

**COMMITTEE OF THE WHOLE JUNE 23, 2009**

**OFFICIAL PLAN AMENDMENT FILE OP.08.011  
ZONING BY-LAW AMENDMENT FILE Z.08.046  
SITE DEVELOPMENT FILE DA.09.024  
YORK MAJOR HOLDINGS INC.  
WARD 1**

**Recommendation**

The Commissioner of Planning recommends:

1. THAT Official Plan Amendment File OP.08.011 (York Major Holdings Inc.) BE APPROVED to redesignate the subject lands from "Open Space" and "North Maple Residential Area – Executive Residential" to a site-specific official plan designation of "North Maple Residential Area – Assisted Accommodation" (tableland) and "Open Space" (i.e. the lands to be rezoned RA3 and OS5, respectively, as shown on Attachment #3, to implement the respective Official Plan designations).
2. THAT Zoning By-law Amendment File Z.08.046 (York Major Holdings Inc.) BE APPROVED, to rezone the subject lands from OS5 Open Space Environmental Protection Zone and A Agricultural Zone to RA3 Apartment Residential Zone (tableland) and OS5 Open Space Environmental Protection Zone (valleylands) in the manner shown on Attachment #3, to facilitate the development of the tablelands shown on Attachments #1 and #2 for a 6-storey, 137-unit, 12,588 m<sup>2</sup> senior's residential apartment building that will cater to an adult lifestyle residential community, with the following exceptions:

<b>By-law 1-88 Standard</b>	<b>By-law 1-88 Requirements of the RA3 Zone</b>	<b>Proposed Exceptions to the RA3 Zone</b>
<b>Minimum Rear Yard Setback</b>	7.5 m to the OS5 Zone Line	1.7 m to the OS5 Zone Line
<b>Minimum Exterior Side Yard Setback</b>	7.5 m along Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Landscape Strip Width Along a Street</b>	6.0 m along Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Required Parking</b>	241 (206 spaces plus 35 visitor spaces)	72 (49 spaces plus 23 visitor spaces)
<b>Minimum Required Handicap Parking</b>	3	2
<b>Minimum Required Amenity Area</b>	3,155 m <sup>2</sup>	2,693 m <sup>2</sup>

3. THAT Site Development File DA.09.024 (York Major Holdings Inc.) BE APPROVED, subject to the following conditions:
  - a) that prior to the execution of the Site Plan Letter of Undertaking:
    - i) the final site plan, building elevations, and the brick and colour samples shall be approved to the satisfaction of the Vaughan Development Planning Department;

- ii) the final landscape plan and cost estimate, edge management landscape plan, existing vegetation assessment and tree preservation plan, and restoration planting plan shall be approved to the satisfaction of the Vaughan Development Planning Department, in consultation with the Toronto and Region Conservation Authority (TRCA);
- iii) the final site servicing and grading plan, stormwater management report, and Erosion and Sediment Control Plan shall be approved to the satisfaction of the Vaughan Engineering Department, in consultation with the Toronto and Region Conservation Authority;
- iv) the final external lighting plan shall be approved to the satisfaction of the Vaughan Engineering Department and the Vaughan Development Planning Department;
- v) the Owner shall certify, to the satisfaction of the Vaughan Engineering Department, that the debris identified in the Phase 1 Environmental Site Assessment Report, and any above ground or underground storage tanks have been properly removed and disposed off-site;
- vi) the Owner shall ensure that the monitoring wells are decommissioned in accordance with Ontario Regulation 903 and copies of the completed Water Well Records confirming that the work has been carried out are submitted to the City to the satisfaction of the Vaughan Engineering Department;
- vii) the Owner shall satisfy all requirements of the Toronto and Region Conservation Authority, in particular, the following;
  - the lands below the top-of-bank and the buffer shall be appropriately designated and zoned to an environmental category and conveyed or dedicated into public ownership (to the City or to TRCA) in order to ensure their long term protection;
  - a 10 m buffer is required from the valley system in order to maintain the slope stability of the development site;
  - an Oak Ridges Moraine Conformity Report addendum is required to be submitted and reviewed quantifying the amount of water discharging overland towards the valley and that the amount of discharge will not cause future erosion hazards;
  - a geotechnical addendum is required to be submitted and reviewed regarding details of the retaining wall design and its impacts to the adjacent valley corridor and issues relating to access to the retaining wall for maintenance purposes;
  - an updated Environmental Impact Assessment Report shall be required to include tree surveys within a minimum of 20 m of the top-of-bank line; and,
  - the Owner is required to submit and obtain approval from the TRCA, a Permit under Ontario Regulation 166/06, prior to the issuance of any Building Permit;
- viii) the Owner shall satisfy all requirements of the Region of York Transportation Services Department;
- ix) the implementing Official Plan Amendment and Zoning By-law shall be in full force and effect;

- b) that the Site Plan Letter of Undertaking include the following provisions:
  - i) "The Owner shall pay to Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent to 5% or 1 hectare per 300 units of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with the Planning Act and the City's Cash-in-lieu Policy. The Owner shall submit an appraisal of the subject lands, in accordance with Section 42 of the Planning Act, prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment"; and,
  - ii) "Prior to the issuance of a Building Permit, the Owner shall convey sufficient property to the Region of York, free of costs and encumbrances, along the entire frontage of Teston Road and Dufferin Street for road widenings and a daylighting triangle, to the satisfaction of the Region of York.

### **Contribution to Sustainability**

The applicant has advised that the following sustainable features, but not limited to, will be provided within the site and building design:

#### **a) Mechanical and Electrical:**

- i) include medium efficiency boilers into the building design, which have an efficiency of 85% compared to ordinary boilers that have an 82% rating;
- ii) include a heat pump system that saves energy during a Fall/Spring operation as the water temperature balances independently, thus boilers and the cooling tower are seldom in operation;
- iii) variable speed booster pumps have a controller that will vary their speed – the changing speed of the pump is based on the demand of the water throughout the building;
- iv) variable speed drive on the cooling tower will be based on the cooling load demand of the building;
- v) energy efficient fixtures in suites and public area will reduce energy consumption;
- vi) carbon monoxide detectors in the garage level will be installed to only run the exhaust fans when the carbon dioxide levels are above normal; and,
- vii) occupancy sensors for light control in pool and garage will be installed to turn off all non-emergency lighting when no one is present or there is sufficient daylight.

#### **b) Interior Design:**

- i) low floor toilets will be installed that are touchless and with traditional water-conserving flushometers combined with bowls that optimizes water efficiency – flushometers with wave or touchless technologies offer additional water savings by eliminating false activation;
- ii) low flow faucets offer a 45% water savings over less efficient faucets; and,
- iii) natural stone tile, slabs, tile and glass tile usage is a sustainable and green product as there are no toxins or harmful environmental methods to its production.

#### **c) Stormwater Management:**

- i) post development drainage patterns have been designed to closely maintain, wherever possible, the pre-development overland drainage pattern;

- ii) in consideration of the property's low pre-development stormwater release rate due to the existing pervious ground cover, the development intends to utilize an underground stormwater storage system to attenuate the increased site runoff, ensuring that post-development release rates do not exceed pre-development conditions. In addition, the granular base and large footprint of the underground storage system is designed to promote infiltration of captured rain water back into the ground. The infiltrated water is a combination of clean roof run-off and site drainage collected and cleaned through a proposed Oil/Grit separator;
- iii) in addition to the proposed underground stormwater storage system, the site proposes a large underground cistern to collect and store only clean rainwater from the proposed building rooftop. The collected water will be used for site irrigation, thereby further promoting the capability to infiltrate water back into the ground over an extended duration;
- iv) in an effort to avoid increased overland drainage directed over the valley banks in the post-development condition, a proposed swale and ditch inlet catchbasin (DICB) is designed along the valley top-of-bank to prevent the potential for point source erosion. The swale and DICB are designed to retain the 100-year storm; and,
- v) once captured stormwater is properly attenuated within the underground storage system, flows shall outlet and be directed to a 15m long exfiltration pipe situated at ground level a few metres down the existing valley bank and surrounded by porous granulars. The purpose of the exfiltration pipe is to provide a "sheet flow" discharge effect, thereby minimizing the erosion potential.

d) Landscaping:

- i) trees and shrubs are native species and drought resistant. The manicured lawn area is minimized and native grasses are encouraged. Permeable pavers are introduced to reduce surface water run-off;
- ii) through input and comment from the Toronto and Region Conservation Authority ecology staff, a restoration and enhancement planting intend to provide the following benefits:

A dense planting of native trees and shrubs of a diverse mix is proposed along the 10m buffer corridor. The plantings will replace any tree loss from the existing site. The Owner is committed to an "Invasive Management Program" whereby a large amount of non-native, invasive plants will be removed. For some of the more aggressive species of ground cover that are found along the southern valley wall, a two to three year plan of reassessment and removal will occur to limit the re-establishment of these invasive species, which will greatly enhance the overall function of the valley in the coming years.

The Owner has advised that there will be some components of a green roof within this development proposal. The second level roof-top terrace provides for a landscaped "green" component.

**Economic Impact**

There are no requirements for new funding associated with this report.

**Communications Plan**

On September 12, 2008, a Notice of Public Meeting in consideration of the Official Plan and Zoning By-law Amendment Applications was circulated to all property owners within 120 m of the subject lands. The Public Meeting was held on October 6, 2008. Two deputations by the following parties were considered by the Committee:

- a) Mr. Len Gigliotti, 15 Sir Giancarlo Court; and,
- b) Mr. Dino Ciaramella, 1600 Teston Road.

No other members of the public attended the Public Meeting. Mr. Gigliotti identified the following concerns:

- a) not receiving a mailed notification of the Public Meeting;
- b) the future Teston Road extension; and,
- c) the impact on the existing trees on the property.

With respect to the notification of the Public Meeting, the Development Planning Department has confirmed that the residents of 15 Sir Giancarlo Court are located approximately 450 m from the subject lands. The Planning Act requires notification of property owners within 120 m of the development proposal. Mr. Gigliotti was not part of the notification list as a result. Mr. Gigliotti, however, did mention at the Public Meeting that he was aware of the development proposal by the notification sign on the subject lands.

At the Public Meeting, the Owner's Agent provided the responses to the remainder of Mr. Gigliotti's concerns. With respect to the future Teston Road extension, the York Region Official Plan contains policies that indicate Teston Road will be a 36 m right-of-way. The development impact on the existing trees is determined through the Toronto and Region Conservation Authority, which will be discussed later in this report.

The Committee of the Whole members also noted issues with on-site parking and the number of visitor parking spaces. The conceptual site plan had showed 5 at-grade visitor parking spaces, which the Committee argued was insufficient for the development proposal. As a result, 15 at-grade parking spaces have been provided, which will be discussed later in this report.

The recommendation of the Committee of the Whole to receive the Public Meeting report of October 6, 2008 was ratified by Council on October 27, 2008. As of June 9, 2009, no additional comments have been received by the Development Planning Department.

### **Purpose**

The Owner has submitted the following applications on the subject lands shown on Attachments #1 and #2:

1. An Official Plan Amendment Application (File OP.08.011) to redesignate the subject lands from 'Open Space' and "North Maple Residential Area – Executive Residential" by OPA #332 as amended by OPA #535, to a site-specific official plan designation of "North Maple Residential Area – Assisted Accommodation"(tablelands) and "Open Space" (ie. the lands to be rezoned RA3 and OS5 respectively, as shown on Attachment #3, to implement the respective Official Plan designations).
2. A Zoning By-law Amendment Application (File Z.08.046), to amend By-law 1-88, specifically to rezone the subject lands from OS5 Open Space Environmental Protection Zone and A Agricultural Zone to RA3 Apartment Residential Zone and OS5 Open Space Environmental Protection Zone in the manner shown on Attachment #3, with the following exceptions:

<b>By-law 1-88 Standard</b>	<b>By-law 1-88 Requirements of the RA3 Zone</b>	<b>Proposed Exceptions to the RA3 Zone</b>
<b>Minimum Rear Yard Setback</b>	7.5 m to the OS5 Zone Line	1.7 m to the OS5 Zone Line
<b>Minimum Exterior Side Yard Setback</b>	7.5 m long Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Landscape Strip Width Along a Street</b>	6.0 m along Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Required Parking</b>	241 (206 spaces plus 35 visitor spaces)	72 (49 spaces plus 23 visitor spaces)
<b>Minimum Required Handicap Parking</b>	3	2
<b>Minimum Required Amenity Area</b>	3,155 m <sup>2</sup>	2,693 m <sup>2</sup>

3. A Site Development Application (File DA.09.024) to facilitate the development of the subject lands with a 6-storey, 137-unit, 12,588 m<sup>2</sup> residential apartment building shown on Attachment #3, that will cater to an adult lifestyle residential community.

### **Background - Analysis and Options**

The subject lands shown on Attachments #1 and #2 are located on the southwest corner of Dufferin Street and Teston Road, in Part of Lot 25, Concession 3, City of Vaughan. The subject lands are currently vacant and have an area of 0.74 ha. The surrounding land uses are shown on Attachment #2.

a) **"Richview Manor"**

The Owner intends to market the development proposal as "Richview Manor", an establishment designed and developed as an assisted accommodation facility which provides dignified and gracious living for people 55 years and older in a "five-star hotel" setting. Staff, services and amenities will be accessible by each resident. Meals will be served daily in the common dining room and prepared in a communal / commercial kitchen. The units provides for living space, bedrooms, sanitary facilities and limited conveniences such as coffee makers, fridges and microwave ovens. Housekeeping, security, specialized healthcare monitoring, centralized laundry area, and planned excursions are all part of the adult lifestyle of the proposed development.

### **Provincial Policy Statement (PPS)**

The PPS provides broad based policy direction on matters of Provincial interest related to land use planning and development. The policies that apply to the proposed development of the subject lands include those intended to ensure the development of healthy, livable and safe communities by promoting efficient developments and land use patterns over the long term; accommodating an appropriate range and mix of residential, employment, recreational and open space uses to meet long-term needs; and avoid development and land use patterns which may cause environmental or public health and safety concerns and that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas. The PPS also promotes cost-effective development standards to minimize land consumption and servicing costs, improves accessibility for persons with disabilities and the elderly by preventing land use barriers which restrict their full participation in society, and ensure necessary

infrastructure and public service facilities are or will be available to meet current and projected needs.

The PPS also supports intensification in designated growth areas to accommodate an appropriate range and mix of employment opportunities and housing. The development of the subject lands will provide additional accommodation choices while utilizing the existing municipal infrastructure efficiently through compact form and densities, and would ensure the surrounding environmental features are protected and enhanced. As a result, the proposed development conforms to the PPS policies.

#### Places to Grow

Places to Grow ("the Province's Growth Plan") sets out policies applicable to the Greater Golden Horseshoe. The policies of the Growth Plan encourages compact built forms, transit supportive communities, diverse land uses, a range and mix of employment and housing types, and directed growth to settlement areas that offer municipal water and wastewater systems.

The proposed development, which is supported by municipal water and wastewater systems, would provide an alternative housing from in a facility that accommodates an aging population. The proposal maximizes the use of land with the development of a 6 storey, 137 unit residential building and will contribute employment opportunities to the local economy. As a result, the proposed development achieves the goals of the Growth Plan.

#### Region of York Official Plan

The subject lands are designated "Urban Area" in the Region of York Official Plan. The Plan encourages urban areas to permit a broad range of housing types within efficient and mixed use compact communities at an overall transit-supportive density. The proposed development provides an additional housing choice to the local area that is compact and efficient. The Plan further encourages pedestrian scales, safety, comfort and mobility, the enrichment of the existing area with attractive buildings, landscaping and public streetscapes. The proposed development and the associated amenity enhances the streetscape and the proposed courtyard pays homage to the valley system to the south while providing buffers for protection. The proposed development is consistent with the Regional Official Plan policies.

#### City of Vaughan Official Plan

The subject lands are designated "North Maple Residential Area – Executive Residential" and "Open Space" by OPA #332, as amended by OPA #535 and further designated as "Settlement Area" and "Natural Core Area" by OPA #604 (Oak Ridges Moraine Conformity Plan). The proposal for an apartment development does not conform to the Official Plan, which currently permits single detached dwellings.

The Owner has submitted an Official Plan Amendment (File OP.08.011) to redesignate the subject lands from "North Maple Residential Area – Executive Residential" to a site-specific official plan designation of "North Maple Residential Area – Assisted Accommodation" in order to provide housing opportunities to accommodate the development of an adult lifestyle residential community. The definition of the new designation of "North Maple Residential Area – Assisted Accommodation" is proposed as follows:

"The Assisted Accommodation designation shall be developed as a self-contained facility designed to provide rooms or suites for citizens who require assistance with day to day living and which contain sanitary convenience, but no cooking facilities. The facility includes provision of services and amenities including dining rooms, a communal kitchen, laundry, recreational and nursing care facilities."

The Owner proposes a 6-storey, 137-unit, 12,588 m<sup>2</sup> residential apartment building for an adult lifestyle residential community. In light of the Provincial and Regional policies encouraging intensification and providing a mix of housing types in the community, the official plan re-designation can be supported.

#### Oak Ridges Moraine Plan

OPA #604 (Oak Ridges Moraine Conformity Plan) brought Vaughan's Official Plan into conformity with the Oak Ridges Moraine Conservation Plan (ORMCP), which was adopted by Vaughan Council on June 23, 2003 and approved by the Minister of Municipal Affairs and Housing on October 21, 2004.

As noted above, the property is located in the "Settlement Area" and "Natural Core Area" of the Oak Ridges Moraine Conservation Plan by OPA #604, which amended OPA #535 and OPA #332. Though a boundary discrepancy was identified during the earlier review of the development applications between the delineation of the Settlement Area and the Natural Core Area of the ORMCP, Section 10(2) of the ORMCP allows for adjustments to the boundaries between the Settlement Area and the Natural Core Area, which is defined by the Area of Natural and Scientific Interest (ANSI), without amendment to the ORMCP, as follows:

"When official plans and zoning by-laws are amended in accordance with Section 9 and 10 of the Act [Provincial Oak Ridges Moraine Act] to bring them into conformity with the ORMCP, the boundaries of the Natural Core Areas, Natural Linkage Areas, Countryside Areas, Rural Settlements and Settlement Areas may be further defined, in a manner that is consistent with the referred land use designation map, but with greater precision than the map can show."

Furthermore, the Ministry of Natural Resources (MNR) assessed the subject lands and has aligned the ANSI boundary with the valley top-of-bank. As a result, the Owner, the MNR, the Toronto and Region Conservation Authority (TRCA), and the City concur that through Section 10(2) of the ORMCP, and the assessed realignment of the top-of-bank by the MNR, the entire property is deemed to be solely within the "Settlement Area" of the Oak Ridges Moraine Plan.

#### The Greenbelt Plan

The Provincial Greenbelt Plan was established under Section 3 of the Greenbelt Act, 2005. The Greenbelt Area is defined by Ontario Regulation 59/05 and includes the Niagara Escarpment Plan Area, the Oak Ridges Moraine Area, the Parkway Belt West Plan Area, and lands designated as Protected Countryside.

The Greenbelt Plan encourages the development of a system of publicly assessable parkland, open space and trails where people can pursue various recreational activities. The City of Vaughan was gifted the adjacent Don River Valleylands to the west of the subject lands. These valleylands form part of a linked open space system which will be connected to the former Keele Valley Landfill Site currently owned by the City of Toronto and to other lands in the area owned by the City of Vaughan. Vaughan's "Pedestrian and Bicycle Master Plan Study" identifies a series of pedestrian and bicycle trails in the area surrounding the subject lands, which is consistent with the Greenbelt Plan.

#### Toronto and Region Conservation Authority (TRCA)

The Toronto and Region Conservation Authority has reviewed the applications and has no objection in principle with the Official Plan and Zoning By-law Amendment Files OP.08.011 and Z.08.046. Respecting Site Development File DA.09.024, the TRCA requires the following conditions to be addressed, prior to the execution of the Site Plan Letter of Undertaking:



- a) the lands below the top-of-bank and the buffer shall be appropriately designated and zoned into an environmental category and conveyed or dedicated into public ownership (to the City or to TRCA) in order to ensure their long term protection;
- b) a 10 m buffer is required from the valley system in order to maintain the slope stability of the development site;
- c) all roof runoff shall be retained on the development site. Retention measures shall be required to separate the clean runoff from the parking lot runoff;
- d) provide details of the cistern, including invert elevations, dimensions and provide storage volumes as well as details of the underground storage, including invert elevations and layout of inlet and outlet pipes – a calculation of the pre-development and post-development water balance is required;
- e) the Owner shall provide an Erosion and Sediment Control Plan to illustrate erosion prevention and sediment control measures;
- f) the Owner shall provide a restoration planting plan for review to the satisfaction of the TRCA; and,
- g) the Owner is required to submit and obtain approval from the TRCA, a Permit under Ontario Regulation 166/06.

Furthermore, the TRCA notes that the proposed retaining wall adjacent to the buffer area may be cause for concern given the impacts to the adjacent valley corridor and issues relating to the future maintenance and access to the retaining wall, which the Owner has been made aware in a letter dated May 25, 2009 by the TRCA. The final site plan, landscape plan, edge management landscape plan, existing vegetation assessment and tree preservation plan, restoration planting plan, and grading and site servicing plan, shall be required to be reviewed to the satisfaction of the TRCA. Conditions of approval on these matters have been included in the recommendation section of this report.

### Zoning

The subject lands are zoned A Agricultural Zone and OS5 Open Space Protection Zone by By-law 1-88. The current agricultural zoning does not permit the residential development proposal. The Owner has submitted a Zoning By-law Amendment Application (File Z.08.046) to rezone the subject lands from A Agricultural Zone to RA3 Apartment Residential Zone (tableland) and OS5 Environmental Protection Zone (valleylands) in the manner shown on Attachment #3, to permit the adult lifestyle assisted accommodation apartment building on the tablelands with the following exceptions:

<b>By-law 1-88 Standard</b>	<b>By-law 1-88 Requirements of the RA3 Zone</b>	<b>Proposed Exceptions to the RA3 Zone</b>
<b>Minimum Rear Yard Setback</b>	7.5 m to the OS5 Zone Line	1.7 m to the OS5 Zone Line
<b>Minimum Exterior Side Yard Setback</b>	7.5 m along Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Landscape Strip Width Along a Street</b>	6.0 m along Dufferin Street	5.0 m along Dufferin Street
<b>Minimum Required Parking</b>	241 (206 spaces plus 35 visitor spaces)	72 (49 spaces plus 23 visitor spaces)
<b>Minimum Required Handicap Parking</b>	3	2
<b>Minimum Required Amenity Area</b>	3,155 m <sup>2</sup>	2,693 m <sup>2</sup>

The Owner is requesting a reduction of the rear yard setback from 7.5 m to 1.7 m at the southwest corner of the southerly-end of the building resulting from the constraint of the triangular shaped lot. The building does not infringe into the required 10 m buffer area. The Owner also is requesting a reduction of the exterior side yard setback from 7.5 m to 5.0 m along Dufferin Street. By-law 1-88 currently requires a minimum 6.0 m landscape strip along a street line. The location of the building closer to the street creates a better urban relationship and a pedestrian-friendly interface between the building and the street.

The reduced number of handicap parking spaces from 3 to 2 can be supported as the residences of the facility would have access to private transit. The Owner proposes a total of 72 parking spaces broken down as follows based on the parking ratio of 0.53 parking spaces per unit:

	Surface	Underground	TOTAL
<b>Visitor</b>	8	15	23
<b>Staff</b>	7	13	20
<b>Residents</b>	0	29	29
<b>TOTAL</b>	15	57	<b>72</b>

By-law 1-88 requires 206 spaces for the residents, based on 1.5 spaces per unit, and 35 spaces for visitors, based on 0.25 spaces per unit, for a total of 241 required spaces. The Owner has submitted a parking study by Stantec Consulting Ltd. on June 12, 2009. Due to the low vehicle ownership characteristics for the residents of the facility, shuttle bus services being provided for the residents of the building, and the wide variety of services available to the residents in-house, the expected parking supply/demand would support the proposed residential parking standard of 0.53 spaces per unit. The parking study cited four other similar development examples in Vaughan with an average parking ratio of 0.45 spaces per unit, which is lower than the proposed 0.53 spaces per unit. The Vaughan Engineering Department has reviewed the parking study and concurs with the findings of the report.

The proposed development includes the following amenities:

- a) a swimming pool;
- b) roof- top and ground floor amenities;
- c) a centralized courtyard;
- d) an internal trail system; and,
- e) party rooms.

The Development Planning Department can support the reduction of the amenity area from 3,155m<sup>2</sup> to 2,693 m<sup>2</sup>, which is equivalent to a 14% reduction of the required minimum amenity area, as the provided amenities are appropriate for the development proposal.

The Development Planning Department can support the above zoning by-law exceptions due to the constraint posed by the lot configuration, the creation of a better building-street interface, and the nature of the proposed facility.

#### Site Plan and Landscape Plan

The proposed site plan and landscape plan are shown on Attachments #3 and #4. The triangular constraint of the subject property allows the opportunity for the Owner to configure the proposed building to take full advantage of the views of the open space area to the south, while addressing the south west corner of Teston Road and Dufferin Street with street treatments that include a landscaped feature wall and a landscaped area that will screen the 7 on-grade parking spaces

servicing the building's lobby entry. Additional enhancements in the vicinity of the intersection are noted below.

The landscape plan consists of a mix of coniferous and deciduous trees, ground plantings, and hard landscaping throughout the property. The landscaped courtyard and the walking trail and trellis feature, along with the ground level pool deck and second level terraces are amenity features that are proposed for the benefit of the residents of the proposed development.

The Development Planning Department has reviewed the landscape plans in detail and recommends that the landscaped area along the Teston Road right-of-way be designed and treated as a street-oriented amenity area. The corner feature at Dufferin Street and Teston Road requires enhancement with additional landscape plantings to screen all of the on-grade parking spaces. Pedestrian connections should be provided from the building to future sidewalks in the public right-of-way of both Dufferin Street and Teston Road. Furthermore, the Development Planning Department will require the Owner to provide an Edge Management Landscape Plan and an Existing Vegetation Assessment and Tree Preservation Plan, by a qualified arborist, for review and approval. The final landscape plan, restoration planting plan, edge management landscape plan, existing vegetation assessment and tree preservation plan, and landscape cost estimate must be approved by the Development Planning Department. A condition on these matters has been included in the recommendation section of this report.

#### Site Circulation and Access

Access to the property is proposed to be by way of a signalized intersection at Dufferin Street and Teston Road, from two points of ingress and egress off Teston Road. The main entrance located at the easterly access, serves an internal driveway leading to the underground parking ramp and to 7 at grade parking spaces. The separation of the driveway and the main entrance pick-up and drop-off area by an internal circle eliminates the provision for emergency and mobility access vehicles from backing up and thereby conflicting with other internal traffic near the main entrance. As a result, the design accommodates a safe turning maneuver for mobility vans and buses in addition to regular vehicular traffic using the facility.

A separate parking and maneuvering area is proposed to accommodate 8 on-grade parking spaces, and an area for delivery trucks at the west end of the subject lands through the westerly access driveway on Teston Road. A total of 15 at-grade parking spaces are provided on the subject lands. The final design of the two accesses must be to the satisfaction of the Region of York Transportation Services Department.

#### Building Elevations

The proposed building elevations are shown on Attachments #5, #6, and #7. The building elevations include brick masonry walls, stone masonry accents, shingled roofs, and balconies with prefinished metal railing with tempered glass guards. The Owner will be required to provide a brick and colour sample to the satisfaction of the Development Planning Department. Furthermore, the Development Planning Department has reviewed the elevation drawings and recommends additional improvements to the building elevations fronting Teston Road and Dufferin Street to be detailed as "front" elevations. The Owner has been notified of this requirement and a condition has been included in the recommendation section of this report.

#### Vaughan Engineering

The Owner has submitted servicing, grading and stormwater management plans, which must be approved to the satisfaction of the Vaughan Engineering Department.

i) Environmental Site Assessment (ESA)

The Vaughan Engineering Department has reviewed the Phase 1 Environmental Site Assessment and concurs with the findings of the report, subject to the following, which are included as conditions in the recommendation section of this report:

- a) the Owner shall certify, to the satisfaction of the Vaughan Engineering Department, that the debris identified in the Phase 1 Environmental Site Assessment report, and any above ground or underground storage tanks have been properly removed and disposed off-site; and,
- b) the Owner shall ensure that the monitoring wells are decommissioned in accordance with Ontario Regulation 903 and copies of the completed Water Well Records confirming that the work has been carried out are submitted to the City to the satisfaction of the Vaughan Engineering Department;

ii) Servicing

In a letter dated April 2, 2007 from the Region of York regarding "Retirement Home Type Facilities – Servicing Allocation Requirements," the allocation of servicing capacity is not required for retirement home type facilities where:

- a) individual units/rooms do not contain kitchen facilities;
- b) food preparation and dining are a centralized function/facility; and,
- c) assisted living care and/or healthcare are offered to the residents who are dependent on this service (although the facilities do not necessarily need to be registered under the Nursing Home Act).

The proposed development meets the above criteria and is exempt from the individual assignment of allocation as they fall under the "non-residential" category for the purpose of servicing capacity.

A functional servicing report/brief has been reviewed and the Vaughan Engineering Department concurs with the findings of the said report. The final site servicing and grading plans shall be approved to the satisfaction of the Vaughan Engineering Department.

Garbage/recycling and snow removal will be by private pick-up.

iii) Stormwater Management Report

The stormwater management report must be to the satisfaction of the Vaughan Engineering Department. A condition on this matter has been included in the Recommendations section of this report.

Archaeological Assessment

In the letter dated May 25, 2009, the Ministry of Culture provided their clearance indicating that they concur with the findings of the Stage 1 and 2 Archaeological Assessment on the property. There are no further concerns for alterations to the archaeological sites for the area that has undergone archaeological assessment, as noted in the Stage 1 and 2 Report.

Relationship to Vaughan Vision 2020/Strategic Plan

This report is consistent with the priorities set forth in Vaughan Vision 2020, particularly "Plan & Manage Growth & Economic Vitality".

### **Regional Implications**

The Region of York has reviewed the Official Plan Amendment Application and provided the following comments:

- a) the Owner shall convey the following lands, along the entire frontages of the site adjacent to both Dufferin Street and Teston Road to the Regional Municipality of York, free of costs and encumbrances:
  - i) sufficient property to provide an 18.0 m setback from the centreline of construction; and,
  - ii) sufficient property to provide a 15.0 m by 15.0m daylighting triangle at the southwest corner of Dufferin Street and Teston Road.

The site plan shown on Attachment #3 reflects the Region's requirements noted above. The Site Plan must be approved to the satisfaction of the Region of York Transportation Services Department as the site is adjacent to Dufferin Street and Teston Road, both being Regional roads. The Owner is required to comply with all Regional requirements.

### **Conclusion**

The Official Plan and Zoning By-law Amendment and Site Development Applications have been reviewed in accordance with the Provincial Policy Statement, Places to Grow, York Region Official Plan, OPA #332, as amended by OPA #535 and OPA #604 (Oak Ridges Moraine Conformity Plan), By-law 1-88, the comments from City Departments and external agencies, and the area context. The Development Planning Department is satisfied that the proposed development for a 6 storey, 12,558 m<sup>2</sup> gross floor area residential apartment building consisting of 137 units catered to an adult lifestyle community is appropriate and compatible with the existing and permitted uses in the surrounding area. Accordingly, the Development Planning Department can support the approval of Official Plan Amendment File OP.08.011, Zoning By-law Amendment File Z.08.046, and Site Development File DA.09.024, subject to the conditions and recommendations of this report.

**Attachments**

1. Context Location Map
2. Location Map
3. Site Plan
4. Landscape Plan
5. East and North Elevations (from Dufferin Street)
6. North Elevation (from Teston Road)
7. South and West Elevations (from Courtyard)

**Report prepared by:**

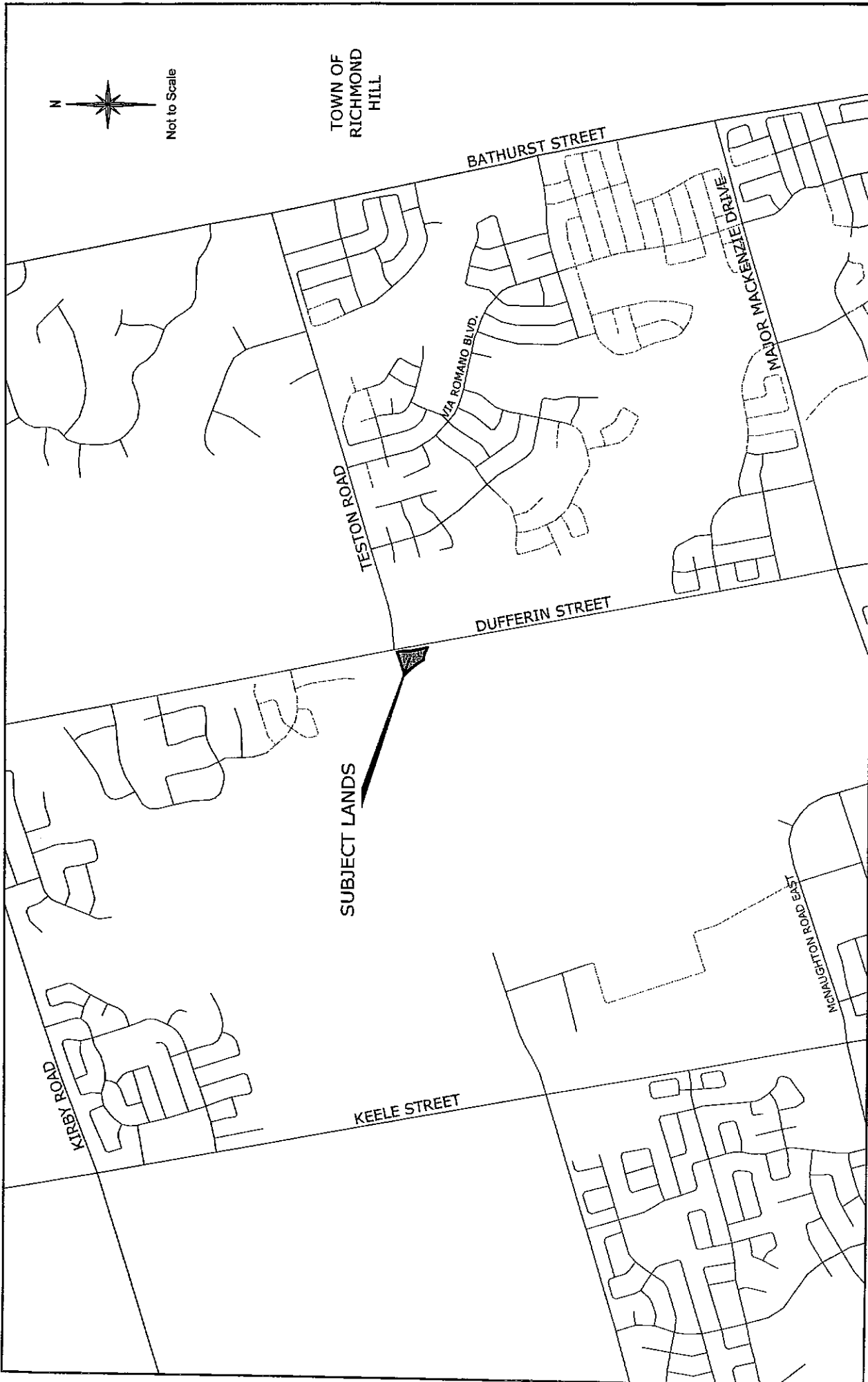
Stephen Lue, Planner, ext. 8210  
Carmela Marrelli, Senior Planner, ext. 8791  
Mauro Peverini, Manager of Development Planning, ext. 8407

Respectfully submitted,

JOHN ZIPAY  
Commissioner of Planning

GRANT UYEHAMA  
Director of Development Planning

/LG



# Context Location Map

Location: Part of Lot 25,  
Concession 3

Applicant:  
York Major Holdings Inc.

NA\DT\1 ATTACHMENTS\OP\08.0112.08.0466c.08.024.dwg



The City Above Toronto

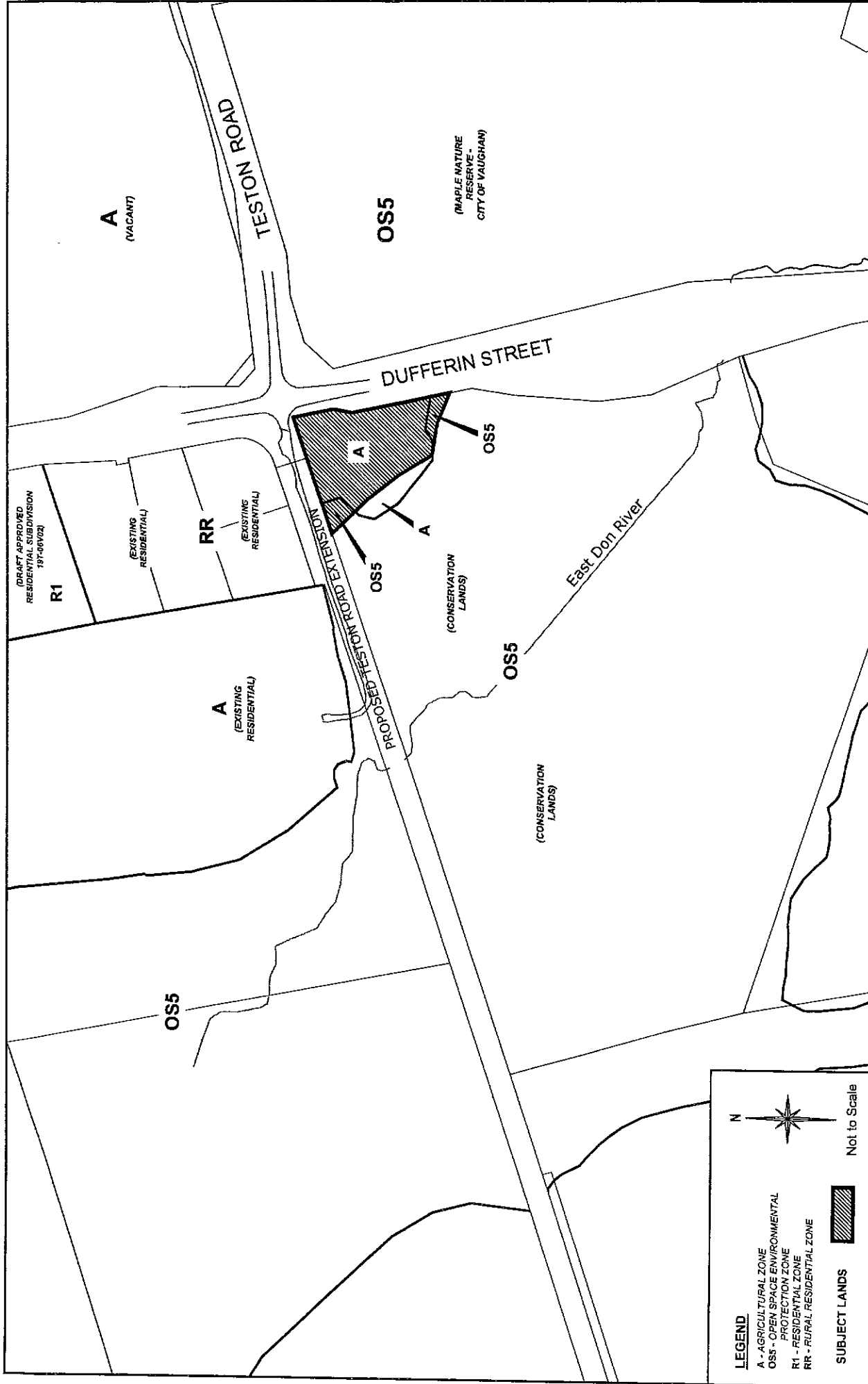
Development Planning Department

# Attachment

File(s): OP.08.011,  
Z.08.046 & DA.09.024

Date:  
June 12, 2009

# 1



# Location Map

Location: Part of Lot 25,  
Concession 3

Applicant:  
York Major Holdings Inc.

N:\DFTV\1 ATTACHMENTS\OP\08.08.011.08.046dc.08.024.dwg



The City Above Toronto

Development Planning Department

# Attachment

File(s): OP.08.011,  
Z.08.046 & DA.09.024

Date:  
June 12, 2009

# 2



**OFFICIAL PLAN AMENDMENT FILE OP.08.011**

TO REDESIGNATE SUBJECT LANDS FROM "OPEN SPACE" AND "NORTH MAPLE RESIDENTIAL AREA - EXECUTIVE RESIDENTIAL" TO "NORTH MAPLE RESIDENTIAL AREA - ASSISTED ACCOMMODATION" AND "OPEN SPACE"

**ZONING BY-LAW AMENDMENT FILE Z.08.046**

TO ZONE FROM OS5 OPEN SPACE ENVIRONMENTAL PROTECTION ZONE & A AGRICULTURAL ZONE TO R3 APARTMENT RESIDENTIAL ZONE & OS5 OPEN SPACE ENVIRONMENTAL PROTECTION ZONE

**LEGEND**

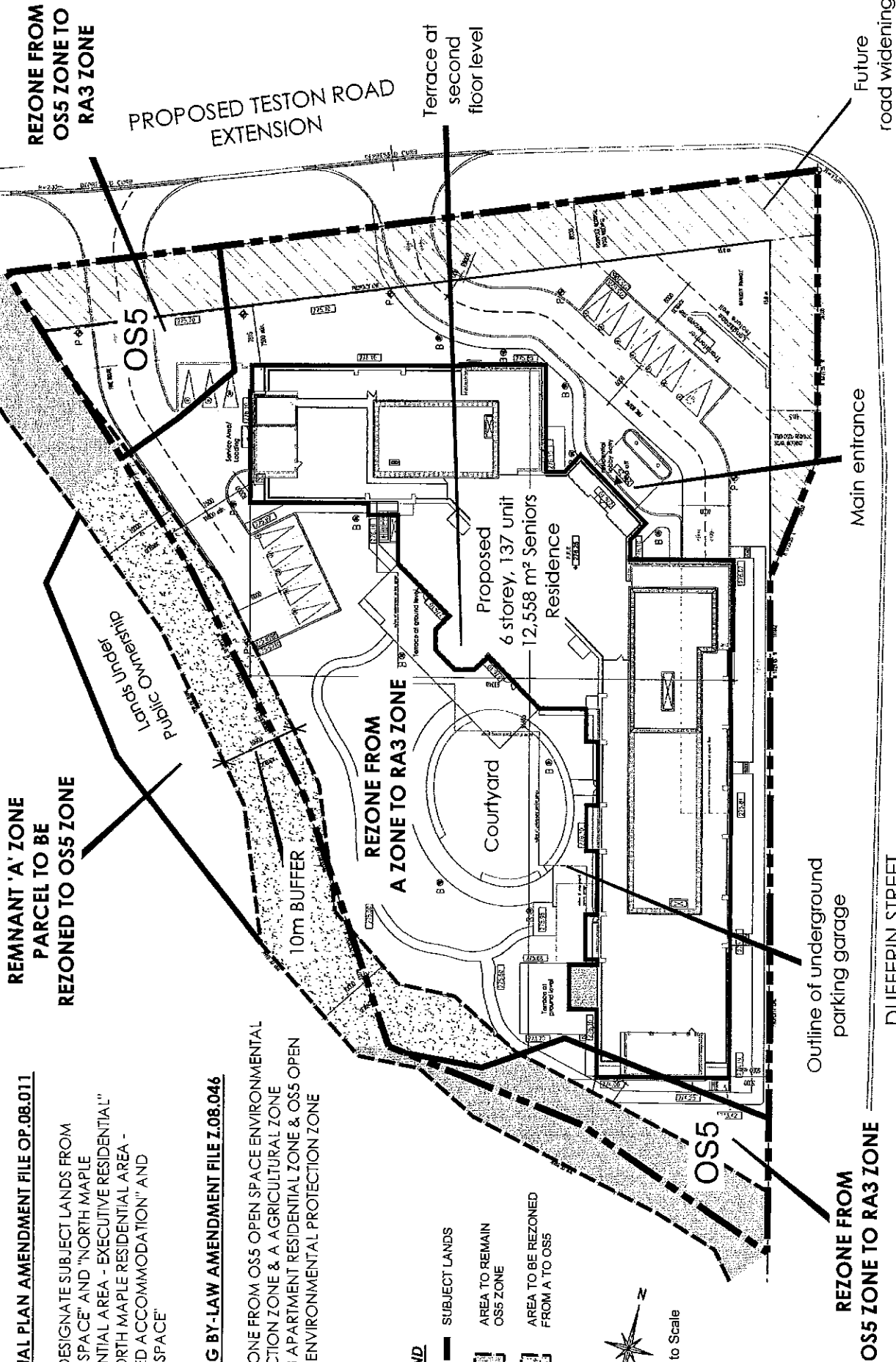
SUBJECT LANDS

AREA TO REMAIN OS5 ZONE

AREA TO BE REZONED FROM A TO OS5



Not to Scale



REMNANT 'A' ZONE  
PARCEL TO BE  
REZONED TO OS5 ZONE

PROPOSED TESTON ROAD  
EXTENSION

Terrace at  
second  
floor level

Future  
road widening

Lands Under  
Public Ownership

REZONE FROM  
A ZONE TO RA3 ZONE

Proposed, 137 unit  
12,558 m<sup>2</sup> Seniors  
Residence

Courtyard

Main entrance

Outline of underground  
parking garage

DUFFERIN STREET

REZONE FROM  
OS5 ZONE TO RA3 ZONE

**Site Plan**

Location: Part of Lot 25,  
Concession 3

Applicant:  
York Major Holdings Inc.

N:\BFA\1 ATTACHMENTS\OP\op.08.011\z.08.046\09.024.dwg



The City Above Toronto

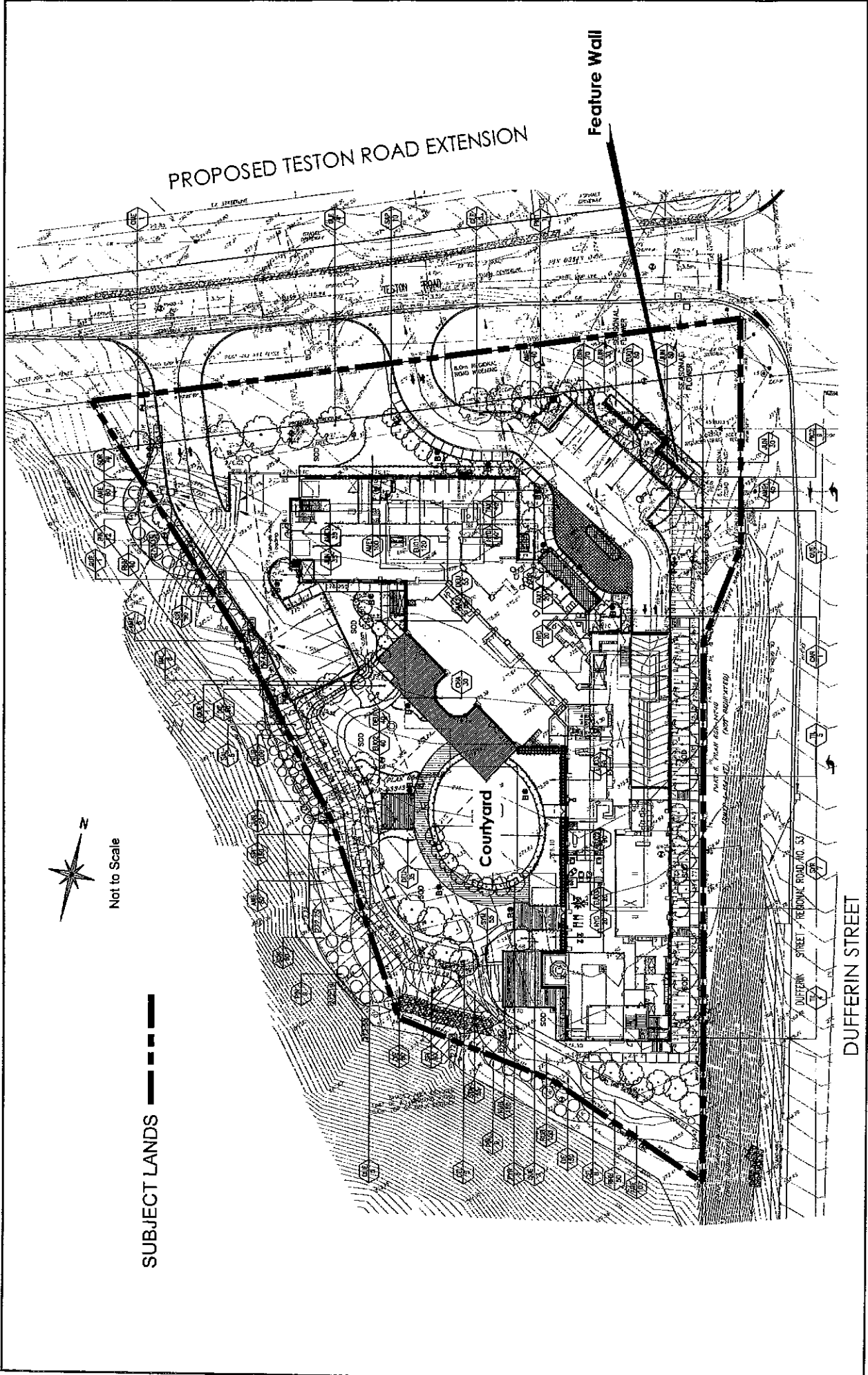
Development Planning Department

**Attachment**

File(s): OP.08.011,  
Z.08.046 & DA.09.024

Date:  
June 12, 2009

**3**



# Landscape Plan

Location: Part of Lot 25,  
Concession 3

Applicant:  
York Major Holdings Inc.

N:\A\PTV\ ATTACHMENTS\OP\08.08.0112.08.046&c.09.024.dwg



*The City Above Toronto*

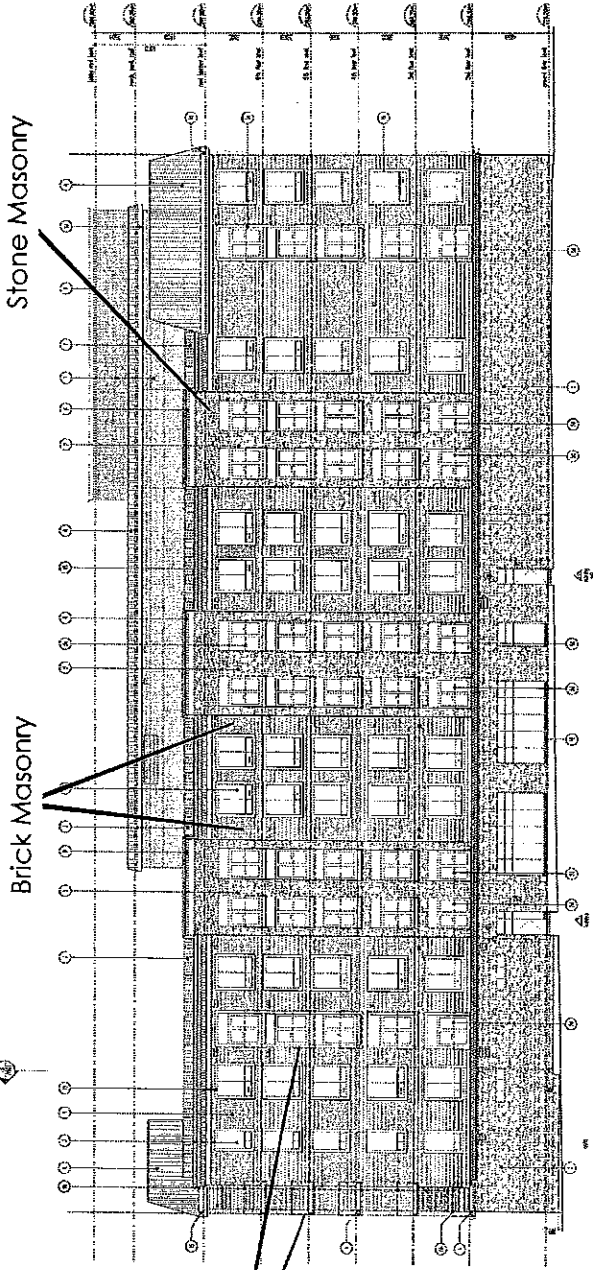
Development Planning Department

# Attachment

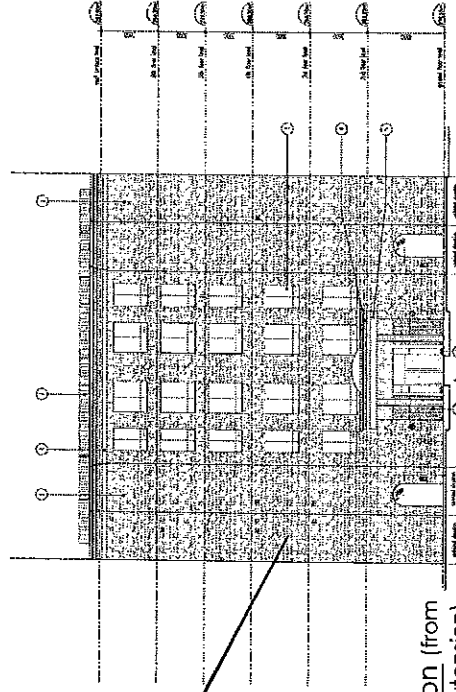
File(s): OP.08.011,  
Z.08.046 & DA.09.024

# 4

Date:  
June 12, 2009



East Elevation (from Dufferin St.)



North-East Elevation (from Proposed Teston Rd. Extension)

Not to Scale

# East & North Elevations (from Dufferin Street)

Applicant: York Major Holdings Inc.  
Location: Part of Lot 25, Concession 3

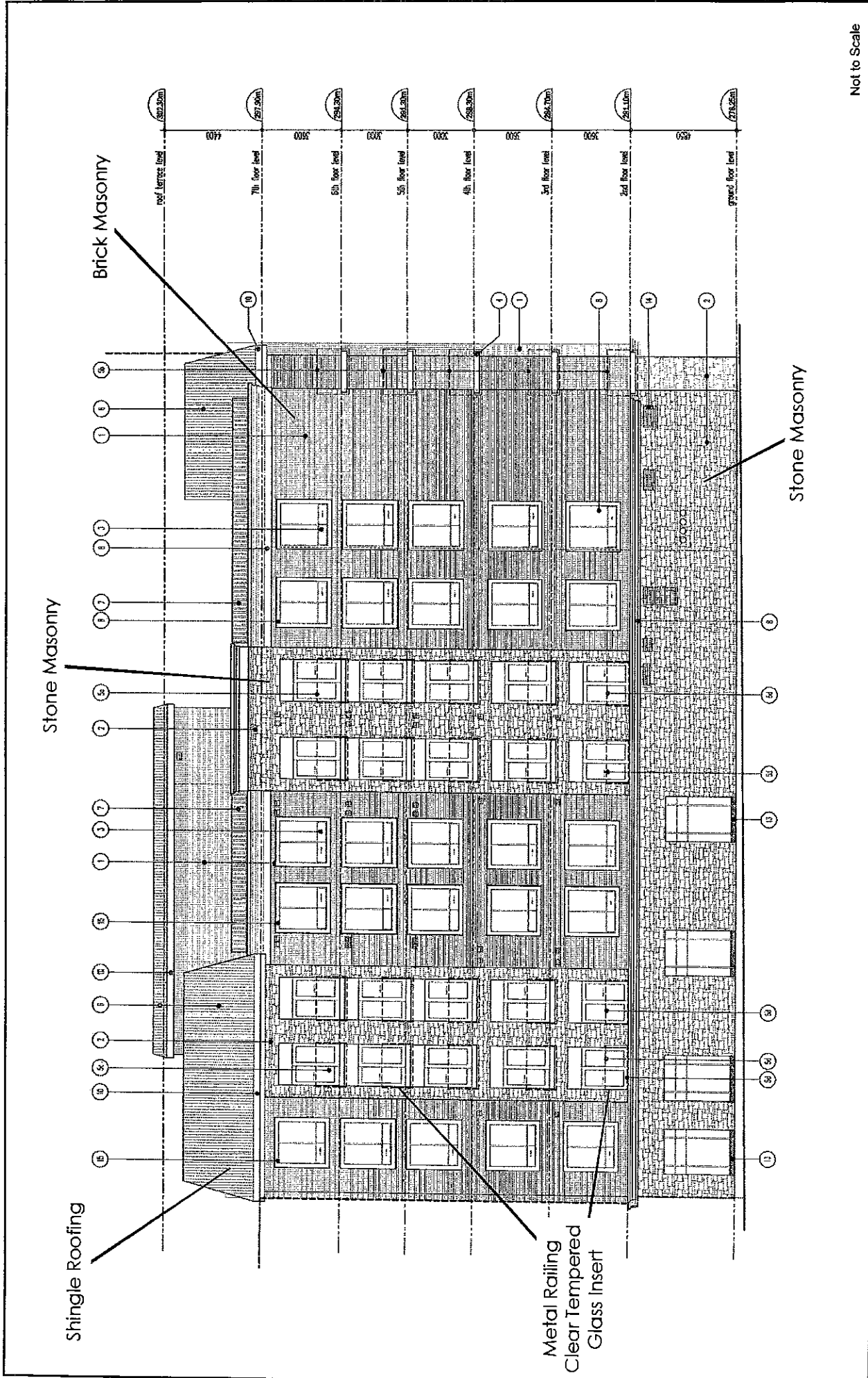


Development Planning Department

# Attachment

# 5

File(s): OP-08.011,  
Z-08.046 & DA.09.024  
Date: June 17, 2009



Not to Scale

# North Elevation (from Teston Road)

Applicant:  
York Major Holdings Inc.  
Location: Part of Lot 25,  
Concession 3



Development Planning Department

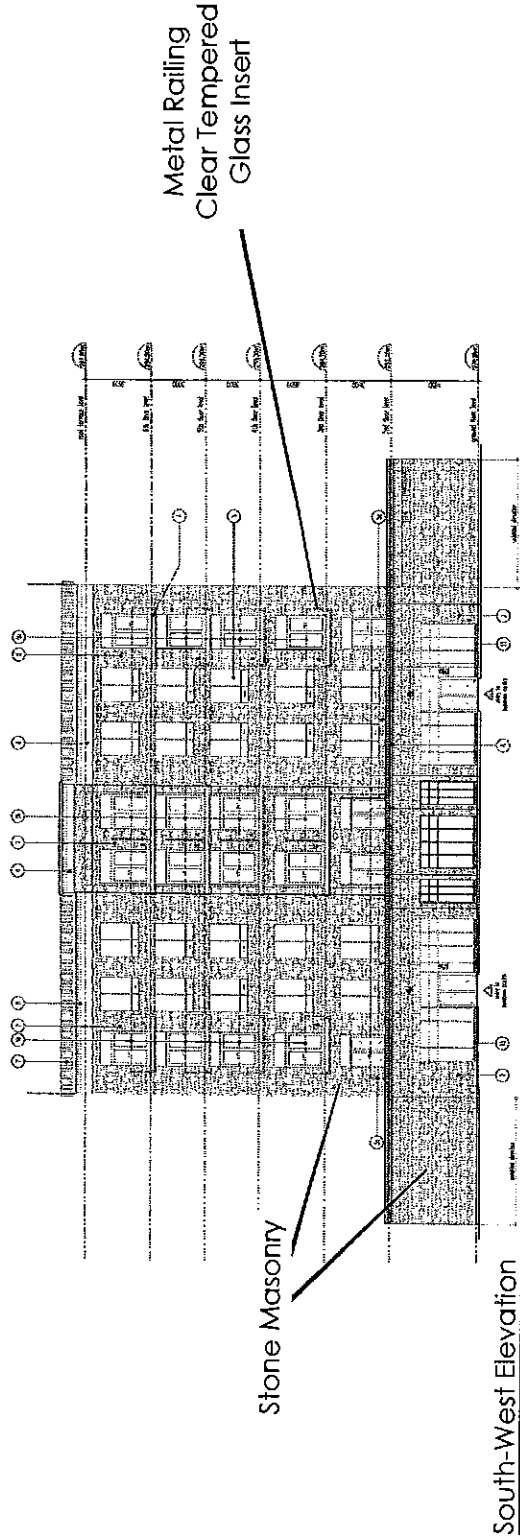
# Attachment

File(s): OP.08.011,  
Z.08.046 & DA.09.024

# 6

Date:  
June 17, 2009

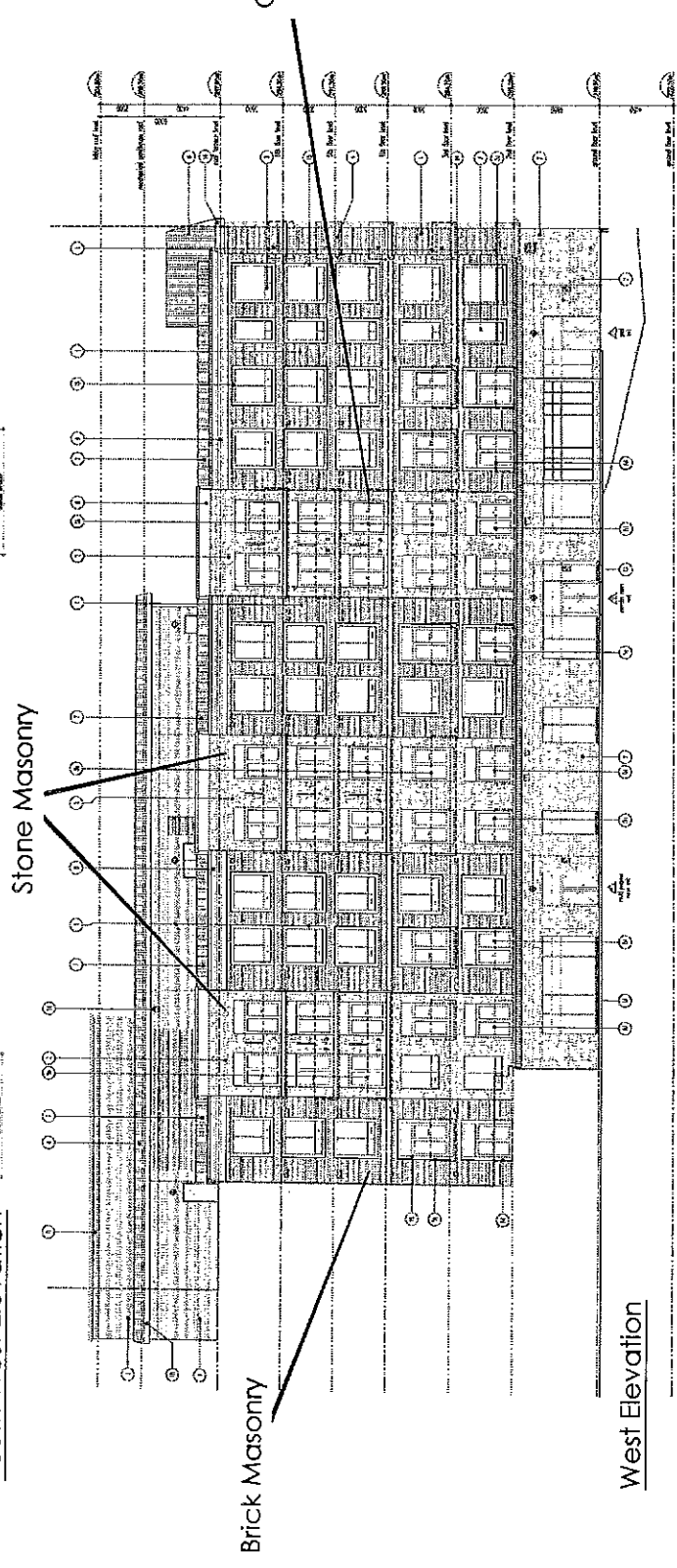
N:\BPT\1 ATTACHMENTS\OP.08.011.Z.08.046.DA.09.024.dwg



Metal Railing  
Clear Tempered  
Glass Insert

Stone Masonry

South-West Elevation



Brick Masonry

Stone Masonry

Metal Railing  
Clear Tempered  
Glass Insert

West Elevation

Not to Scale

# South & West Elevations (from Courtyard)

Applicant:  
York Major Holdings Inc.  
Location: Part of Lot 25,  
Concession 3

N:\DPT\1 ATTACHMENTS\08.011\Z.08.046\09.024.dwg