

**4.    ZONING BY-LAW AMENDMENT FILE Z.11.008  
1350150 ONTARIO LIMITED  
WARD 3**

**P.2011.19**

**Recommendation**

The Acting Commissioner of Planning and Director of Development Planning recommend:

THAT the Public Hearing report for File Z.11.008 (1350150 Ontario Limited) BE RECEIVED; and, that any issues identified be addressed by the Development Planning Department in a comprehensive report to the Committee of the Whole.

**Contribution to Sustainability**

The contribution to sustainability will be determined when the technical report is considered.

**Economic Impact**

This will be addressed when the technical report is completed.

**Communications Plan**

- a)     Date the Notice of a Public Meeting was circulated: May 6, 2011
- b)     Circulation Area: 150 m and to the East Woodbridge Community Association
- c)     Comments Received as of May 17, 2011: None

**Purpose**

The Owner has submitted Zoning By-law Amendment File Z.11.008 to amend Zoning By-law 1-88, specifically to rezone the subject lands shown on Attachments #1 and #2 from EM1 Prestige Employment Area Zone to C10 Corporate District Zone, in order to facilitate a proposed retail development, shown conceptually on Attachment #3. Based on the concept plan, the following exception to By-law 1-88 is required:

	<b>By-law Standard</b>	<b>By-law 1-88, C10 Corporate District Zone Requirements</b>	<b>Proposed Exception to C10 Corporate District Zone</b>
a.	Minimum Required Parking	6.0 parking spaces per 100 m <sup>2</sup> of GFA (Total Required – 252 spaces)	4.8 parking spaces per 100 m <sup>2</sup> of GFA (Total Proposed – 202 spaces)

Other zoning exceptions may be identified through the detailed review of the application, and will be addressed in the technical report.

**Background - Analysis and Options**

Location	<ul style="list-style-type: none"> <li>▪ 167 Chrislea Road. Northeast corner of Chrislea Road and Portage Parkway, shown as "Subject Lands" on Attachments #1 and #2.</li> </ul>
Official Plan Designation	<ul style="list-style-type: none"> <li>▪ "Corporate Centre District" by OPA #500 (The Vaughan Corporate Centre Secondary Plan) as amended by OPA #663 (Highway 7 Policy Review Plan).</li> <li>▪ "Commercial Mixed Use" by the City of Vaughan Official Plan 2010, which was adopted by Vaughan Council on September 7, 2010, and is pending final approval from the Region of York.</li> <li>▪ The proposed rezoning conforms to the Official Plans.</li> </ul>
Zoning	<ul style="list-style-type: none"> <li>▪ EM1 Prestige Employment Area Zone by Zoning By-law 1-88.</li> <li>▪ An amendment to Zoning By-law 1-88 is required to rezone the subject lands from EM1 Prestige Employment Area Zone to C10 Corporate District Zone to permit retail store, retail warehouse and other permitted C10 commercial uses on the subject lands.</li> </ul>
Surrounding Land Uses	<ul style="list-style-type: none"> <li>▪ Shown on Attachment #2.</li> </ul>

**Preliminary Review**

Following a preliminary review of the application, the Development Planning Department has identified the following matters to be reviewed in greater detail:

	<b>MATTERS TO BE REVIEWED</b>	<b>COMMENT(S)</b>
a.	City Official Plan Policies	<ul style="list-style-type: none"> <li>▪ The application will be reviewed in consideration of the applicable City Official Plan policies.</li> </ul>
b.	Appropriateness of Proposed Rezoning and Parking Exception	<ul style="list-style-type: none"> <li>▪ The appropriateness of the proposed rezoning and exception will be reviewed in consideration of the conceptual site plan shown on Attachment #3, and compatibility of the proposed commercial uses with the surrounding employment and commercial land use context.</li> </ul>

	<b>MATTERS TO BE REVIEWED</b>	<b>COMMENT(S)</b>
c.	Future Site Development Application	<ul style="list-style-type: none"> <li>▪ The Owner will be required to submit a future Site Development Application to address issues including but not limited to, built form, massing and design, pedestrian access, landscaping, traffic and transportation related issues, access, grading, servicing and stormwater management, environmental issues, sustainability initiatives and site design.</li> </ul>
d.	Ministry of Transportation (MTO)	<ul style="list-style-type: none"> <li>▪ The subject lands are located within the MTO's permit control area and will require Ministry review and approval for any future development. The application will be reviewed in consideration of the MTO's comments.</li> </ul>
e.	Additional Supporting Studies	<ul style="list-style-type: none"> <li>▪ Review will be given to determine if additional studies are required to support the proposed development, and may include, but not limited to, traffic and parking studies.</li> </ul>

**Relationship to Vaughan Vision 2020/Strategic Plan**

The applicability of this application to the Vaughan Vision will be determined when the technical report is considered.

**Regional Implications**

The application has been circulated to the Region of York for review and comment. Any issues will be addressed when the technical report is considered.

**Conclusion**

The preliminary issues identified in this report and any other issues identified through the processing of the application will be considered in the technical review of the application, together with comments from the public and Council expressed at the Public Hearing or in writing, and will be addressed in a comprehensive report to a future Committee of the Whole meeting.

**Attachments**

1. Context Location Map
2. Location Map
3. Development Concept Plan

**Report prepared by:**

Clement Messere, Planner, ext. 8409

Carmela Marrelli, Senior Planner, ext. 8791

Mauro Peverini, Manager of Development Planning, ext. 8407

Respectfully submitted,

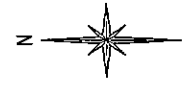
JOHN ZIPAY  
Acting Commissioner of Planning

GRANT UYEVAMA  
Director of Development Planning

/CM



CITY OF TORONTO



Not to Scale

# Context Location Map

Part of Lot 7,  
Concession 5  
Applicant:  
1350150 ONTARIO LIMITED  
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# Attachment

File:  
Z.11.008  
Date:  
April 19, 2011



# 1



**LEGEND**

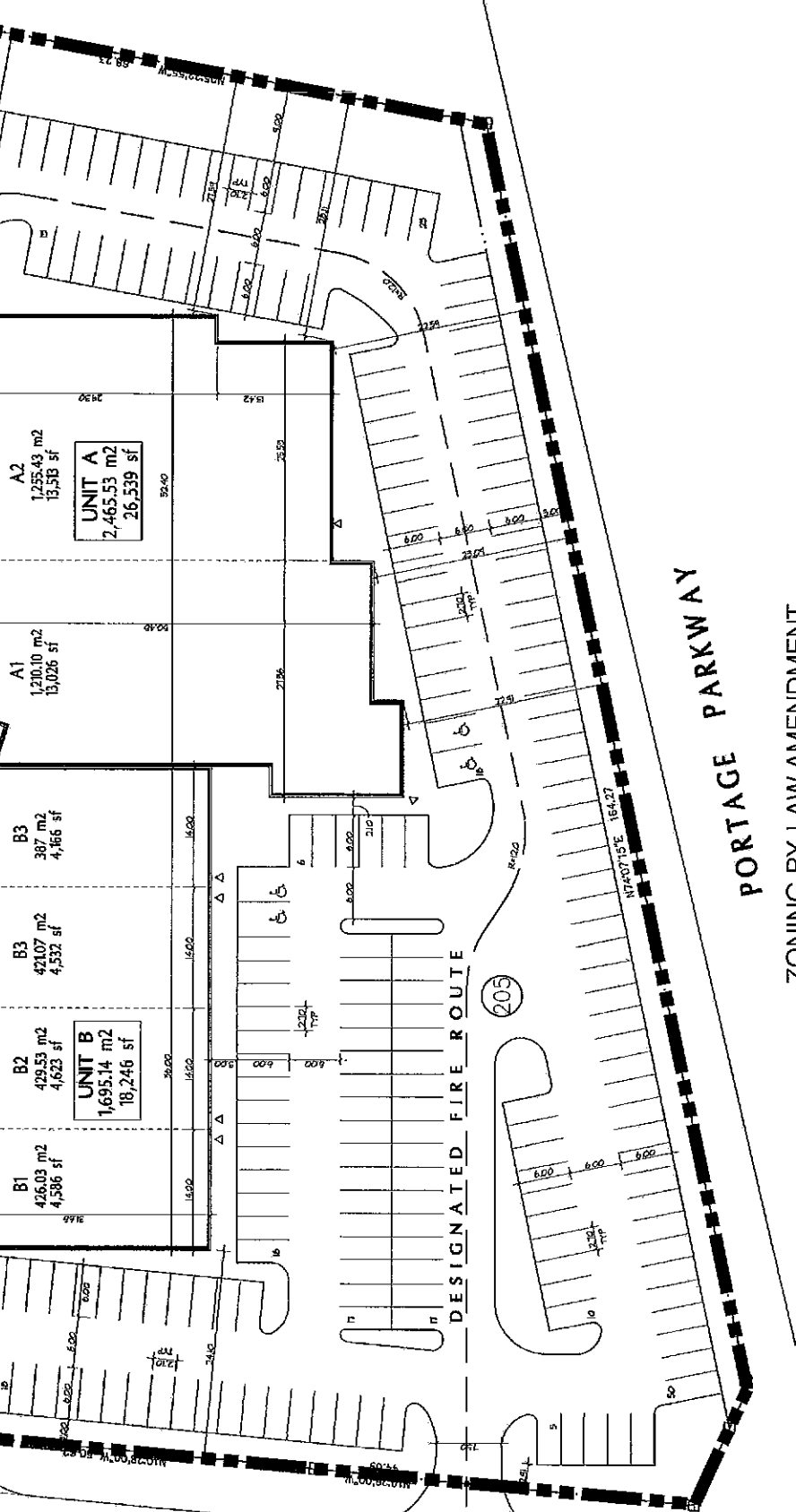
- C7 - SERVICE COMMERCIAL ZONE
- C10 - CORPORATE DISTRICT ZONE
- EM1 - PRESTIGE EMPLOYMENT AREA ZONE
- EM2 - GENERAL EMPLOYMENT AREA ZONE
- EM3 - RETAIL WAREHOUSE EMPLOYMENT AREA ZONE
- OS2 - OPEN SPACE PARK ZONE
- (H) - HOLDING PROVISION

**SUBJECT LANDS**



EM1 ZONE

UTILITIES  
31,51 m<sup>2</sup>  
339 sf



ZONING BY-LAW AMENDMENT

TO REZONE THE SUBJECT LANDS FROM EM1 PRESTIGE EMPLOYMENT AREA ZONE TO C10 CORPORATE DISTRICT ZONE. IN ADDITION, PARKING IS PROPOSED TO BE PROVIDED AT A RATE OF 4.8 SPACES / 100m<sup>2</sup> (TOTAL 202 SPACES) WHEREAS ZONING BY-LAW 1-88 REQUIRES 6.0 SPACES / 100m<sup>2</sup> (TOTAL 252 SPACES).

SUBJECT LANDS

Development Concept Plan

Attachment

Part of Lot 7,  
Concession 5  
Applicant:  
1350150 ONTARIO LIMITED  
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File:  
Z.11.008  
Date:  
April 19, 2011

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