

COMMITTEE OF THE WHOLE JUNE 1, 2010

**OFFICIAL PLAN AMENDMENT FILE OP.06.003
ZONING BY-LAW AMENDMENT FILE Z.06.006
SITE DEVELOPMENT FILE DA.06.007
AQUATELLA FALLS HOMES LTD.
WARD 1**

Recommendation

The Commissioner of Planning recommends:

1. THAT Official Plan Amendment File OP.06.003 (Aquatella Falls Homes Ltd.) BE APPROVED, to redesignate the eastern half of the subject lands from "Low Density Residential" to "Open Space Area", in the manner shown on Attachment #3, and to amend the "Low Density Residential" and "Open Space Area" policies in OPA #350 (Maple Community Plan), in accordance with Table 1 in this staff report.
2. THAT Zoning By-law Amendment File Z.06.006 (Aquatella Falls Homes Ltd.) BE APPROVED, to rezone the subject lands from R1 Residential Zone and A Agricultural Zone to RA2 Apartment Residential Zone (0.211 ha tableland) and OS1 Open Space Conservation Zone in the manner shown on Attachment #4. The proposed rezoning of the tableland will facilitate the development of a 22-unit residential apartment building with the site-specific exceptions identified in Table 2 of this staff report.
3. THAT Site Development File DA.06.007 (Aquatella Falls Homes Ltd.) BE APPROVED, to facilitate the development of a 22-unit residential apartment building subject to the following conditions:
 - a) that prior to the execution of the Site Plan Letter of Undertaking:
 - i) the final site plan, building elevation plan, landscape plan, and landscape cost estimate shall be approved by the Vaughan Development Planning Department;
 - ii) the final building materials package with brick and colour samples be approved to the satisfaction of the Vaughan Development Planning Department and the Vaughan Cultural Services Division;
 - iii) the final stormwater management report, functional servicing report, site servicing and grading plan, and retaining wall details shall be approved by the Vaughan Engineering Department;
 - iv) the final development plans shall be in accordance with the City of Vaughan Waste Collection Design Standards Policy and approved to the satisfaction of the Vaughan Public Works Department;
 - v) the final tree inventory and preservation plan shall be reviewed and approved by the Vaughan Development Planning Department in consultation with the Toronto and Region Conservation Authority; and,
 - vi) the Owner shall satisfy all requirements of the Toronto and Region Conservation Authority; and,

- b) that the Site Plan Letter of Undertaking include the following provision:
 - i) "For residential high-density development, the Owner shall pay to Vaughan by way of a certified cheque, cash-in-lieu of the dedication of parkland equivalent to 5% of the value of the subject lands, prior to the issuance of a Building Permit, or a fixed unit rate per unit, whichever is higher, in accordance with the Planning Act and the City's Cash-in-lieu Policy."

- 4. THAT Vaughan Council pass the following resolution with respect to the allocation of sewer and water servicing capacity to Site Development Application DA.06.007:

"IT IS HEREBY RESOLVED THAT Site Development Application DA.06.007 is allocated sewage capacity from the York Sewage Servicing System and water capacity from the York Water Supply System for a total of 22 residential units subject to confirmation from the Region of York that the required upgrades to the Duffin Creek Water Pollution Control Plant are on schedule and servicing capacity is available, and that a Site Plan Letter of Undertaking has been executed."

Contribution to Sustainability

The Owner advised that the following sustainable features, but not limited to, will be provided within the site and building design:

- i) The property is situated in close proximity to two local GO Transit stations (1.7 km from the Rutherford GO Station and 2.2 km from the Maple GO Station), which promotes public transit and alternatives to cars.
- ii) The proposed development is not designed to encourage automobile use; each unit is equipped with 1 parking space, which is intended to facilitate shared vehicle use. Also, 5 bicycle parking spaces are proposed in the underground garage.
- iii) Tree protection measures will be implemented, in conjunction with the Toronto and Region Conservation Authority, prior to construction to ensure the trees of the riparian vegetation community are not impacted by the proposed development.
- iv) Proposed restoration of the retained natural areas proposes to increase the forest canopy and overall biodiversity therefore improving the ecological features and functions of the subject lands.
- v) The use of low VOC (volatile organic compounds) will be built into components and finishing materials (flooring, wall coverings and water based varnishes), which produce fewer off-gasses and are less hazardous to inhabitants.
- vi) Permeable pavers are proposed throughout the development as shown on Attachment #5.

The Owner advises that there will be a potential for additional sustainable features to be incorporated into the development proposal.

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

On October 19, 2009, a Notice of Public Hearing was circulated to all property owners within 150m of the subject lands. No comments were received. The Public Hearing was held on November 10, 2009. At the Public Hearing, the Owner indicated that they received support from the adjacent property owners, including the property owner to the north of the subject lands (9593 Keele Street). This homeowner originally expressed a concern for privacy, as his entrance is angled and faces the proposed development. The Owner noted he had discussions with this homeowner and they have agreed to square off the entrance to the neighbours home. In order to provide additional visual and noise privacy, the Owner further agreed at the Public Hearing to incorporate additional landscaping in the front of the neighbours property. The Owner is currently preparing to undertake the changes to the northerly neighbours home and property.

The recommendation of the Committee of the Whole on November 10, 2009, to receive the Public Hearing report and to forward a technical report to a future Committee of the Whole meeting was ratified by Council on November 24, 2009.

Purpose

The Owner has submitted the following applications on the subject lands shown on Attachments #1 and #2, to permit a 2 and 3-storey residential apartment building, comprised of 22-units, as shown on Attachments #4 to #9:

1. An Official Plan Amendment Application (File OP.06.003) to redesignate part of the subject lands (east portion) from "Low Density Residential" to "Open Space Area", in the manner shown on Attachment #3, and amend the "Low Density Residential" and "Open Space Area" policies in OPA #350 (Maple Community Plan), as noted in Table 1 of this report;
2. A Zoning By-law Amendment Application (File Z.06.006) to rezone the property from R1 Residential Zone and A Agricultural Zone to RA2 Apartment Residential Zone (0.211 ha tableland) and OS1 Open Space Conservation Zone as shown on Attachment #4. The proposed rezoning of the tableland will facilitate the development of a 22-unit residential apartment building with site-specific exceptions listed in Table 2 of this report; and,
3. A Site Development Application (File DA.06.007) to facilitate the development of the property for a 2,137m², 2 and 3-storey residential apartment building comprised of 22 units, as shown on Attachment #4.

Background - Analysis and Options

Applications for Official Plan and Zoning By-law Amendment and Site Development were submitted by the previous owners of the property on January 23, 2006. The original development proposal was for a 50-unit residential apartment building with a net residential density of 102 units per hectare on a 0.44 ha lot. On October 18, 2006, the Development Planning Department, along with the Toronto and Region Conservation Authority (TRCA) conducted a site walk of the property. The drip line, identified by the TRCA, had direct impact on the development proposal as the majority of the proposed building was located within the drip line. The developable land (tableland) was identified as 0.211 ha of the overall 0.44 ha property. The property was subsequently sold to the subject owner.

On September 22, 2009, the current Owner of the property reinitialized the development applications and proposed the current development proposal. The Owner consulted with the local residents and the Development Planning Department and the Cultural Services Division, prior to resubmitting the current development applications, consisting of a 22-unit residential apartment building with a net residential density of 105 units per hectare on 0.211 ha of tableland.

Location

The 0.44 ha property, shown on Attachments #1 and #2, is located on the east side of Keele Street, between Rutherford Road and Major Mackenzie Drive (municipally known as 9589 Keele Street, in Part of Lot 18, Concession 3, City of Vaughan. The property has 37 m frontage along Keele Street and backs onto a tributary of the Don River.

Provincial Policy Statement (PPS)

The PPS provides broad based policy direction on matters of Provincial interest related to land use planning and development. The PPS also promotes cost-effective development standards to minimize land consumption and servicing costs, supports and encourages residential intensification to accommodate an appropriate range and mix of housing and densities that make more efficient use of land and public infrastructure, and public transit supportive developments. The development of the property will provide additional accommodation choices while utilizing the existing municipal infrastructure efficiently through compact form and densities, and will ensure the surrounding environmental features are protected and enhanced. As a result, the proposed development conforms to the goals and objectives and policies of the PPS.

Places to Grow

Places to Grow ("the Province's Growth Plan") sets out policies applicable to the Greater Golden Horseshoe. The policies of the Growth Plan encourage compact built forms, transit supportive communities, diverse land uses, a range and mix of housing types, and directs growth to settlement areas that offer municipal water and wastewater systems.

The proposed development, which is supported by municipal water and wastewater systems, would provide an alternative housing form that maximizes the use of land with the development of a 2 and 3-storey, 22-unit residential apartment building. As a result, the proposed development achieves the goals of the Growth Plan.

City of Vaughan Official Plan

The subject lands are designated "Low Density Residential" in OPA #350 (Maple Community Plan). The proposal for a residential apartment building does not conform to the Official Plan, which currently permits single detached dwellings.

The Owner submitted an Official Plan Amendment Application (File OP.06.003) to redesignate the easterly portion of the property from "Low Density Residential" to "Open Space Area", in the manner shown on Attachment #3, and to amend the "Low Density Residential" and "Open Space Area" policies in OPA #350 (Maple Community Plan), in accordance with "Table 1: Official Plan Amendment", as follows:

Table 1: Proposed Official Plan Amendment

	Official Plan #350 Policy	Proposed Amendment to OPA #350
a.	The maximum permitted density in a Low Density Residential Area shall be 22 units per net residential hectare.	<ul style="list-style-type: none"> ▪ The maximum permitted density on the lands municipally known as 9589 Keele Street shall be 105 units per net residential hectare.
b.	All new housing units which directly abut residential units existing at the date adoption of this Plan (the Maple Community Plan) by Council shall be compatible single detached dwelling units on individual lots (Section 1.5bi).	<ul style="list-style-type: none"> ▪ Notwithstanding the policies of Section 1.5 b) i), a 22-unit residential apartment building shall be permitted on the lands municipally known as 9589 Keele Street.
c.	"The Open Space Area designation permits only valley lands, woodlots and other environmental protection areas, together with appropriate hazard control and low intensity recreational uses..." (Section 4.2 b).	<ul style="list-style-type: none"> ▪ Notwithstanding the policies of Section 4.2 b): <ul style="list-style-type: none"> - A portion of the lands identified as Buffer Area within the "Open Space Area" designation, as shown on Attachment #3 shall prohibit any building or structure with the exception of patios, steps, landscaping, an underground storage/infiltration bed, and a flow separator.

The Owner proposes a 2 and 3-storey, 22-unit, 2,137m² residential apartment building on the property with an open space area at the east side of the property. In light of the Provincial and Regional policies encouraging intensification and providing a mix of housing types in the community, the official plan amendment can be supported.

Zoning

The subject lands are zoned R1 Residential Zone and A Agricultural Zone by By-law 1-88. The current residential and agricultural zone categories do not permit the residential apartment development proposal. The Owner submitted a Zoning By-law Amendment Application (File Z.06.006) to rezone the subject lands from R1 Residential Zone and A Agricultural Zone to RA2 Apartment Residential Zone (tableland) and OS1 Open Space Conservation Zone in the manner shown on Attachment #4. The lands identified as Buffer Area within the OS1 Zone shall prohibit any building or structures with the exception of patios, steps, landscaping, and underground storage/infiltration bed and a flow separator. The remainder of the OS1 Zone shall not permit any building or structures.

The rezoning will permit the 2 and 3-storey, 22-unit, 2,137m² residential apartment building on the tableland with the following exceptions:

Table 2:

	By-law Standard	By-law 1-88 RA2 and OS1 Zone Requirements	Proposed Site-Specific Exceptions to RA2 and OS1 Zones
a.	Minimum Front Yard (Keele Street)	7.5 m	0.0 m (ie. road widening measured 21.5m from the centreline of Keele Street)
b.	Minimum Interior Side Yard	4.5 m	1.8 m from south property line
c.	Minimum Parking Spaces	39	28 (plus an additional 6 tandem spaces)
d.	Minimum Handicap Parking Space Size	3.9 m by 6.0 m	3.5 m by 6.1 m
e.	Minimum Landscape Buffer Around Parking Area	3 m	0.0 m along north property line
f.	Landscape Strip Width along a Street Line (Keele Street)	6.0 m	0.0 m (ie. road measured 21.5m widening from the centerline of Keele Street)
g.	Maximum Height of Retaining Wall on a Property Line Between Two Residential Lots	A Retaining Wall Exceeding 1.0 m in Height Must Be Setback Equal Distance to its Height	0.0 m Setback to Retaining Walls along North and South Property Lines
h.	Minimum Amenity Space per 2 bedroom units	1,210.0 m ² (22, 2-bedroom units x 55m ² per unit)	580 m ² (22 bedroom units x 26.3m ² per unit)
i.	Minimum Setback from the Front Lot Line to the Nearest Part of a Building Below Finished Grade	1.8 m	0.0 m
j.	Uses permitted in the OS1 Open Space Conservation	No building or structure other than for	Area identified as "Buffer Area" within the OS1 Zone shall

Table 2:

	By-law Standard	By-law 1-88 RA2 and OS1 Zone Requirements	Proposed Site-Specific Exceptions to RA2 and OS1 Zones
	Zone	conservation or flood control projects	prohibit any building or structure with the exception of patios, steps, landscaping, an underground storage/infiltration bed and a flow separator

The Owner is showing a reduction of the front yard setback along Keele Street from 7.5 m to 0.0m. The Region of York is currently protecting for a 43.0 m future road widening along Keele Street (21.5 m setback from the centreline of construction of Keele Street), but will require an immediate road widening of 36.0 m along Keele Street (18.0 m setback from the centreline of construction of Keele Street), thereby allowing at this time a 3.5 m front yard setback to occur until the future road widening is taken. By-law 1-88 also requires a minimum 6.0 m wide landscape strip along a street line, whereas 0.0 m is provided to the Region of York's protected future road widening. The implementing zoning by-law will indicate a minimum 0 m front yard setback and landscaping requirement along Keele Street to the future road widening. The location of the residential apartment building close to Keele Street creates an urban relationship and a pedestrian-friendly interface between the building and the street.

The property contains a protected open space area at the rear of the property, and a 37.0 m wide frontage on Keele Street. To achieve the proposed building design on the property, the Owner is requesting a reduction of the interior side yard along the south property line from 4.5 m to 1.8 m. Furthermore, to provide the proposed underground parking on the property as shown on Attachment #9, the Owner is requesting a 0.0 m setback to the front property line to portions of building below grade. These reductions are reasonable and appropriate as the proposed building height along the south property line would be consistent with the residential setback of a typical single family dwelling, and the 0.0 m setback to the front lot line for buildings below grade would facilitate sufficient parking for the development proposal.

The Owner is seeking relief from By-law 1-88 which currently requires a retaining wall that exceeds 1.0 m in height to be set back from the nearest property line a distance equal to its height. The Development Planning Department acknowledges that the proposed retaining wall along the north and south property lines are important features to this development proposal given the property's slope and site constraints. The retaining wall will facilitate the proposed below grade open parking area that serves this development.

By-law 1-88 requires 38 parking spaces for the development proposal based on a parking ratio of 1.5 spaces per unit and 0.25 spaces per unit for visitor parking. The Owner proposes a total of 28 parking spaces, of which 6 spaces are for visitor parking, based on a parking ratio of 1.0 space per unit with a visitor parking ratio of 0.27 spaces per unit, which was supported by a parking study, dated November 2009, by Sernas Transtech. The Vaughan Engineering Department has reviewed the parking study and concurs with the findings of the report.

The proposed development includes amenity spaces such as patio gardens, balconies, and a garden in the rear yard. The Owner is requesting a reduction of the minimum amenity space requirement from 1,210 m² to 580 m². Though the proposed amenity space represents a 52% reduction, the location of the property within the Maple Heritage Conservation District and the views of the Don River tributary at the rear of the property would be an added local amenity for

the development proposal. The Development Planning Department can support the reduction of the amenity area from 1,210 m² to 580 m², as the provided amenities are appropriate for the location of the development proposal.

The Development Planning Department can support the above zoning by-law exceptions due to the constraint posed by the developable (tableland) lot size, the creation of a better building-street interface, and the preservation of the open space at the rear for amenity, within the context of the Village of Maple Heritage Conservation District.

Site Plan and Access

The proposed site plan and landscape plan are shown on Attachments #4 and #5. The proposed residential apartment building is situated on the 0.211 ha tableland portion of the property, and backs onto a tributary of the Don River at the rear. Vehicular access to the site will be served by a 7.5m wide driveway at the north end of the site, and leads to the open parking area located below grade by a heated concrete ramp. The parking area will accommodate 28 parking spaces, of which 6 spaces are tandem, as shown on Attachment #9. The garbage and recycling storage area is proposed to be located in the parking area and shall comply with Vaughan's Waste Collection Design Standards Policy, to the satisfaction of the Vaughan Public Works Department. A condition to this effect has been included in the recommendation of this report.

Pedestrian access to the building will be from Keele Street through a central corridor. The central corridor will be gated with security access privileges granted to the occupants of the building. Access to the individual units and the landscaped amenity area will be by way of this central corridor. The final site plan must be approved to the satisfaction of the Development Planning Department.

Toronto and Region Conservation Authority (TRCA)

The Toronto and Region Conservation Authority has reviewed the applications and has no objection in principle with the Official Plan and Zoning By-law Amendment Files OP.06.003 and Z.06.006, subject to the recommendations of this report. Respecting Site Development File DA.06.007, the Owner endeavours to work with the TRCA on matters such as, but not limited to, the follow:

- a) the preservation of an existing silver maple tree resulting from either the relocation or redesign of the proposed flow spreader;
- b) the resubmission of a new Tree Inventory and Preservation Plan noting the following, "Tree removals should occur outside of the breeding bird season of April to the end of August. Interference with the nesting migratory species is a contravention of the "Migratory Birds Convention Act.";
- c) the removal of the anthropogenic debris located within the channel and valley lands with minimal impacts to the watercourse and to the existing vegetation and restoration of the disturbed areas; and,
- d) the eastern portion of the landscape area directly adjoining the natural vegetation shall be planted with native and non-invasive species.

The Owner is required to submit a revised tree inventory and preservation plan and fulfill all the requirements of the TRCA, as identified in the recommendation of this report.

Landscape Plan

The landscape plan, shown on Attachment #4, consists of a mix of coniferous and deciduous trees, ground plantings, and hard landscaping throughout the property. The landscaped courtyard overlooking the valleylands, the permeable paver walkways, along with the individual

garden patios are amenity features that are proposed for the benefit of the residents of the proposed development.

The final landscape plan, landscape cost estimate, and the tree inventory and preservation plan must be approved to the satisfaction of the Vaughan Development Planning Department.

Maple Streetscape Community Advisory Committee

The Maple Community Plan requires that development applications have regard for specific sections of the Maple Streetscape and Urban Design Guidelines (MSUDGs) to assess development proposals in the Major Mackenzie Drive and Keele Street corridors in Maple. The vision of the Maple Core Area from a physical built form perspective is implemented through the Maple Streetscape and Urban Design Guidelines (MSUDGs). In this context, Vaughan Council has established the Maple Streetscape Community Advisory Committee (MSCAC) to implement the MSUDGs. The Committee considered the development proposal at the January 27, 2010 MSCAC meeting. The Minutes of the said meeting, which were ratified at the February 24, 2010, MSCAC meeting resolved the following:

"a) Site Plan Review Aquatella Falls Homes Ltd., 9589 Keele Street

Mr. Ferdinand Wagner, Architect, gave an overhead presentation to the Committee on the site plan review of the Aquatella Falls Homes development located at 9589 Keele Street. It was reported that the project is made up of 22 two-storey condominium units. It was explained that the design of the buildings is in accordance with the Heritage Vaughan recommendations as well as the Maple Streetscape Architectural and Landscape Guidelines.

MOVED by Regional Councillor Joyce Frustaglio
Seconded by Sandra Colica

That the presentation of Mr. Ferdinand Wagner regarding the Aquatella Falls Homes, be received for information purposes.

CARRIED"

The Development Planning Department has confirmed that the Owner proposes two "Acorn" light standards along Keele Street, as shown on Attachment #4, in accordance with the Maple Streetscape Urban Design Guidelines (MSUDGs). The final landscape plan shall be reviewed in the context of the MSUDG's, to the satisfaction of the Development Planning Department.

Heritage Vaughan

The subject property is designated under Part V of the Ontario Heritage Act as a part of the Maple Heritage Conservation District. There are many 19th and early 20th century buildings throughout the settlement, and the character of a village remains evident in the Maple community. The proposed development references Victorian Vernacular design, common to the Maple Community in the 19th century. The design of this development ensures that the existing heritage resources are preserved and ultimately enhances the overall character of the Maple village.

The Owner has submitted a Heritage Permit application (HP.2009.019) as per this requirement. The development proposal was considered at the December 16, 2009, Heritage Vaughan Committee and the following recommendations were approved:

"Cultural Services recommends:

1. That Heritage Vaughan approve the proposed design received by Cultural Services Staff on December 4, 2009, for a 22 unit, 2 ½ to 3 storey residential development (HP.2009.019) subject to the following conditions:
 - The centre module/entranceway and side elevations in the upper dormers be a different material such as board and batten or another appropriate material.
2. That Heritage Vaughan request the applicant provide a full set of drawings reflecting any future minor design revisions (including site plan, landscape plan and all elevations) for final approval by Cultural Services staff.
3. That Heritage Vaughan requests the applicant provide samples of all exterior cladding materials, building materials and paint samples for consideration and approval by Cultural Services staff."

The Cultural Services Division has reviewed the building elevations, shown on Attachments #5 and #6, and have confirmed in a memorandum dated April 12, 2010, to the Development Planning Department that building elevations have been amended to reflect the recommendations of the Heritage Vaughan Committee. The Cultural Services Division has no outstanding issues with the development proposal.

Building Elevations

The proposed building elevations are shown on Attachments #6, #7 and #8. The building elevations include brick veneer walls, asphalt shingles and board and batten dormers, consistent with the Village of Maple Heritage Conservation Design Guidelines. The proposed building is 2-storeys high towards the front and, due to the grading, becomes 3-storeys at the rear. The front façade of the development proposal will give an appearance of two distinct buildings, but will be joined by a gated, recessed central corridor. The Development Planning Department and the Cultural Services Division are satisfied with the proposed building elevations. The Owner will be required to provide a brick and colour sample to the satisfaction of the Development Planning Department and the Cultural Services Division as noted in the recommendation of this report.

Vaughan Engineering

The Owner has submitted servicing, grading and stormwater management plans, which must be approved to the satisfaction of the Vaughan Engineering Department. The Engineering Department notes that the proposed retaining walls along the north and south property lines must be designed and certified by a professional engineer specialized in structural engineering. The design must be accompanied by calculations clearly demonstrating that it is structurally satisfactory and suitable for the locations. A condition on this matter has been included in the recommendation section of this report.

i) Environmental Site Assessment (ESA)

The Phase 1 Environmental Site Assessment (ESA) Report has been approved to the satisfaction of the Vaughan Engineering Department. The Record of Site Condition, under Registration Number 72927, has been filed with the Ontario Ministry of the Environment.

ii) Servicing

In the City's allocation report to Vaughan Council, dated June 1, 2010, the Engineering Department has reserved from the York Sewage Servicing System and water capacity from the

York Water Supply System for a total of 22 residential units (Site Development File DA.06.007), subject to the execution of a Site Plan Letter of Undertaking, to the satisfaction of the City. The resolution with respect to the allocation of sewer and water servicing capacity has been included in the recommendation section of this report.

A functional servicing report/brief must be to the satisfaction of the Vaughan Engineering Department. The final site servicing and grading plans must be approved to the satisfaction of the Vaughan Engineering Department.

Garbage/recycling and snow removal will be by private pick-up.

iii) Stormwater Management Report

The stormwater management report must be to the satisfaction of the Vaughan Engineering Department. A condition on this matter has been included in the recommendation of this report.

Relationship to Vaughan Vision 2020/Strategic Plan

This report is consistent with the priorities set forth in Vaughan Vision 2020, particularly "Plan & Manage Growth & Economic Vitality".

Regional Implications

The subject lands are designated "Urban Area" in the Region of York Official Plan. The Plan encourages within urban areas a broad range of housing types within efficient and mixed use compact communities at an overall transit-supportive density. The range of housing includes different forms, types and tenures to satisfy the needs of the Region's residents. The Regional Plan identifies that the housing stock in the Region is primarily detached units. The housing market is faced with demands for a broader variety of housing forms to meet the needs of different kinds of households. The Plan further encourages pedestrian scales, safety, comfort and mobility, the enrichment of the existing area with an attractive building, landscaping and public streetscapes. The proposed development and the associated amenity areas enhance the streetscape, and the proposed buffer area in the rear yard provides protection to the open space system. The proposed development is consistent with the Regional Official Plan policies.

The subject lands are located on the east side of Keele Street, which is a Regional Road. The Region of York Transportation Services Department has been circulated the development proposal and has no objections in principle. The Region of York is presently protecting for a 43 m right-of-way for this section of Keele Street. As such, the municipal setback must be referenced from a point 21.5 m from the centreline of construction of Keele Street. The Owner has indicated a setback of 21.6 m from the centreline of Keele Street, as shown on Attachment #3. The Owner will be required to fulfill all requirements of the Region of York Transportation Services Department, including the execution of a Regional Site Plan Agreement.

Conclusion

The Official Plan Amendment, Zoning By-law Amendment and Site Development Applications have been reviewed in accordance with the Provincial Policy Statement, Places to Grow, the York Region Official Plan, OPA #350 (Maple Community Plan), By-law 1-88, Heritage Vaughan Committee, comments from City Departments and external public agencies, and the area context. The Development Planning Department is satisfied that the proposed development for a 2 and 3-storey, 2,137 m² gross floor area residential apartment building consisting of 22 units, is appropriate and compatible with the existing and permitted uses in the surrounding area, within the Maple Heritage Conservation District. Accordingly, the Development Planning Department can support the approval of Official Plan Amendment File OP.06003, Zoning By-law Amendment

File Z.06.006, and Site Development File DA.06.007, subject to the conditions and recommendations of this report.

Attachments

1. Context Location Map
2. Location Map
3. Proposed Official Plan Amendment
4. Site Plan - Proposed Zone Boundaries
5. Landscape Plan
6. West and East Building Elevations
7. South and North Building Elevations
8. Keele Street Perspective
9. Underground Parking Level

Report prepared by:

Stephen Lue, Planner, ext. 8210

Christina Napoli, Acting Senior Planner, ext. 8483

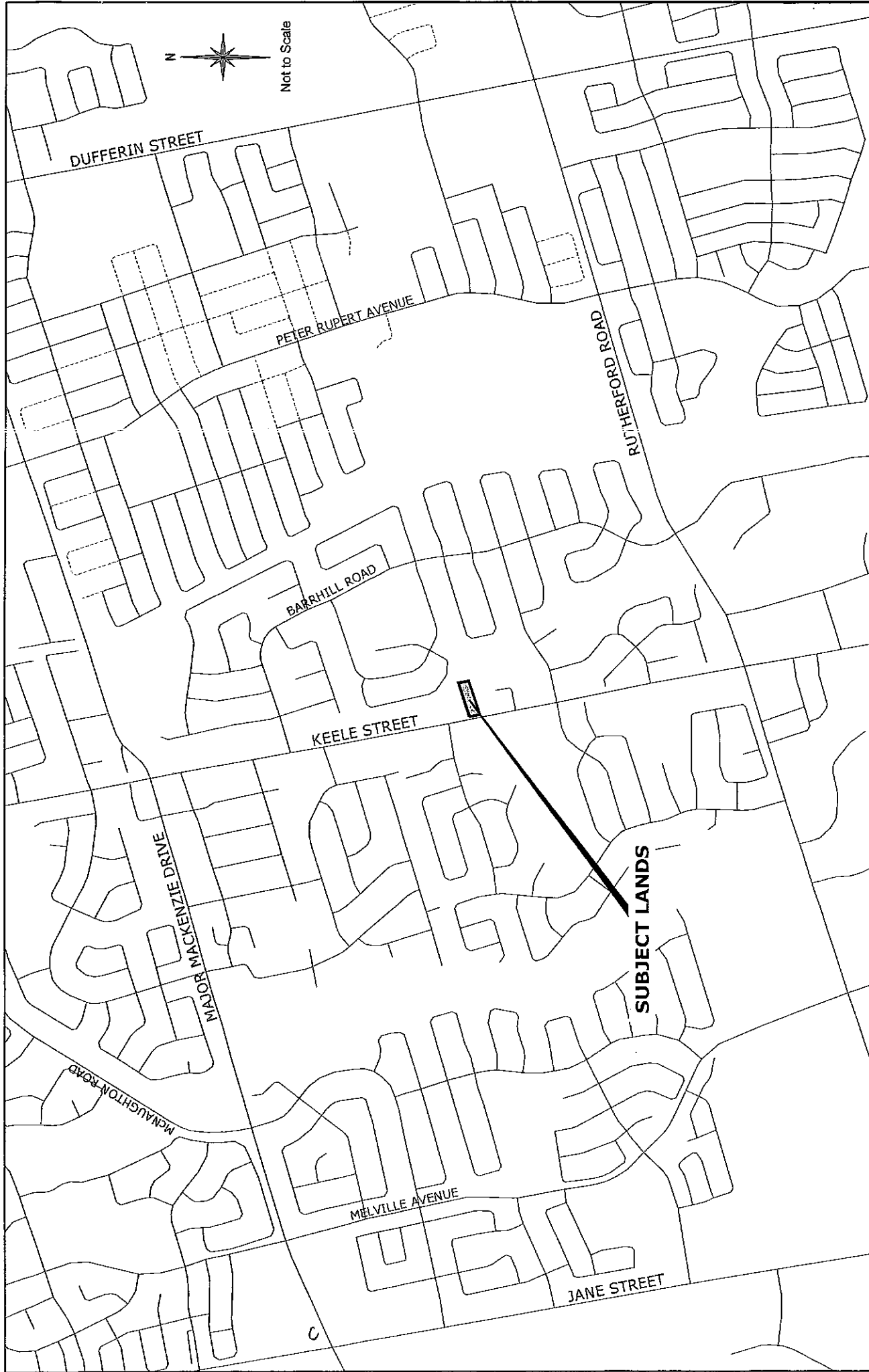
Carmela Marrelli, Acting Manager of Development Planning, ext. 8791

Respectfully submitted,

JOHN ZIPAY
Commissioner of Planning

GRANT UYHEYAMA
Director of Development Planning

/LG



Context Location Map

Location:
Part of Lot 18, Concession 3

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)



Development Planning Department

Attachment

Files: OP.06.003,
Z.06.006 & DA.06.007

Date:
May 5, 2010

1



Location Map

Location:
Part of Lot 18, Concession 3

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)



The City Above Toronto
Development Planning Department

Attachment

Files: OP.06.003,
Z.06.006 & DA.06.007

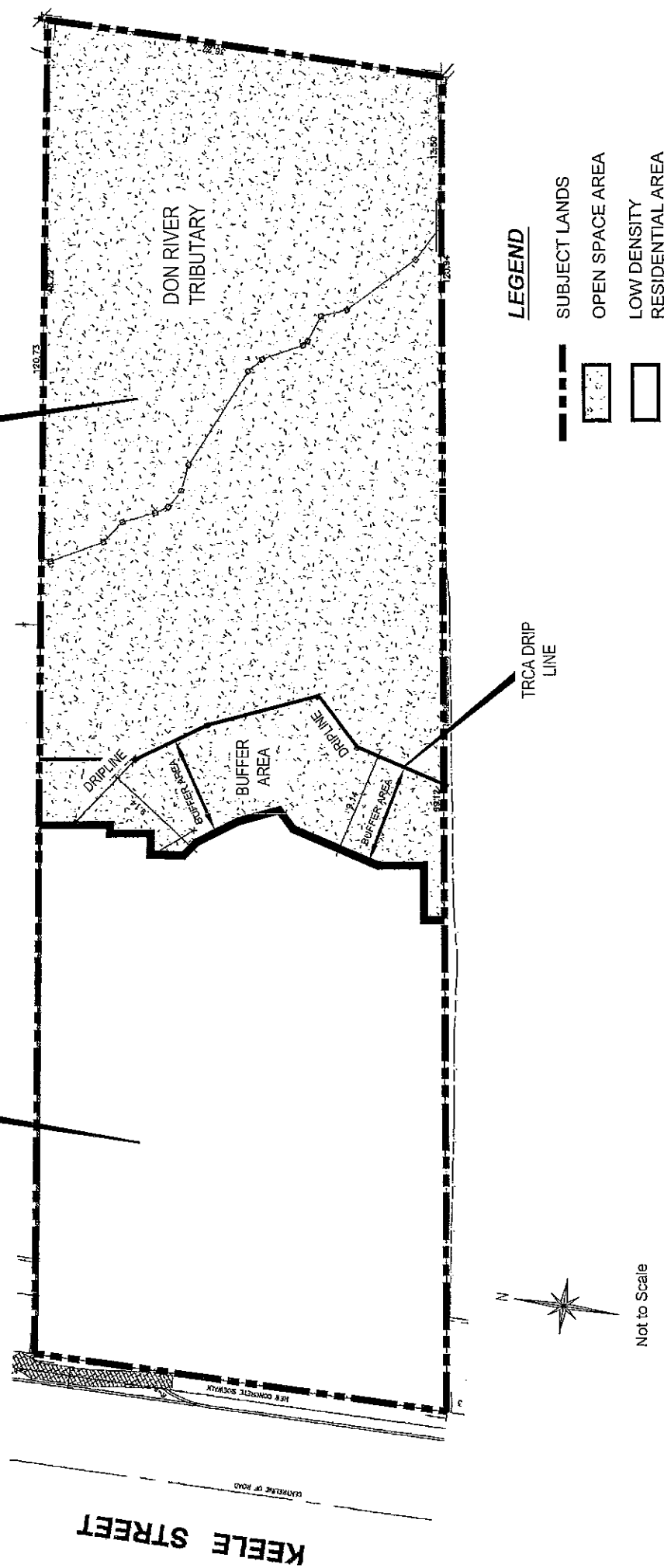
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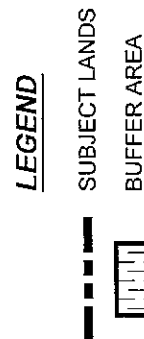
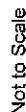
- LEGEND**
- A - AGRICULTURAL ZONE
 - OS1 - OPEN SPACE CONSERVATION ZONE
 - OS2 - OPEN SPACE PARK ZONE
 - R1 - RESIDENTIAL ZONE
 - R2 - RESIDENTIAL ZONE
 - R3 - RESIDENTIAL ZONE
 - R4 - RESIDENTIAL ZONE
 - RA2 - APARTMENT RESIDENTIAL ZONE
 - SUBJECT LANDS

1. PERMIT AN INCREASE IN THE MAXIMUM PERMITTED DENSITY IN THE LOW DENSITY RESIDENTIAL DESIGNATION FROM 22 TO 105 UNITS PER HECTARE; AND
2. PERMIT A 22 UNIT RESIDENTIAL APARTMENT BUILDING NEXT TO AN EXISTING SINGLE FAMILY DWELLING WHEREAS OPA #350 PERMITS COMPATIBLE SINGLE FAMILY DWELLINGS ABUTTING RESIDENTIAL DWELLINGS THAT EXISTED AT THE TIME OF ADOPTION OF OPA #350.

1. REDESIGNATE FROM "LOW DENSITY RESIDENTIAL" TO "OPEN SPACE AREA".
2. THE AREA IDENTIFIED AS "BUFFER AREA" SHALL PROHIBIT ANY BUILDING OR STRUCTURE EXCEPT FOR PATIOS, STEPS, LANDSCAPING, AN UNDERGROUND STORAGE/INFILTRATION BED, AND A FLOW SEPARATOR.



REZONE THE SUBJECT LANDS FROM R1 RESIDENTIAL ZONE AND A AGRICULTURAL ZONE TO RA2 APARTMENT RESIDENTIAL ZONE AND OS1 OPEN SPACE CONSERVATION ZONE WITH SITE-SPECIFIC ZONING EXCEPTIONS TO FACILITATE A PROPOSED 22 UNIT RESIDENTIAL APARTMENT BUILDING.



City of Vaughan

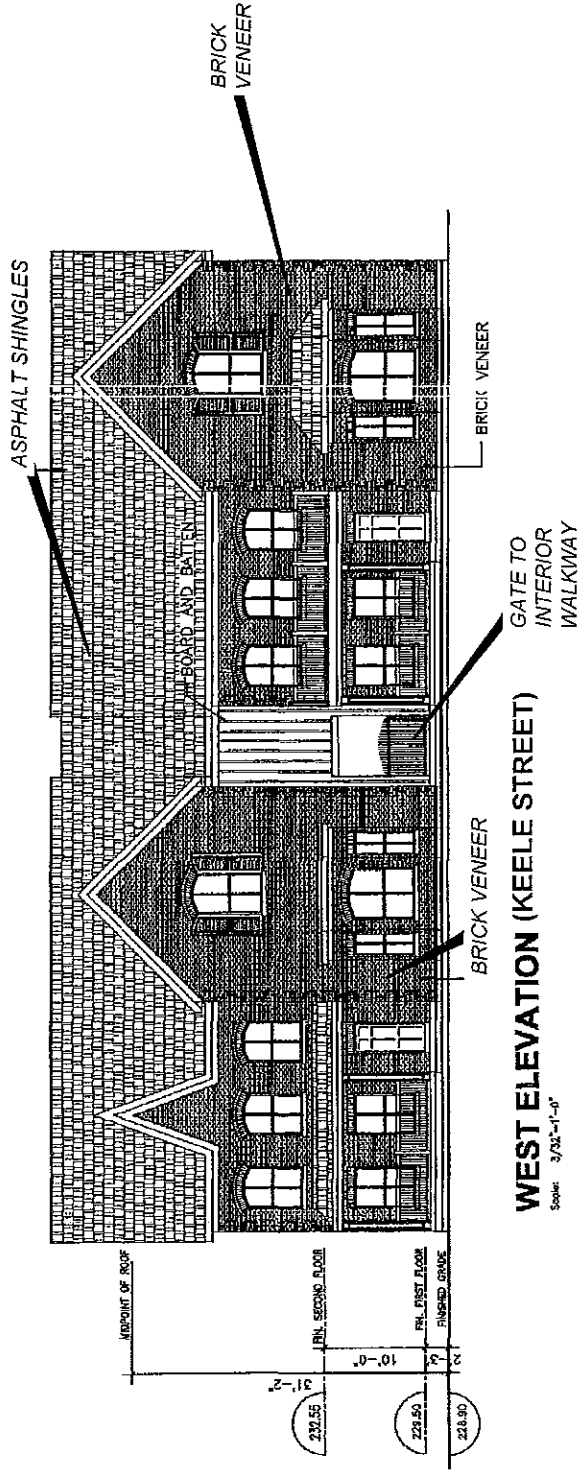
Applicant: Aquatella Falls Homes Ltd.
Location: Part of Lot 18,
Concession 3
(Formerly "Maple-Jane" Developers)

Development Planning Department

Attachment

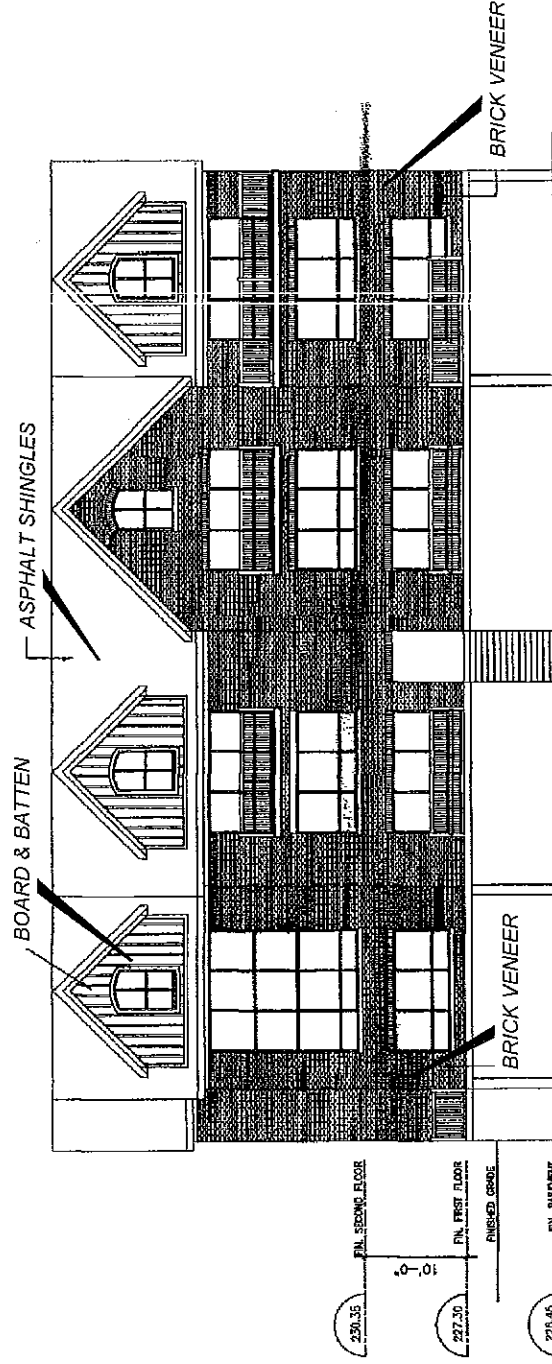
Files: OP.06.003,
Z06.006 & DA.06.007

Date: May 5, 2010



WEST ELEVATION (KEELE STREET)

Scale: 3/32"=1'-0"



EAST ELEVATION

Scale: 3/32"=1'-0"

West & East Building Elevations

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)

Location: Part of Lot 18,
Concession 3



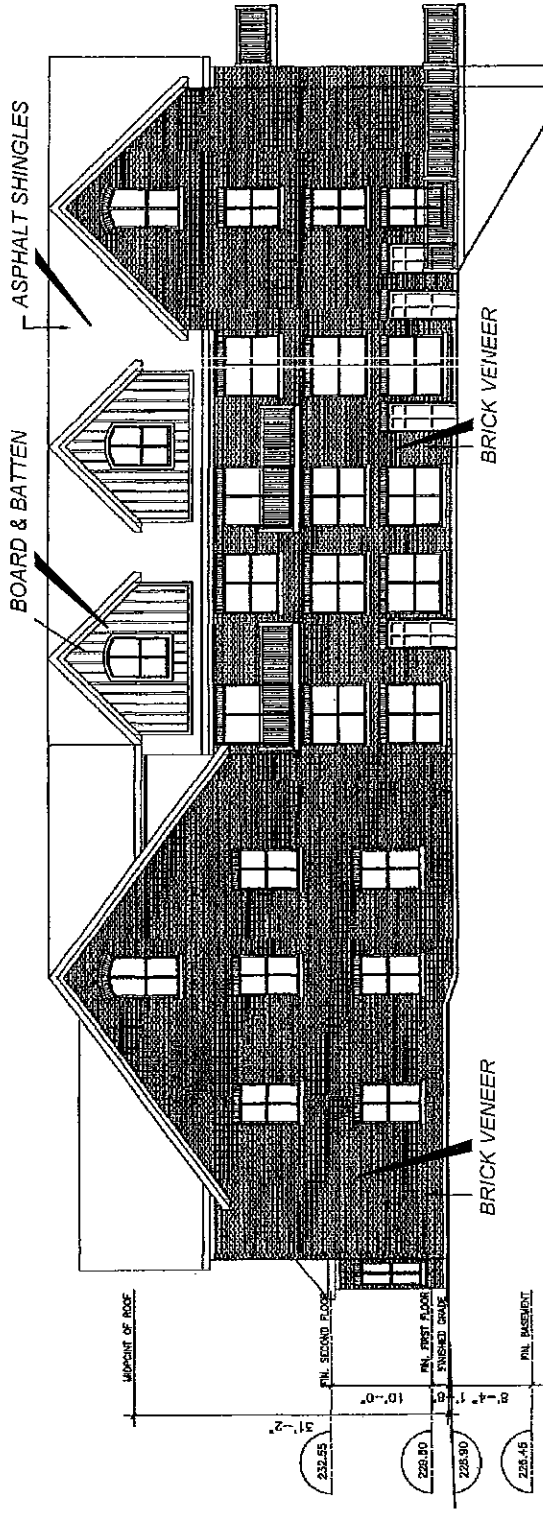
Development Planning Department

Attachment

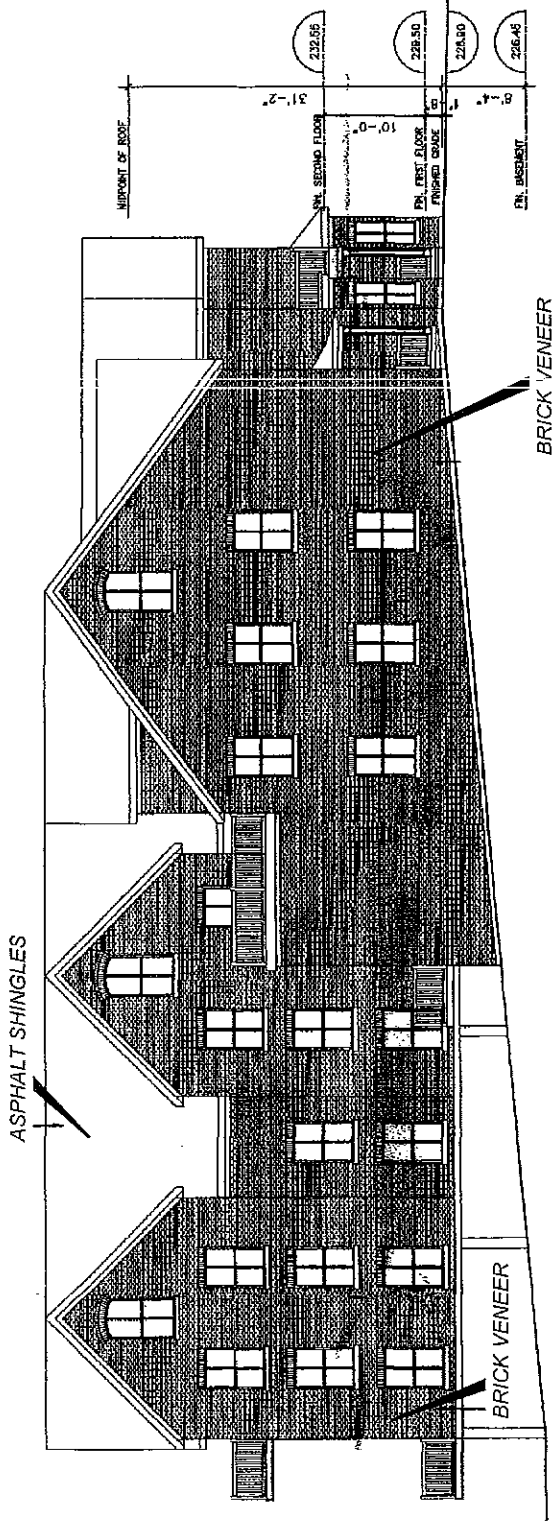
Files: OP.06.003,
Z.06.006 & DA.06.007

Date:
May 5, 2010

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SOUTH ELEVATION
Scale: 3/32"=1'-0"



NORTH ELEVATION
Scale: 3/32"=1'-0"

South & North Building Elevations

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)
Location: Part of Lot 18,
Concession 3



Development Planning Department

Attachment

Files: OP.06.003,
Z.06.006 & DA.06.007

Date:
May 5, 2010

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Not to Scale

Keele Street Perspective

Location:
Part of Lot 18, Concession 3

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)

**City of
Vaughan**

The City Above Toronto

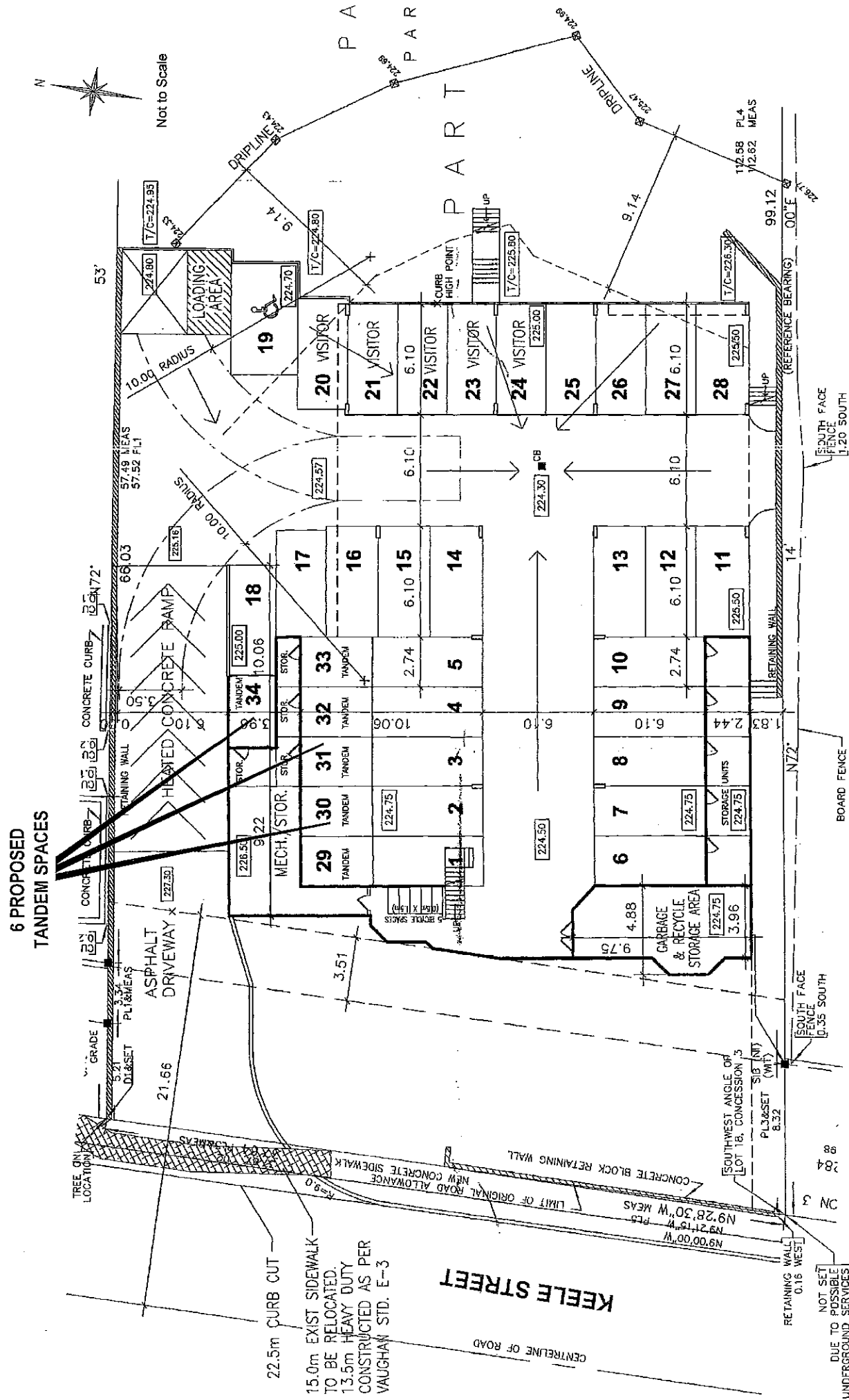
Development Planning Department

Attachment

Files: OP-06.003,
Z-06.006 & DA-06.007

Date:
May 5, 2010

8



Underground Parking Level

Location:
Part of Lot 18, Concession 3

Applicant: Aquatella Falls Homes Ltd.
(Formerly "Maple-Jane" Developers)

$$L_{\text{eff}} = \frac{1}{2} \sum_{\mathbf{r}} \left[\dot{\mathbf{r}}^2 + \frac{1}{2} \left(\frac{\partial \mathbf{r}}{\partial t} \right)^2 \right] + \frac{1}{2} \sum_{\mathbf{r}} \left[\left(\frac{\partial \mathbf{r}}{\partial t} \right)^2 + \frac{1}{2} \left(\frac{\partial \mathbf{r}}{\partial t} \right)^2 \right]$$

**City of
Vaughan**

The City Above Toronto

Development Planning Department

Attachment

Files: OP.06.003,
Z.06.006 & DA.06.007

Date: May 5, 2010

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