

**3. OFFICIAL PLAN AMENDMENT FILE OP.09.001
 ZONING BY-LAW AMENDMENT FILE Z.09.003
 TONY AND GERMANA GUGLIETTI
 WARD 1**

P.2009.17

Recommendation

The Commissioner of Planning recommends:

THAT the Public Hearing report for Files OP.09.001 and Z.09.003 (Tony and Germana Guglietti) BE RECEIVED; and that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Economic Impact

This will be addressed when the technical report is completed.

Communications Plan

On March 27, 2009, a Notice of Public Hearing was circulated to all property owners within 150 m of the subject lands. Additional polling was undertaken beyond the statutory 120 m required by the Planning Act for the area surrounding the subject lands as shown on Attachment #1, in consideration of the size of the proposed development. As of April 15, 2009, no comments have been received by the Development Planning Department. Any responses received will be addressed in a comprehensive report to a future Committee of the Whole meeting.

Purpose

The Owner has submitted the following applications on the subject lands shown on Attachment #1:

1. An Official Plan Amendment Application (File OP.09.001) to amend OPA #600, as amended by OPA #656, to:
 - a) increase the maximum density permitted on the property from 150 to 277 units per hectare resulting in an increase in the number of units permitted on the site from 325 to 600 units (ie. an additional 275 apartment units) and to permit ancillary commercial uses on the ground floor of each building; and,
 - b) increase the maximum building height from 10 to 22 storeys.

2. A Zoning By-law Amendment Application (File Z.09.003) to amend By-law 1-88, to rezone the westerly portion of the subject lands from RR Rural Residential Zone, A Agricultural Zone and OS5 Opens Space Environmental Protection Zone, subject to Exception 9(779) to RA3 Apartment Residential Zone with the addition of the Holding Symbol "H" and with the following zoning exceptions to implement the concept plan shown on Attachment #2;
 - a) a maximum building height of 22 storeys (74 m) whereas 44 m is permitted;
 - b) a minimum lot area of 35 m² per unit and a total lot area of 2.1 hectares, whereas 67 m² per unit and 4.02 ha required respectively;
 - c) a minimum rear yard setback of 4.0 m, whereas 7.5 m is required;

- d) the following parking standards;
 - i) Residential Apartment Dwelling - 1.1 parking spaces/unit, whereas 1.5 is required;
 - ii) Visitor Parking Spaces - 0.20 spaces/unit, whereas 0.25 is required; and,
 - iii) Commercial - 4.25 parking spaces per 100 m² of gross floor area, whereas 6.0 spaces is required;
- e) a minimum driveway width of 4.5 m, whereas 7.5 m is required;
- f) a minimum front yard setback for structures below grade to be 0.0 m, whereas 1.8 m is required;
- g) a minimum amenity area per unit, regardless of unit type of 28 m², whereas 15m², 20 m², 55 m² and 90 m² is required for a bachelor, one, two and three bedroom units respectively;
- h) an increase in the total number of residential units currently allowed on the subject lands, from 325 to 600 (ie. an additional 275 apartment units); and,
- i) permit the following commercial uses on the ground floor:
 - i) club or health centre;
 - ii) eating establishment;
 - iii) personal service shop;
 - iv) retail store;
 - v) day nursery; and,
 - vi) a bakery/coffee shop.

The proposed amendments would facilitate the development of the property with a total of 600 units within three, 22-storey apartment buildings, each with 200 units and as shown on Attachment #2. The proposal also includes ancillary ground floor commercial uses, limited to a club or health centre, eating establishment, personal service shop, retail store, convenience retail store, day nursery, a bakery and a coffee shop.

Background - Analysis and Options

The subject lands shown on Attachment #1 are located on the south side of Major Mackenzie Drive, east of Dufferin Street, known municipally as 1331 and 1381 Major Mackenzie Drive, in Part of Lot 20, Concession 2, City of Vaughan. The 3.14 ha site is currently developed with 2 residential dwellings. The surrounding land uses are shown on Attachment #1.

The subject lands are designated "High Density Residential/Commercial" by OPA #600, as amended by OPA #656. OPA #656 redesignated the subject lands from "Medium Density Residential/Commercial" to "High Density Residential/Commercial" and permits a total of 325 apartment units and ancillary commercial uses within two apartment buildings not to exceed a maximum height of 10-storeys. OPA #656 permits ground floor commercial uses on the property subject to the specific uses being defined in the zoning by-law.

The westerly portion of the subject property is zoned RR Rural Residential and OS2 Open Space Environmental Protection Zone and the balance of the site A Agricultural Zone, subject to Exception 9(779) as shown on Attachment #1. Exception 9(779) addresses zoning standards for the existing two residential dwellings on the subject lands. When OPA #656 was approved, Council also approved Zoning Amendment Application File Z.05.040, subject to Council's approval of a Site Development Application prior to the enactment of a Zoning By-law. A Site

Development Application has not been approved for the 10-storey development and therefore, an implementing by-law was never enacted.

The Owner no longer wishes to build the 325 apartment units as originally proposed and has revised the conceptual layout to add a third building and increase the height of each of the proposed buildings to 22-storeys, thereby providing an additional 275 units on the site, for a total of 600 units as shown on Attachment #2.

Preliminary Review

Following a preliminary review of the applications, the Development Planning Department has identified the following matters to be reviewed in greater detail:

- i) the applications will be reviewed in the context of the applicable Provincial policies, City and Regional Official Plan, By-law 1-88, and the existing and permitted development;
- ii) a complete Site Development Application should be submitted to facilitate a comprehensive review of the proposal with respect to the provision of proper access, traffic impact and circulation, parking, appropriate urban design, building elevations and massing, building height and shadow impact, landscaping and buffering, and stormwater management and engineering servicing requirements, that will be complementary to the surrounding area;
- iii) opportunities for sustainable design, including CEPTD (Crime Prevention Through Environmental Design), LEEDS (Leadership in Energy and Environmental Design), green roofs, etc, will be considered for inclusion within the development for implementation through policies included in the Official Plan and the site plan approval process, if approved;
- iv) the availability of water and sanitary sewage servicing capacity must be identified and allocated by Council, if approved; use of the Holding Symbol "(H)" may be required if servicing capacity is unavailable;
- v) the application will be reviewed in consideration of Zoning By-law 1-88, the permitted uses, and the surrounding land use context, to determine the appropriate development standards required to implement the proposal, if approved;
- vi) the Owner will be required to satisfy all requirements of the Region of York;
- vii) the Owner has submitted a Planning Analysis Report and a Height and Shadow Study in support of the applications. A Traffic Impact Study, Functional Servicing Report, Parking Report, Tree Inventory, Slope Stability study and Urban Design Guidelines have been requested. Any additional studies that may be required will be identified through the review of the application prior to the preparations of a technical report and consideration by Council; and,
- viii) the application will be reviewed in the context of the applicable policies of the Toronto and Region Conservation Authority, including the Valley and Stream Corridor Policies, appropriate building setbacks and buffers, and other regulations.

Relationship to Vaughan Vision 2020

The applicability of these applications to the Vaughan Vision will be determined when the technical report is considered.

Regional Implications

The applications have been circulated to the Region of York for review and comments. Any issues will be addressed when the technical report is considered.

Conclusion

The above issues, but not limited to, will be considered in the technical review of the applications, together with comments from the public and Council expressed at the Public Hearing or in writing, and be addressed in a comprehensive report to a future Committee of the Whole meeting. In particular, the proposal will be reviewed in light of the applicable Provincial policies, Regional and City Official Plan policies, the appropriateness and compatibility of the proposed amendments to increase the permitted density on the property in the context of the surrounding land uses, built form, environmental considerations, and the zoning standards required to implement the proposal, if approved.

Attachments

1. Location Map
2. Conceptual Site Plan
3. North Elevations (Conceptual)
4. South Elevations (Conceptual)
5. East Elevations (Conceptual)
6. West Elevations (Conceptual)

Report prepared by:

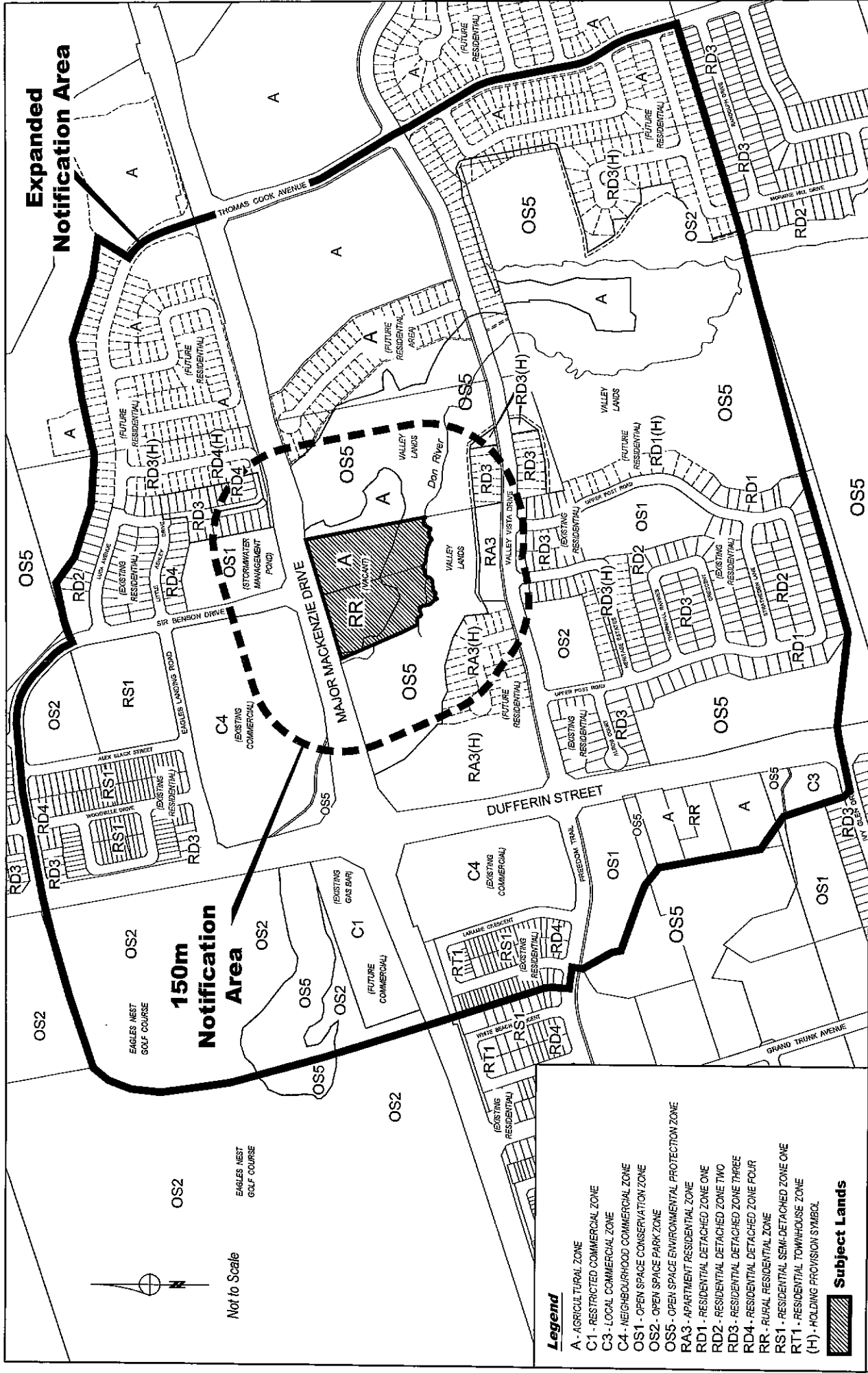
Laura Janotta, Planner, ext. 8634
Mauro Peverini, Manager of Development Planning, ext. 8212

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

GRANT UYEVAMA
Director of Development Planning

/LG



Legend

- A - AGRICULTURAL ZONE
- C1 - RESTRICTED COMMERCIAL ZONE
- C3 - LOCAL COMMERCIAL ZONE
- C4 - NEIGHBOURHOOD COMMERCIAL ZONE
- OS1 - OPEN SPACE CONSERVATION ZONE
- OS2 - OPEN SPACE PARK ZONE
- OS5 - OPEN SPACE ENVIRONMENTAL PROTECTION ZONE
- RA3 - APARTMENT RESIDENTIAL ZONE
- RD1 - RESIDENTIAL DETACHED ZONE ONE
- RD2 - RESIDENTIAL DETACHED ZONE TWO
- RD3 - RESIDENTIAL DETACHED ZONE THREE
- RD4 - RESIDENTIAL DETACHED ZONE FOUR
- RR - RURAL RESIDENTIAL ZONE
- RS1 - RESIDENTIAL SEMI-DETACHED ZONE ONE
- RT1 - RESIDENTIAL TOWNHOUSE ZONE
- (H) - HOLDING PROVISION SYMBOL

Subject Lands



Location Map

Part of Lot 20,
Concession 2,
APPLICANT:
TONY & GERMANA GUGLIETTI
NA:\DFT\1 ATTACHMENTS\OP\op_09.001.dwg



Development Planning Department

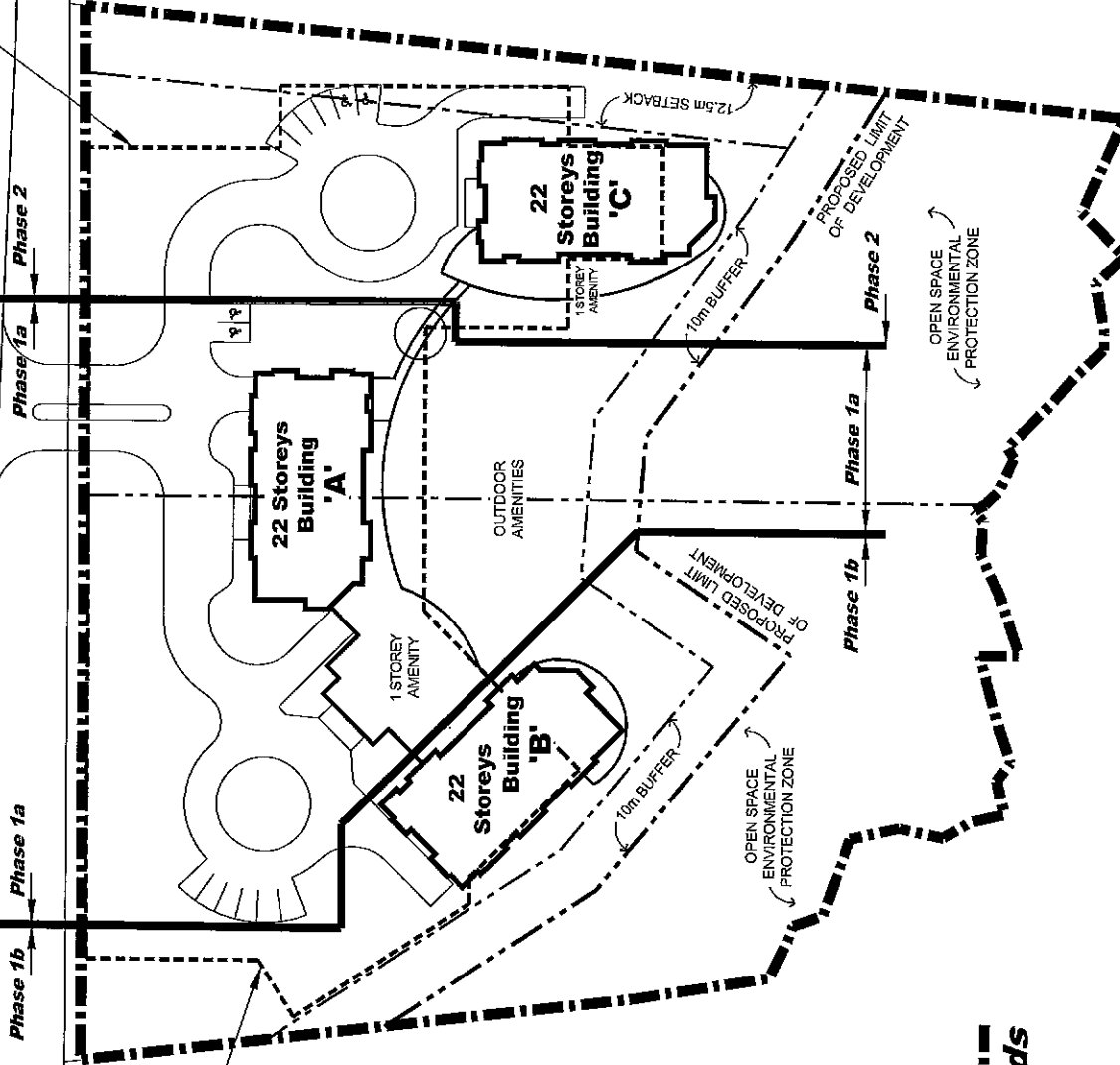
Attachment

FILES: OP_09.001,
Z.09.003
RELATED FILES:
OP_05.019, Z.05.040

April 09, 2009

MAJOR MACKENZIE DRIVE

Outline of U/G Parking Garage



Outline of U/G Parking Garage

Official Plan Amendment

Amendment to:

- i) increase the permitted density on the Subject Lands from 150 to 277 units per hectare resulting in an increase in the number of units from 325 to 600 units;
- ii) increase the maximum building height from 10 to 22 storeys and;
- iii) permit Commercial uses on the ground floor of each building.

Zoning Amendment

Rezone the Subject Lands from 'RR' Rural Residential Zone, 'A' Agricultural Zone & 'OS5' Open Space Environmental Zone to 'RA3' Residential Apartment Zone with site specific zoning exceptions.

Subject Lands

Conceptual Site Plan

Part of Lot 20, Concession 2

APPLICANT: TONY & GERMANA GUGLIETTI

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Development Planning Department

BUILDING 'C'
(22 STOREYS)

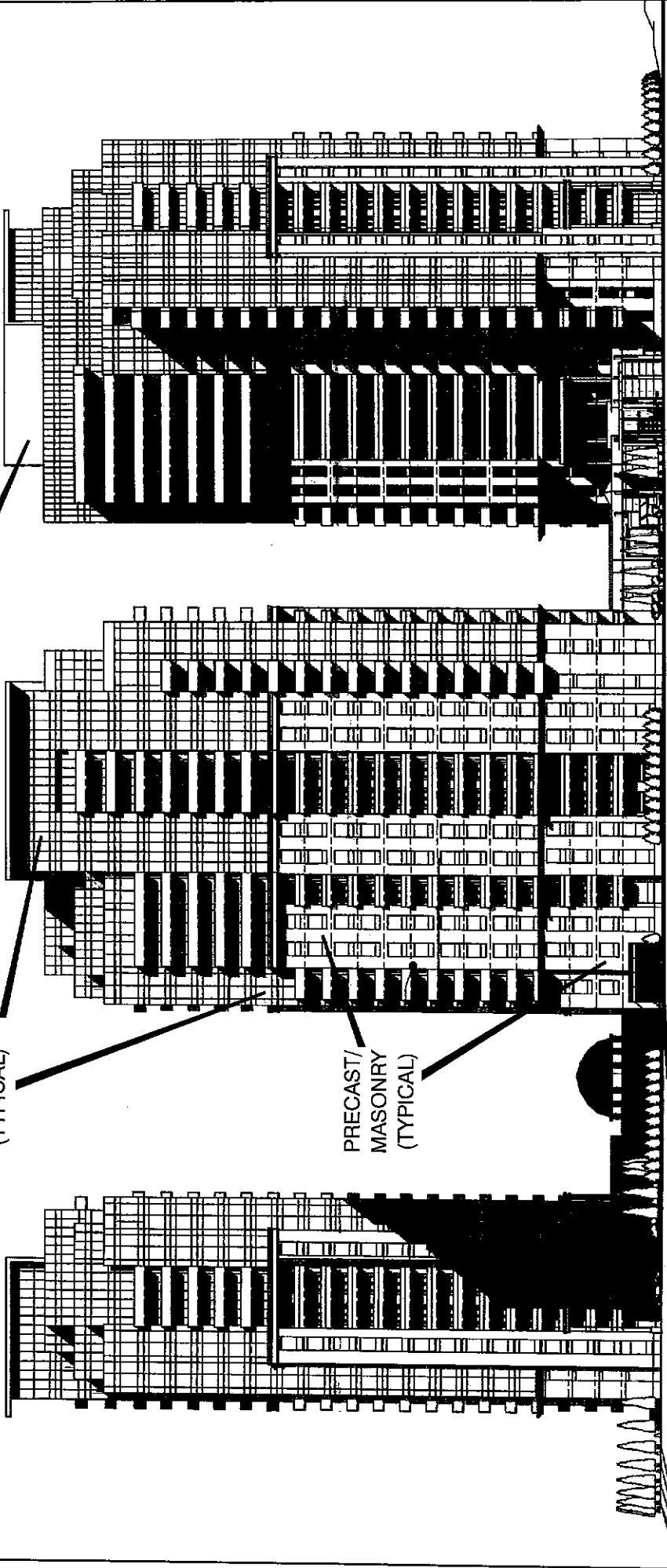
BUILDING 'A'
(22 STOREYS)

BUILDING 'B'
(22 STOREYS)

WINDOW WALL
(TYPICAL)

PRECAST
(TYPICAL)

PRECAST/
MASONRY
(TYPICAL)



NORTH ELEVATIONS (MAJOR MACKENZIE DRIVE)

Not to Scale

North Elevations (Conceptual)

Part of Lot 20,
Concession 2

APPLICANT:
TONY & GERMANA GUGLIETTI

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Attachment 3

FILES: OP.09.001,
Z.09.003
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BUILDING 'B'
(22 STOREYS)

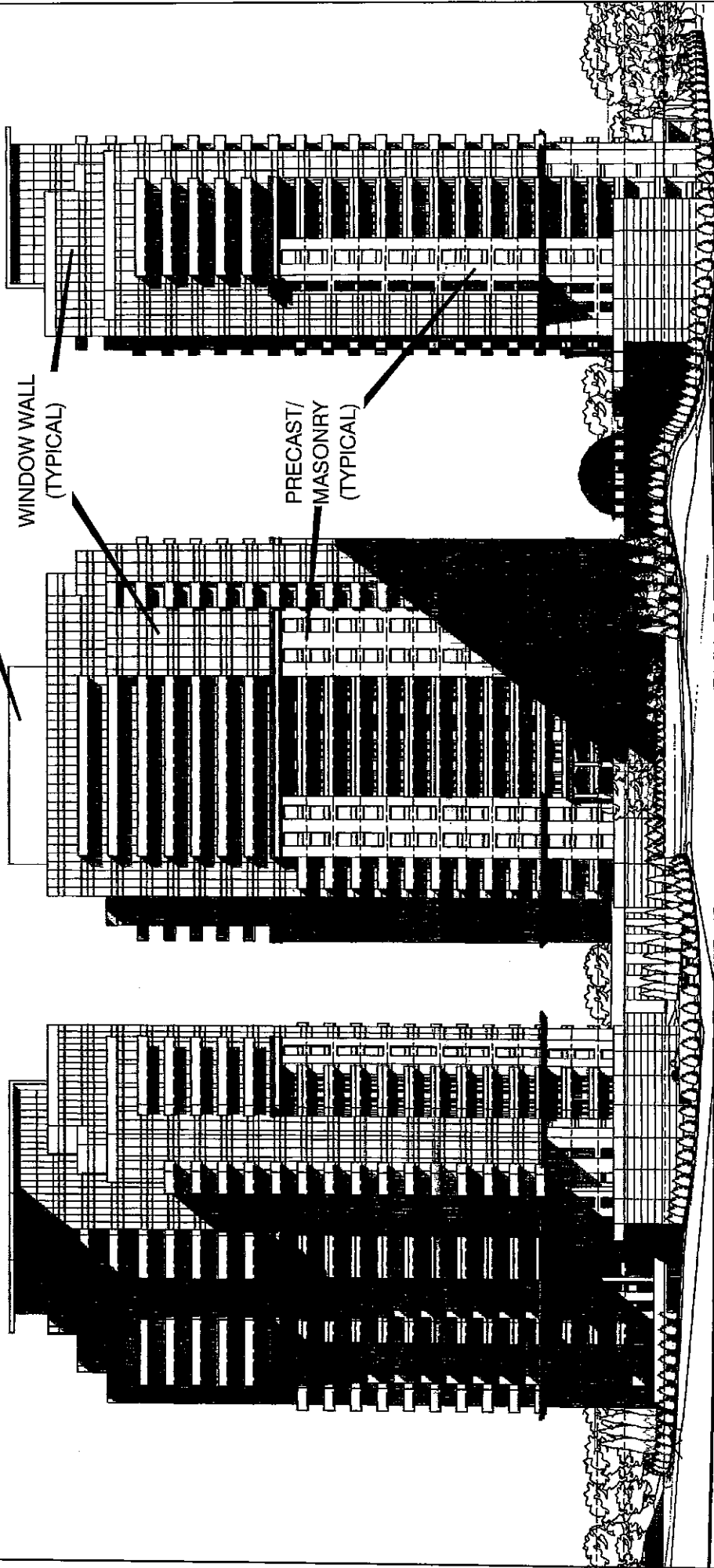
BUILDING 'A'
(22 STOREYS)

BUILDING 'C'
(22 STOREYS)

PRECAST
(TYPICAL)

WINDOW WALL
(TYPICAL)

PRECAST/
MASONRY
(TYPICAL)



SOUTH ELEVATIONS

Not to Scale

South Elevations (Conceptual)

Part of Lot 20,
Concession 2

APPLICANT:
TONY & GERMANA GUGLIETTI

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Development Planning Department

Attachment
 FILES: OP.09.001,
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BUILDING 'C'
(22 STOREYS)

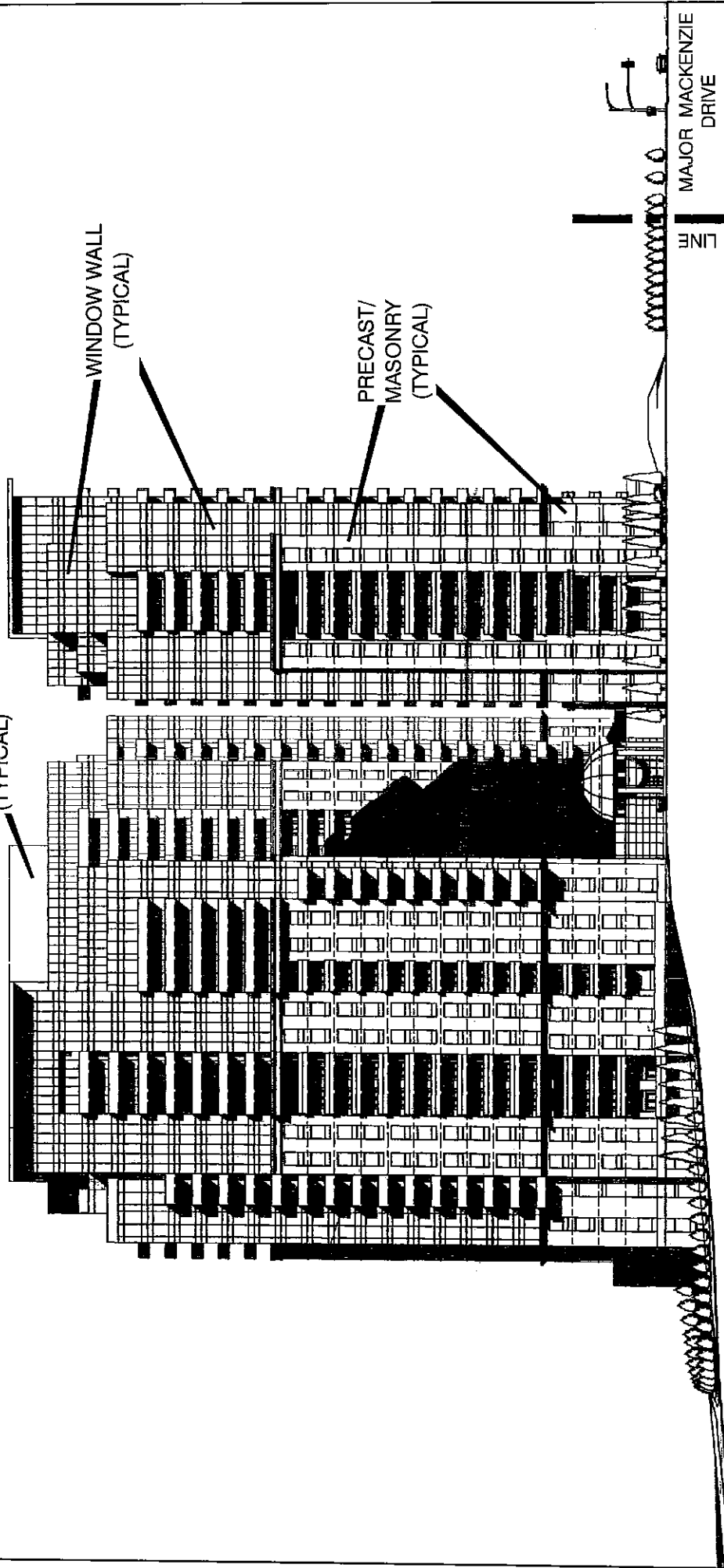
BUILDING 'B'
(22 STOREYS)

BUILDING 'A'
(22 STOREYS)

PRECAST
(TYPICAL)

WINDOW WALL
(TYPICAL)

PRECAST/
MASONRY
(TYPICAL)



EAST ELEVATIONS

Not to Scale

East Elevations (Conceptual)

Part of Lot 20,
Concession 2

APPLICANT:
TONY & GERMANA GUGLIETTI

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Attachment
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 FILES: OP.09.001,
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BUILDING 'A'
(22 STOREYS)

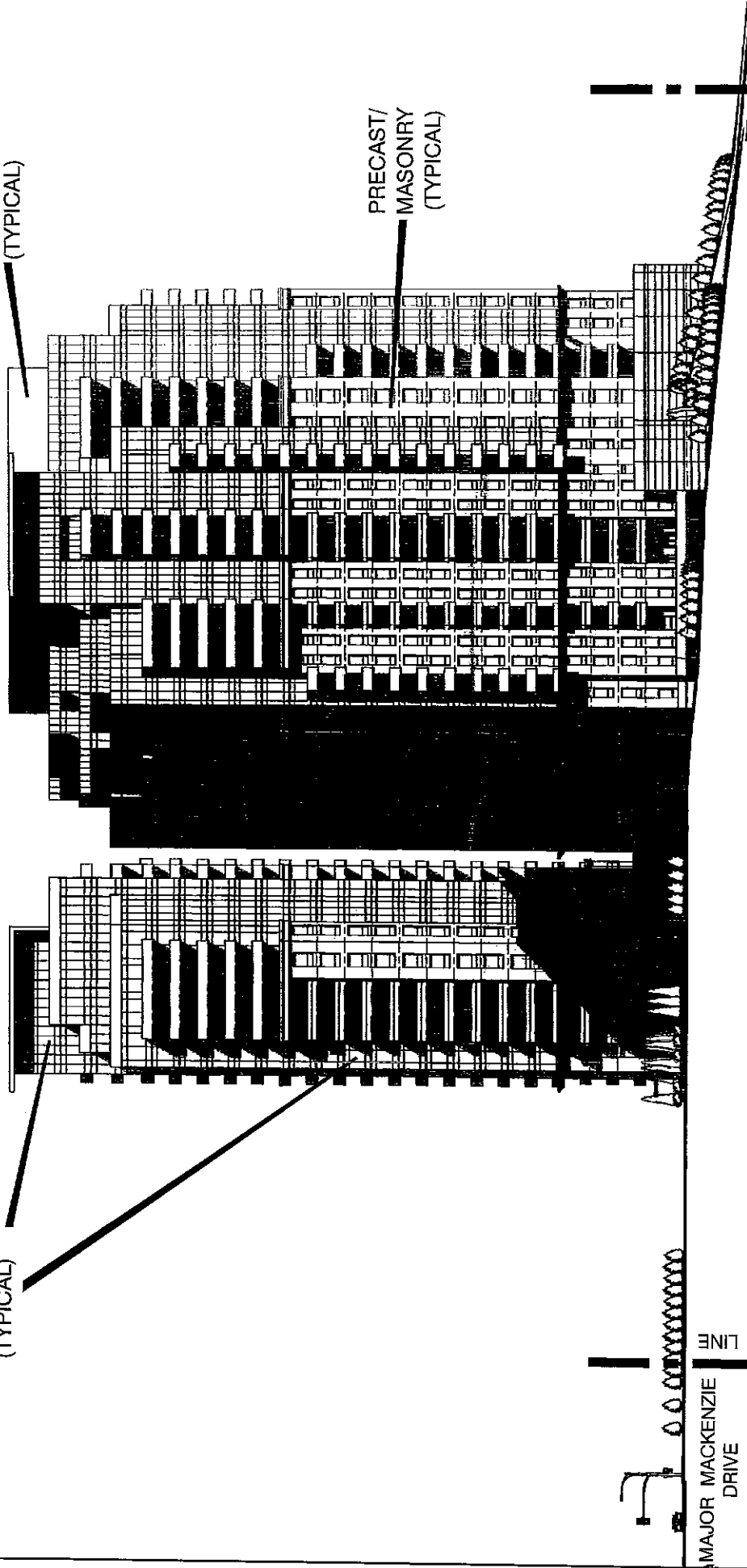
BUILDING 'B'
(22 STOREYS)

BUILDING 'C'
(22 STOREYS)

WINDOW WALL
(TYPICAL)

PRECAST
(TYPICAL)

PRECAST/
MASONRY
(TYPICAL)



PROPERTY LINE

Not to Scale

WEST ELEVATIONS

MAJOR MACKENZIE DRIVE
PROPERTY LINE

West Elevations (Conceptual)

Part of Lot 20,
Concession 2

APPLICANT:
TONY & GERMANA GUGLIETTI
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Attachment 6
FILES: OP.09.001,
Z.09.003
RELATED FILES:
OP.05.019, Z.05.040
April 09, 2009