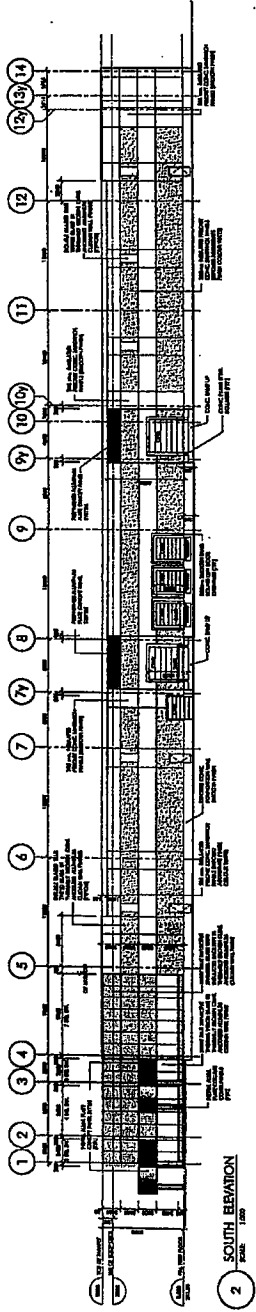
Part of Lot 24,
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APPLICANT:
STRATHERN HEIGHTS INVESTMENTS INC.

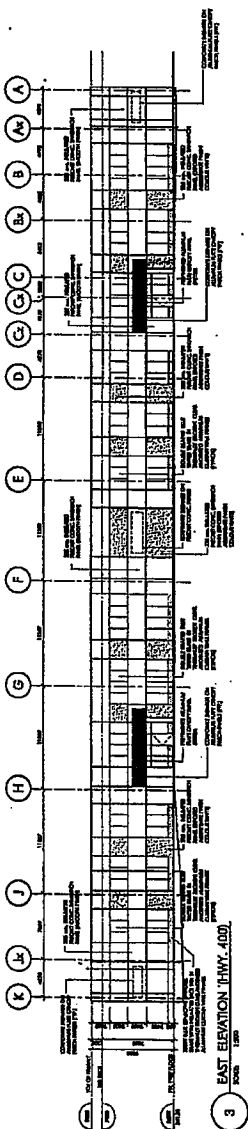
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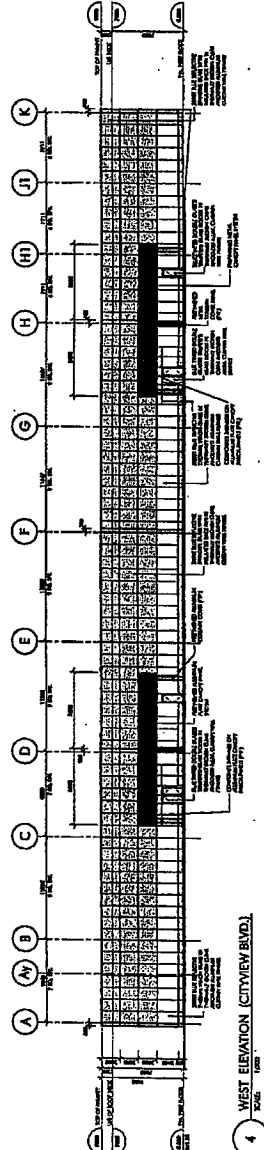
1 NORTH ELEVATION
SCALE: 1/8\"/>



2 SOUTH ELEVATION
SCALE: 1/8\"/>



3 EAST ELEVATION (THY. 400)
SCALE: 1/8\"/>



4 WEST ELEVATION (CITYVIEW BVD.)
SCALE: 1/8\"/>

Not to Scale

Elevations

Part of Lot 24,
Concession 5

APPLICANT:
STRATHERN HEIGHTS INVESTMENTS INC.
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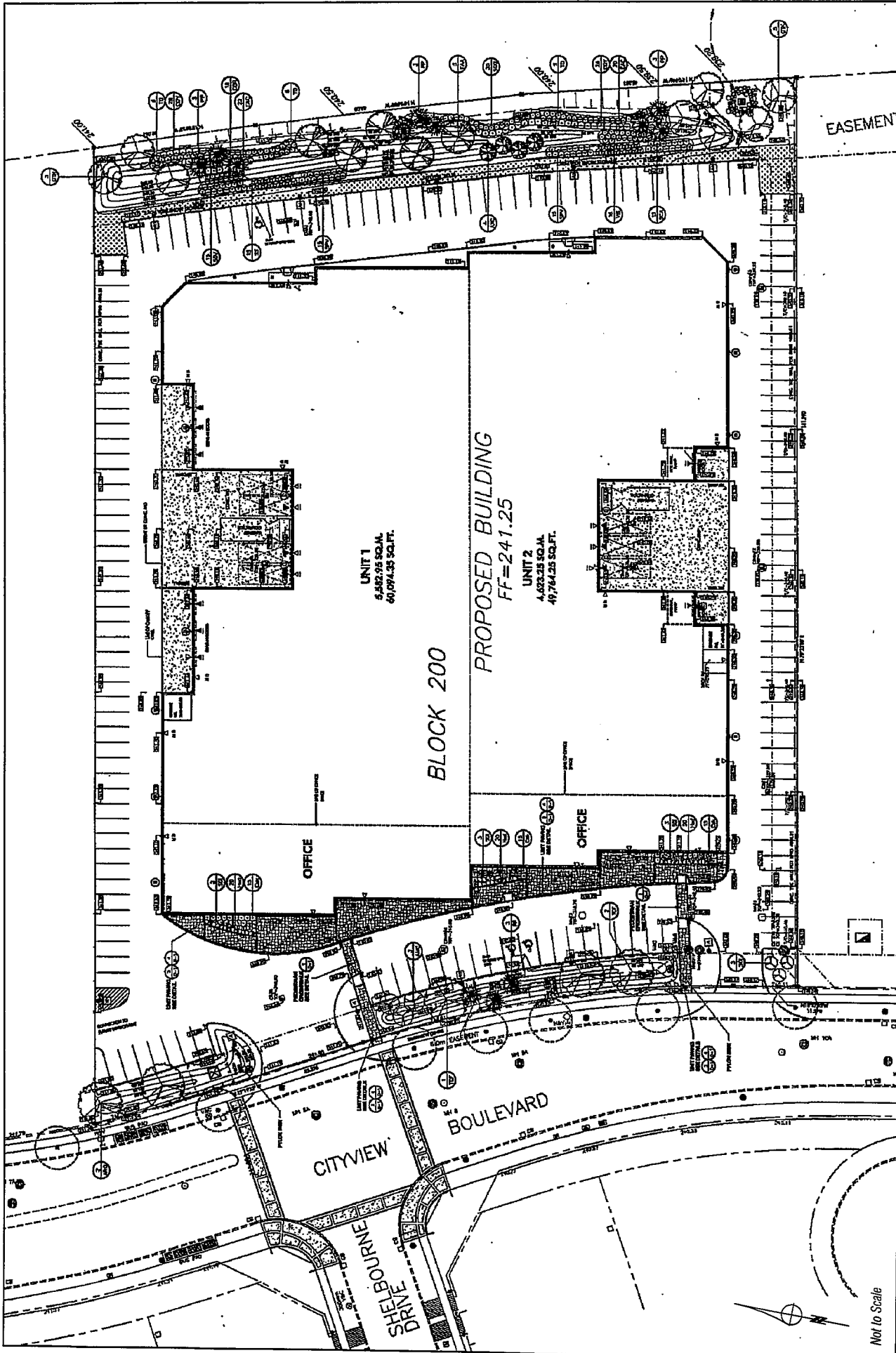
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Attachment 3

FILE No.: DA.07.004

May 10, 2007



Attachment 4

FILE No.: DA.07.004

May 10, 2007



Development Planning Department

Landscape

Part of Lot 24,
Concession 5

APPLICANT:
STRATHERN HEIGHTS INVESTMENTS INC.

LANDSCAPE ATTACHMENT DA.07.004.dwg