

**2. OFFICIAL PLAN AMENDMENT FILE OP.09.002
ZONING BY-LAW AMENDMENT FILE Z.09.009
MADISON BATHURST HOLDINGS LIMITED
WARD 5**

P.2009.19

Recommendation

The Commissioner of Planning recommends:

1. THAT the Public Meeting report for Files OP.09.002 and Z.09.009 (Madison Bathurst Holdings Limited) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

Economic Impact

This will be addressed when the technical report is completed.

Communications Plan

- a) Date the Notice of a Public Meeting was circulated: April 17, 2009.
- b) Circulation Area: 150 m and additional polling as shown on Attachment #2.
- c) One (1) Comment has been Received as of May 1, 2009, from a Vaughan resident who has no objection to the proposal, but is concerned with future traffic volumes increasing along Bathurst Street.

Purpose

The Owner has submitted the following applications on the 0.888 ha subject lands shown on Attachments #1 and #2, to facilitate the following residential development shown on Attachments #3 to #5:

- a) a 6-storey, 138 suite assisted living seniors retirement residence with a children's day nursery use on the ground floor; and,
 - b) a 15-storey, 156 unit seniors condominium apartment building, with 7 ground level podium townhouse units fronting onto Bathurst Street.
1. An Official Plan Amendment Application (File OP.09.002) to amend the policies of OPA #600, as follows:

	Current OPA #600 Official Plan Designation and Policies ("Medium Density Residential- Commercial")	Proposed Amendments to OPA #600
a)	Lands are designated "Medium Density Residential – Commercial"	Redesignate the subject lands to "High Density Residential – Commercial"
b)	Maximum 4-storey apartment buildings	Current maximum is 12 storeys under the "High Density Residential-Commercial" designation. Proposal to permit 15 storeys for one of the apartment buildings.

	Current OPA #600 Official Plan Designation and Policies ("Medium Density Residential- Commercial")	Proposed Amendments to OPA #600
c)	Maximum net site density 60 units/ha (53 units)	Current maximum density is 150 units/ha (133 units) under the "High Density Residential-Commercial" designation. Proposal to permit a maximum density of 339 units/ha (301 units). Applicant is proposing to utilize an equivalent density measure of 3.11 FSI (Floor Space Index) to facilitate a maximum building size of 27,650.37 m ² .
d)	Permits a Day Nursery (children) use in Medium "Density Residential – Commercial" designation	To permit a Day Nursery (children) use within the "High Density Residential - Commercial" designation

2. A Zoning By-law Amendment Application (File Z.09.009) to rezone the subject lands from A Agricultural Zone to RA3 Apartment Residential Zone with the following exceptions to the RA3 Zone standards of By-law 1-88:

	By-law Standard	By-law 1-88 Requirements and Permissions for RA3 Zone	Proposed Exceptions to RA3 Zone
a.	Minimum Parking requirements	530 spaces	270 spaces
b.	Minimum landscaped strip widths	6.0m landscape strip abutting street lines and 2.4m abutting a Residential Zone	i) 1.5m abutting Bathurst Street; ii) 2.23m abutting Lebovic Campus Drive; iii) 3.4m abutting Gesher Crescent; iv) 0.5m abutting a Residential Zone
c.	Minimum Setback to front lot line for portions of the building below grade	1.8m	0m
d.	Permitted uses	i) Apartment Dwelling	i) Townhouse units ii) Assisted Living Seniors Retirement Residence

	By-law Standard	By-law 1-88 Requirements RA3 Zone Permissions & Requirements	Proposed Exceptions to RA3 Zone
e.	Minimum amenity area	Bachelor unit - 15m ² 1 bedroom unit - 20m ² 2 bedroom unit - 55m ² Total Required: 8,170m ²	Total amenity area of 2,410m ² regardless of unit type
f.	Minimum lot area per unit	67m ² /unit	29.51m ² /unit
g.	Minimum Yards	Front (Bathurst St.) - 7.5m Rear (Geshar Cres.) - 7.5m Interior (North property line) -½ building height = 28.2m Exterior (Lebovic Campus) - 7.5m	1.5m 3.0m 5.0m 2.0m
h.	Definition of a Lot	Lot – Means a parcel of land fronting onto a street separate from any abutting land to the extent that a consent would not be required for its conveyance.	Revise definition to have subject lands considered as one lot for zoning purposes regardless of future consents, easements, etc.
i.	Loading space	Not permitted between a building and a street	Permit a loading space between a building and a street.

Additional zoning exceptions may be required as identified through the review of the applications.

Background - Analysis and Options

Location - Northwest corner of Bathurst Street and Lebovic Campus Drive, shown as "Subject Lands" on Attachments #1 and #2.

Surrounding Land Uses - Shown on Attachment #2.

Preliminary Review

Following a preliminary review of the applications, the Development Planning Department has identified the following matters to be reviewed in greater detail:

a. **Conformity with Provincial Policies, and Regional and City Official Plans**

The applications will be reviewed in the context of the applicable Provincial policies, and Regional and City Official Plan policies.

b. Appropriateness of Proposed Uses and Amendments

The appropriateness of permitting the proposed residential retirement and children's day nursery uses on the subject lands will be reviewed in consideration of the proposed density, amendments to the Official Plan and Zoning By-law, and compatibility with other uses on the site and in the surrounding area.

c. Urban Design and Architectural Guidelines

An Urban Design Brief has been submitted to demonstrate conformity of the proposed development with the applicable Block 11 Urban Design and Architectural Guidelines. The Sun/Shadow Study submitted in support of the applications will also be reviewed.

d. Site Development Application

A complete Site Development Application should be submitted to facilitate a comprehensive review of the proposal with respect to the provision of proper access, traffic impact and circulation, parking, appropriate urban design, building elevations and massing, building height and shadow impact, landscaping and buffering, stormwater management and engineering servicing and grading requirements that will be complementary to the surrounding area.

e. Traffic Impact Study

The Transportation and Traffic Study/Parking Study submitted in support of the application must be reviewed and approved by the Region of York and the Vaughan Engineering Department.

f. Sustainable Development

Opportunities for sustainable design, including LEEDS (Leadership in Energy and Environmental Design), permeable pavers, bio-swales, drought tolerant landscaping, bicycle racks to promote alternative modes of transportation, energy efficient lighting, reduction in pavement and roof-top treatment to address the "heat island" effect, green roofs, etc., and CEPTD (Crime Prevention Through Environmental Design), will be reviewed and implemented through the site plan approval process, if approved.

g. Phase 1 Environmental Report

The Phase 1 ESA (Environmental Site Assessment) submitted in support of the application must be approved to the satisfaction of the Vaughan Engineering Department.

h. Region of York

The Owner will be required to satisfy all requirements of the Region of York.

i. Servicing

A Functional Servicing Report has been submitted. The availability of water and sanitary sewage servicing capacity must be identified and allocated by Council, if approved; use of the Holding Symbol "(H)" may be required if servicing capacity is unavailable.

j. Phasing

The project is proposed to be developed in phases; use of the Holding Symbol "(H)" may be required to implement phases of the development, if approved.

k. Other Studies

The applicant has also submitted a Wind Study and Noise Study, which must be approved to the satisfaction of the Vaughan Engineering Department, and an Archaeology Study, which must be approved to the satisfaction of the Vaughan Cultural Services Division.

Relationship to Vaughan Vision 2020/Strategic Plan

The applicability of these applications, to the Vaughan Vision will be determined when the technical report is considered.

Regional Implications

The applications have been circulated to the Region of York for review and comment. Any issues will be addressed when the technical report is considered. The Owner has not applied for an exemption from Regional Approval of the Official Plan Amendment. Should the City approve the application, final approval will be required from the Region of York.

Conclusion

The preliminary issues identified in this report and any other issues and required studies identified through the processing of the applications will be considered in the technical review of the applications, together with comments from the public and Council expressed at the Public Meeting or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

Attachments

1. Context Location Map
2. Location Map
3. Conceptual Site Plan
4. Conceptual East and South Elevations
5. Conceptual West and North Elevations

Report prepared by:

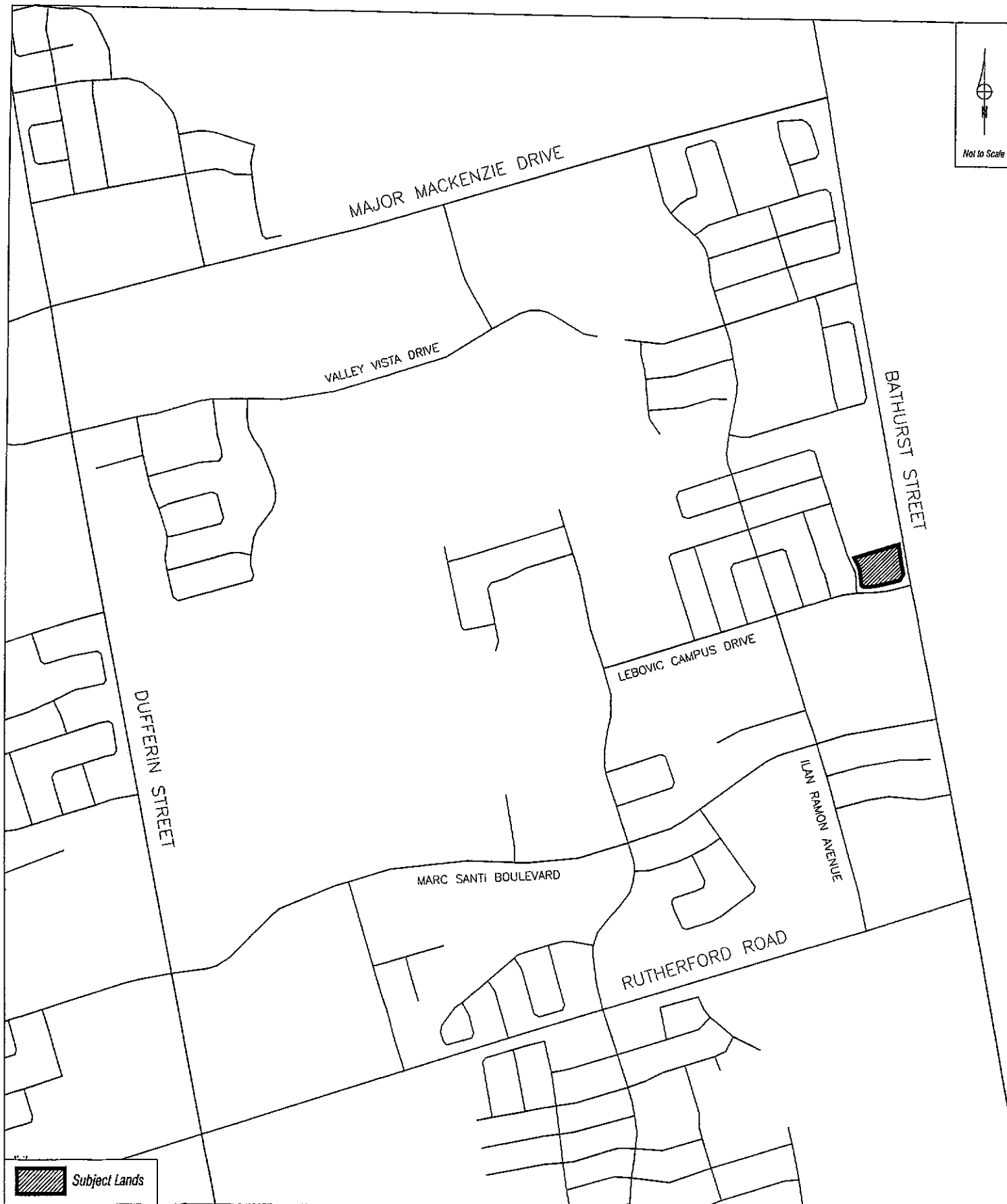
Laura Janotta, Planner, ext. 8634
Mauro Peverini, Manager of Development Planning, ext. 8407

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

GRANT UYEVAMA
Director of Development Planning

/CM



Context Location Map

Part of Lot 17,
Concession 2

APPLICANT:
MADISON BATHURST HOLDINGS LIMITED

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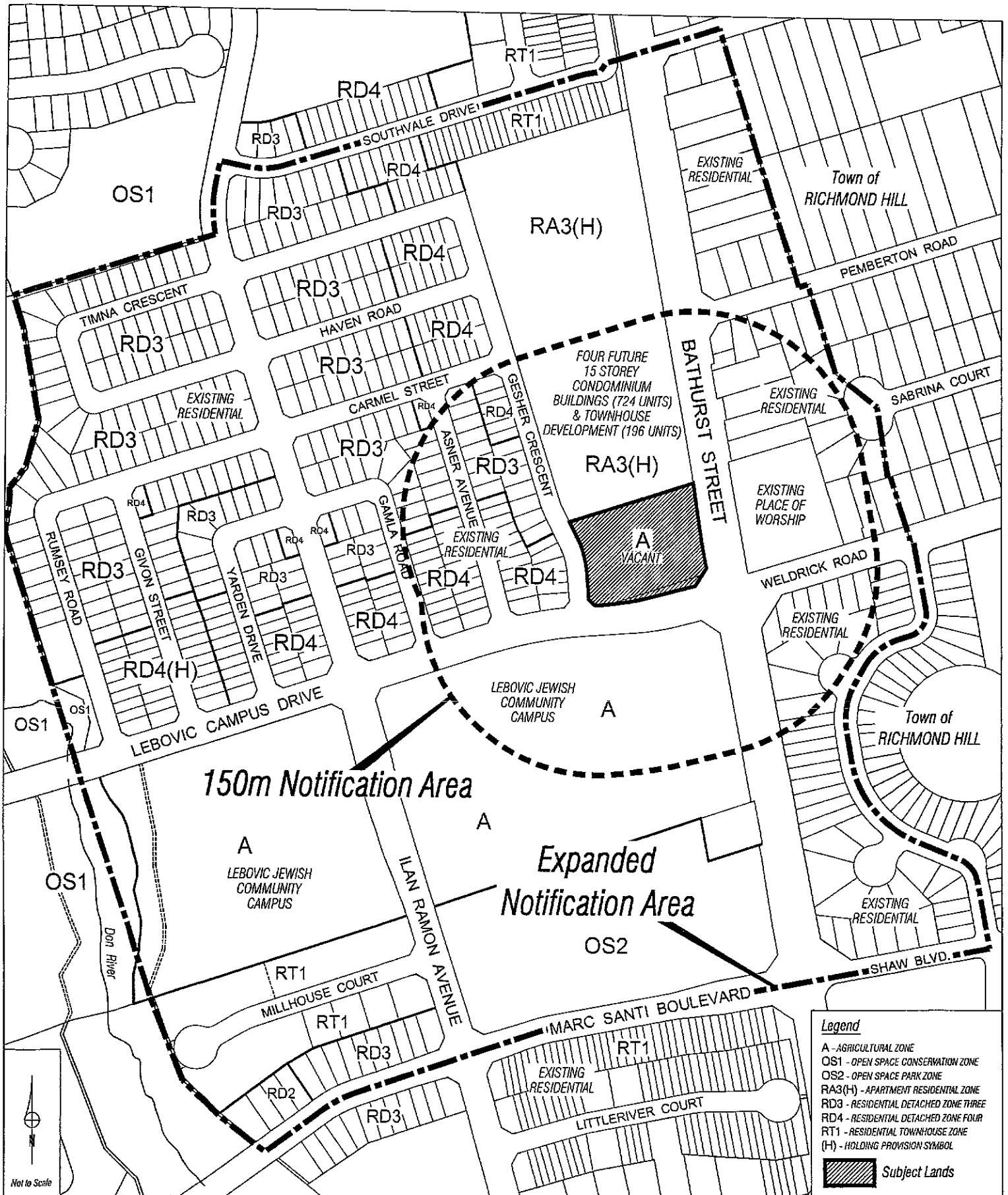
Development Planning Department

Attachment

FILES:
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April 09, 2009



Legend

- A - AGRICULTURAL ZONE
- OS1 - OPEN SPACE CONSERVATION ZONE
- OS2 - OPEN SPACE PARK ZONE
- RA3(H) - APARTMENT RESIDENTIAL ZONE
- RD3 - RESIDENTIAL DETACHED ZONE THREE
- RD4 - RESIDENTIAL DETACHED ZONE FOUR
- RT1 - RESIDENTIAL TOWNHOUSE ZONE
- (H) - HOLDING PROVISION SYMBOL

Subject Lands

Location Map

Part of Lot 17,
Concession 2

APPLICANT:
MADISON BATHURST HOLDINGS LIMITED

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The City Above Toronto

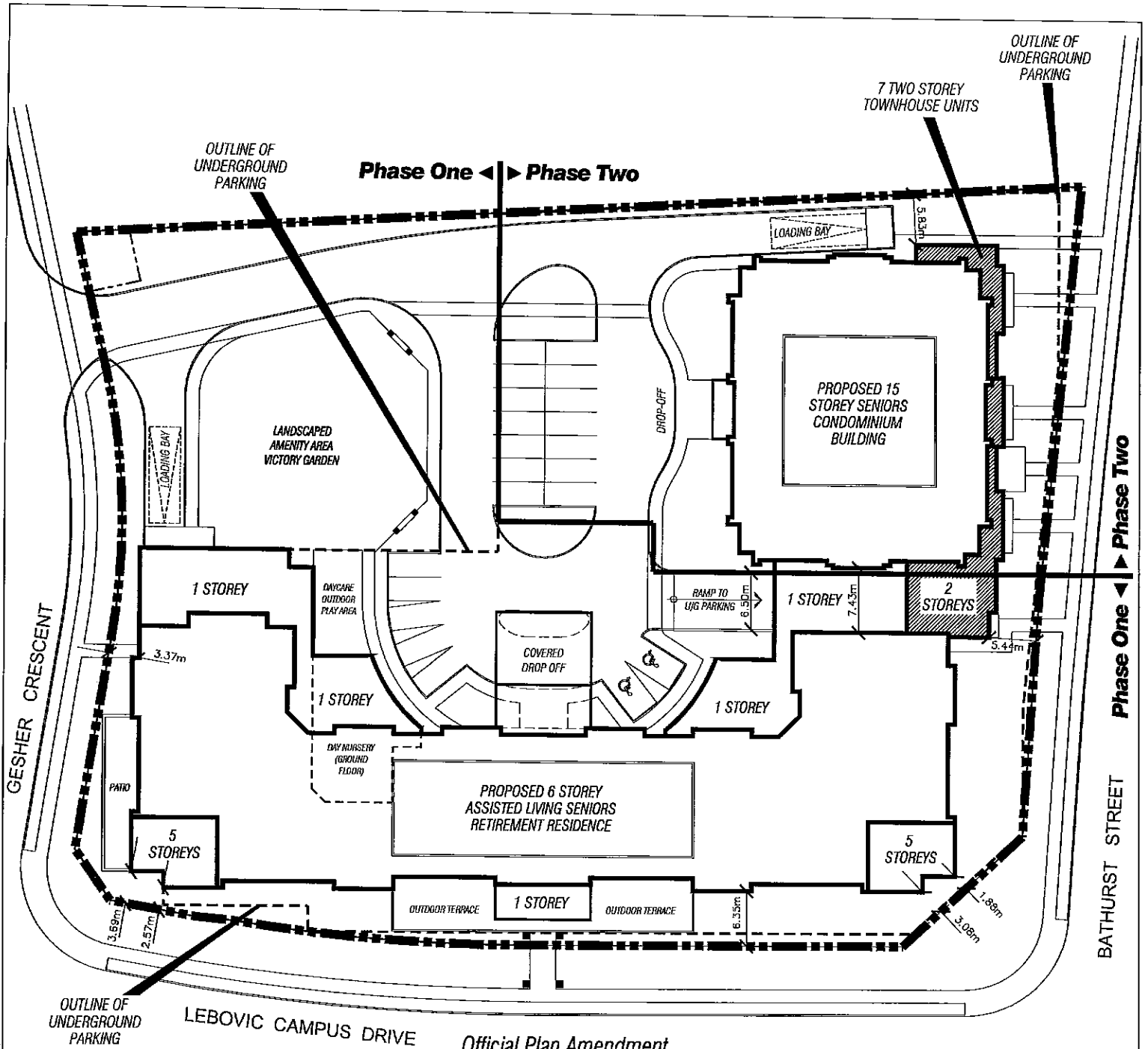
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Attachment

FILES:
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Official Plan Amendment

Amend OPA 600 to redesignate the Subject Lands from 'Medium Density Residential-Commercial' to 'High Density Residential-Commercial' and permit the following amendments:

- i) increase the maximum permitted building height from 4 storeys to 15 storeys;
- ii) increase the maximum net density from 60 units/ha (53 units) to 339 units/ha (301 units) to utilize an equivalent density measure of 3.11 FSI, and;
- iii) permit a children's day nursery use within an assisted living seniors retirement residence.

Zoning By-Law Amendment

Rezone the Subject Lands from 'A' Agricultural Zone to 'RA3' Apartment Residential Zone with site specific zoning exceptions.



Not to Scale

Subject Lands

Conceptual Site Plan

Part of Lot 17,
Concession 2

APPLICANT:
MADISON BATHURST HOLDINGS LIMITED

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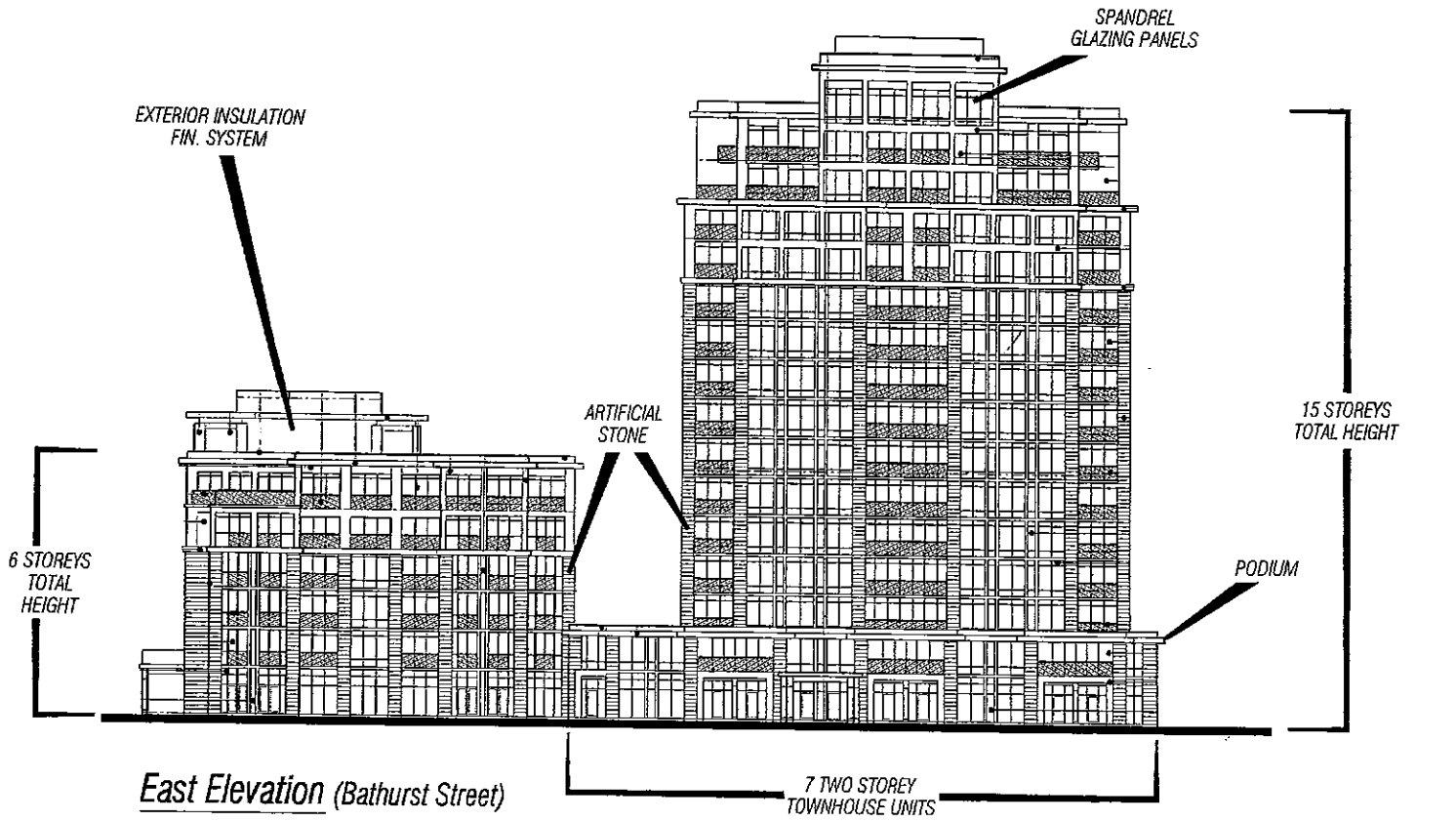
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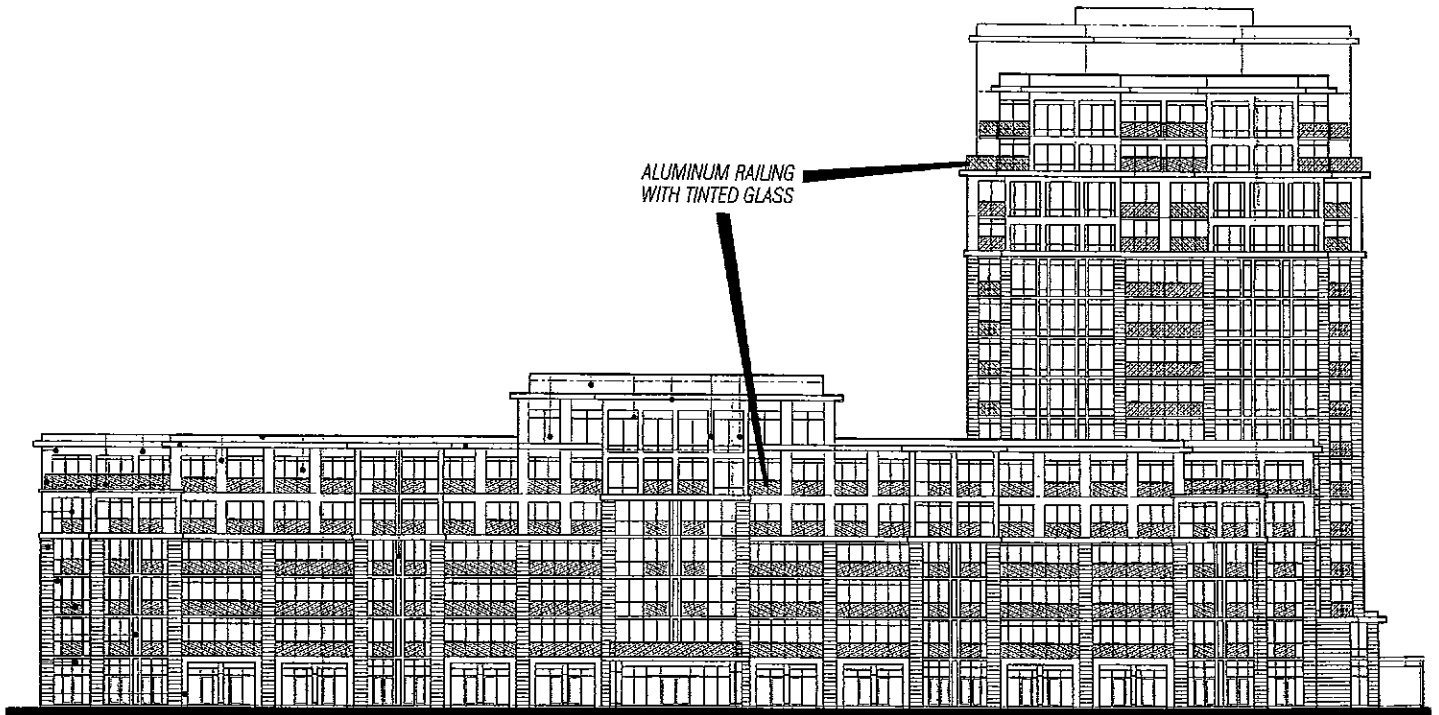
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East Elevation (Bathurst Street)



South Elevation (Lebovic Campus Drive)

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Conceptual East & South Elevations

APPLICANT: MADISON
BATHURST HOLDINGS LIMITED

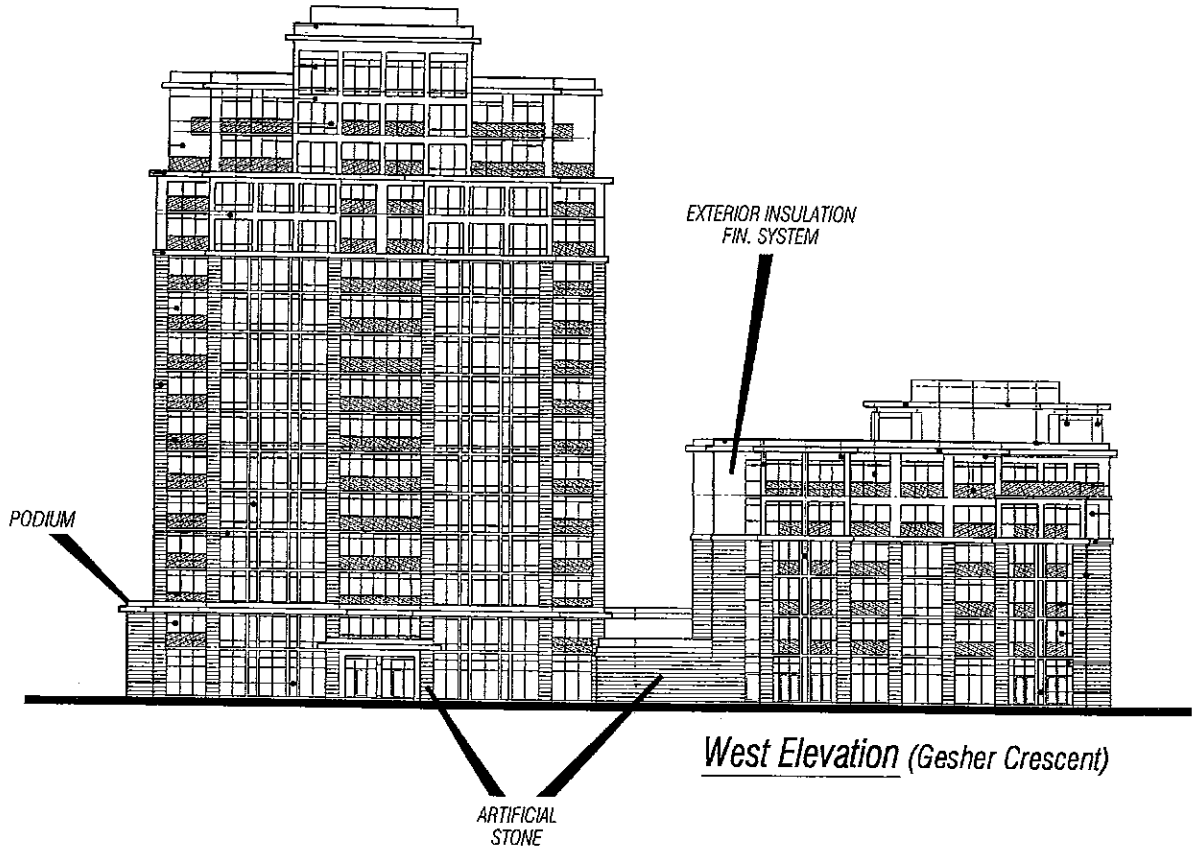
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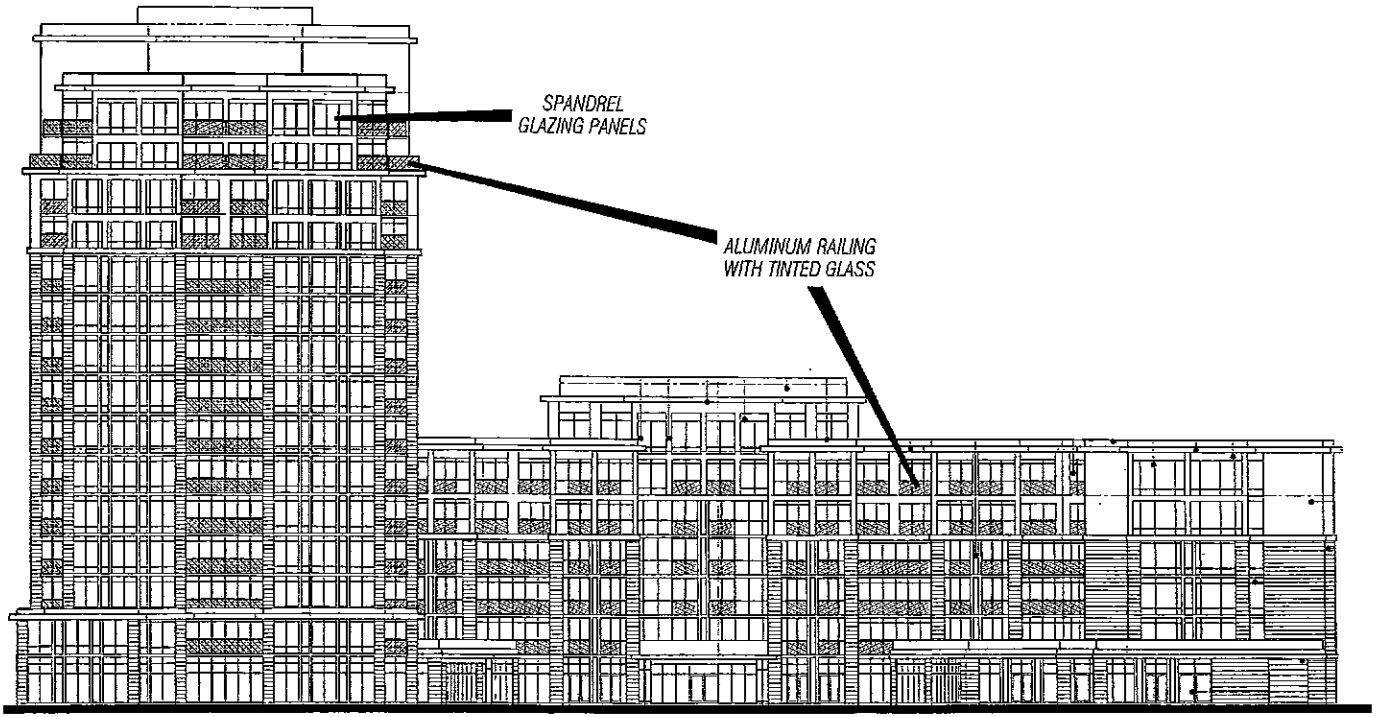
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West Elevation (Gesher Crescent)



North Elevation



Not to Scale

Conceptual West & North Elevations

APPLICANT: MADISON BATHURST HOLDINGS LIMITED

Part of Lot 17, Concession 2



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Attachment

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April 09, 2009

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