

COMMITTEE OF THE WHOLE JUNE 14, 2011

PUBLIC MEETING PROPOSED AMENDMENTS TO THE CITY'S SIGN BY-LAW POSTER PANEL SIGNS (BILLBOARDS)

Recommendation

The Acting Commissioner of Planning, and the Director of Building Standards recommend that:

- 1) The City's Sign By-Law be amended to permit Poster Panel Signs within the "Proposed Expansion Area" as shown on Appendix 3 to this report.

Economic Impact

None

Communications Plan

Notice of this public meeting has been given in accordance subsections 4(2) and 4(4) of the City's Notice By-law No. 394-2002, as amended.

The Public Notice also included an item with respect to Postering on public properties however this matter and the related report from Legal Services Department has been deferred to a future meeting.

Purpose

To consider a report from Staff and receive public comments respecting proposed amendments to the City's Sign By-Law 203-92 as amended, that propose to expand the areas of the City in which Poster Panel Signs (Billboards) may be located.

The report from Legal Services Department respecting the proposed amendments to the City's Sign By-laws regarding Postering on public properties has been deferred. A future report regarding the matter will be brought forward by the Legal Services Department at a later date.

Background - Analysis and Options

1) POSTER PANELS (Billboards)

Poster Panel Signs or Billboard Signs are defined in the City's Sign By-law as a standardized sign structure erected and maintained by a business engaged in the sale or rental of space upon which advertising copy is displayed advertising goods or services that are not necessarily conducted within or upon the lot upon which the sign is located. These signs contain 3rd party advertising and are not associated with property owners/tenants business or use.

Attached as Appendix 1 is a copy of a photograph showing a typical Poster Panel Sign.

The current Sign By-Law provisions for Poster Panels were approved by City Council in January 1997. There have been no additional amendments respecting Poster Panels with the exception of adjustments to permit fees.

Existing By-Law Provisions

The City's Sign By-law 203-92 as amended, presently permits Poster Panels on vacant and developed lands zoned Industrial or Commercial and utility corridors as shown on Schedule "E" to the Sign By-law. The permitted areas are generally based on the industrial area designation contained within the City's Official Plan Amendment Number OPA 450.

The Sign By-law further permits a maximum 100 signs within the City subject to minimum setbacks and separation requirements of 600 metres between signs. The by-law further provides for bonusing by promoting the removal of existing signs outside the prescribed areas and permitting them inside the prescribed areas at an increased rate. (For every 2 signs removed from outside the area 3 signs were permitted within the areas identified in Schedule "E".)

At the time of the enactment of the present by-law provisions in 1997 it was believed that there were approximately 120 ± signs within the City. The majority of these signs were permitted by a previous version of the Sign By-Law.

Even with the introduction of bonusing, a large number of signs have been removed to make way for current urban developments. It is believed that there are presently only 80 to 90 signs existing within the City. Staff are currently in the process of confirming the exact number of existing signs.

Attached as Appendix 2 is a brief outline of the sign by-law history for Poster Panels.

Proposed By-law Amendments

Staff are supportive of the existing by-law that restricts Poster Panel Signs from being located near residential urban areas by only permitting them to be located within the larger employment areas of the City on lands zoned employment area, industrial or commercial and utility corridors. Accordingly, Staff are recommending that the permitted area for poster panels be expanded to roughly follow expansions in the City's western employment area with the northerly limit being the south side of Major Mackenzie Drive. In view of the uncertainty of the new employment area designations pending the approval of the City's new Official Plan, Poster Panels should not be permitted outside existing employment designated areas. The recommended expansion is shown as "Proposed Expansion Area" on Appendix 3 attached to this report.

Staff are further recommending that all other performance standards of the Sign By-Law remain unchanged. This includes, the maximum cap of 100, maximum size and area limitations and minimum setback and separation requirements.

Attached as Appendix 3 is a copy of a City map showing the Proposing Expansion Area.

Relationship to Vaughan Vision 2020

This report is consistent with the priorities previously set by Council and the necessary resources have been allocated and approved.

Regional Implications

The Region of York requires that Poster Panel Signs abutting a Regional Road obtain their approval respecting the location of the proposed signs.

Conclusion

Staff are recommending that the permitted area for poster panels be expanded to follow expansions in the City's' western employment area and that the City's Sign By-Law be amended to permit Poster Panel Signs within the "Proposed Expansion Area" as shown on Appendix 3 to this report.


Attachments

- 1) Photograph of a Typical Poster Panel Sign.
- 2) History of Poster Panels (Billboards)
- 3) City Map Showing Existing and Proposed Expansion Area for Poster Panel Signs.
- 4) Excerpt of Sign By-law - Section 15 (Poster Panels)

Report prepared by:

John Studdy, Manager of Customer and Administrative Services Ext. 8232

Respectfully submitted,


John Zipay
Acting Commissioner of Planning
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Leo Grellette
Director of Building Standards

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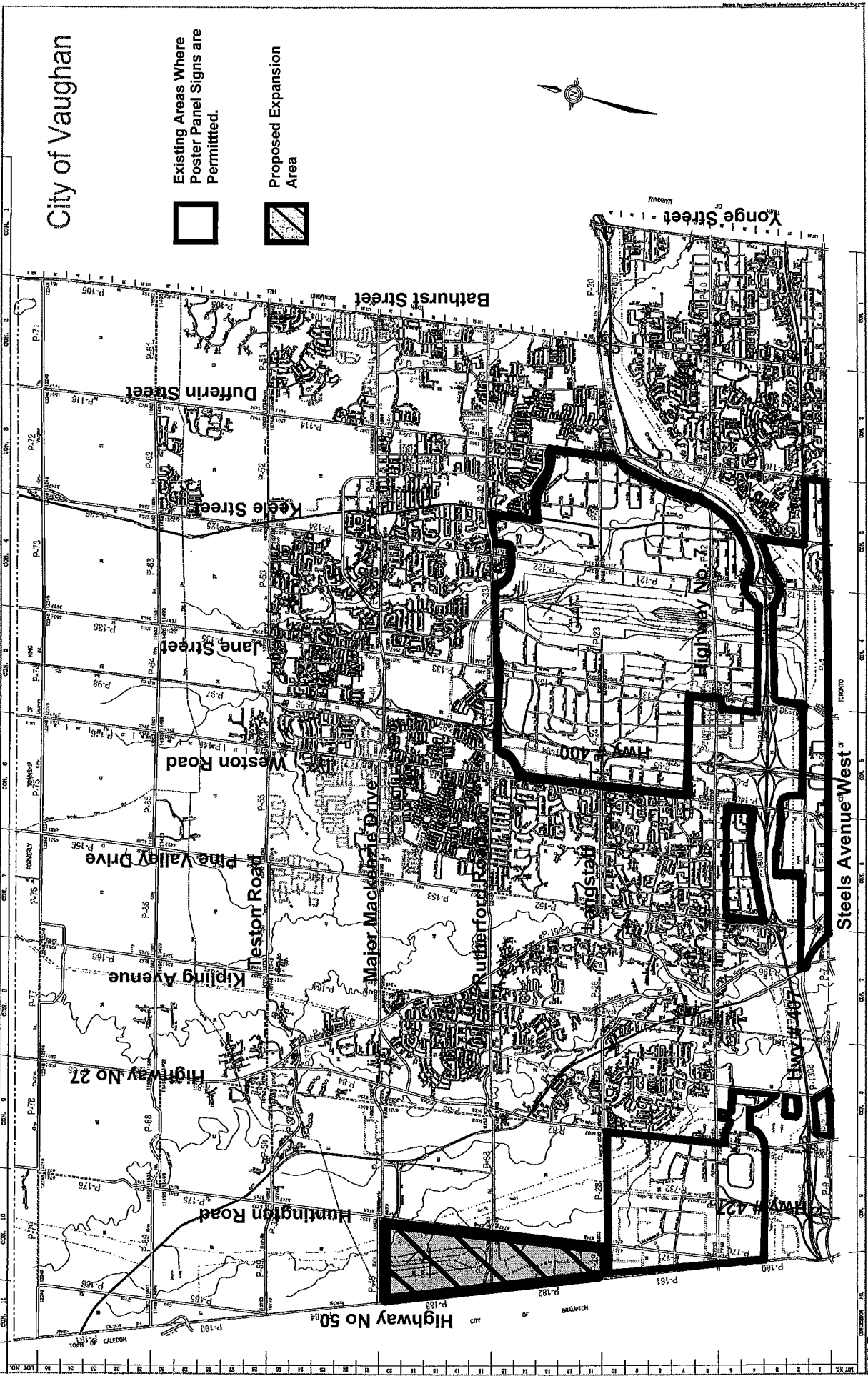
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**History Sign By-Law
Poster Panel Signs (Billboard Signs 3rd Party Advertising)
City of Vaughan**

<u>By-Law No.</u>	<u>Date Enacted by Council</u>	<u>By-Law Summary</u>
By-Law 202-94	June 22, 1992	<ul style="list-style-type: none"> - New consolidated sign by-law for the whole city - Repeals previous Town Sign By-Law 77-81. - Poster Panels <u>not permitted</u>.
By-Law 9-96	January 15, 1996	<ul style="list-style-type: none"> - Removes the probation on Poster Panel signs (Billboard Sign used for 3rd party advertising) - Permits Poster Panel Signs to be erected within all Agricultural, Commercial and Industrial zones plus within utility corridors.
By-Law 168-96	June 27, 1996	<ul style="list-style-type: none"> - Amends Poster Panel provisions - Restricts Poster Panel signs only on vacant land zoned Industrial or Commercial and utility corridors within O.P.A. 450 - Increased setback. separation and location requirements. - Permits a maximum 100 signs within City
By-Law 19-97	January 27, 1997	<ul style="list-style-type: none"> - Amends Poster Panel provisions - Permits Poster Panels on vacant and developed lands zoned Industrial or Commercial lands and utility corridors with O.P.A. 450 - Maintains a maximum 100 signs within City - Introduces bonusing promoting the removal of existing signs located outside the prescribed area at the rate of permitting 3 additional signs for every 2 signs removed.
By-Law 110-97	May 12, 1997	<ul style="list-style-type: none"> - General housekeeping amendments with fee increase.
By-Law 2009-2007	June 25,2007	<ul style="list-style-type: none"> - Fees increased and permit fees transferred to the City's Consolidated Fees and Charges By-law 396-2002, as amended.



SECTION 15 – POSTER PANELS (BILLBOARDS)

15.1 Vacant Industrial and Commercial Zoned Lands and Utility Corridors

Notwithstanding Section 6 (General Provisions for all signs), and Section 8 (Signs permitted for Industrial and Commercial Buildings), One (1) Poster Panel may be permitted on vacant lot zoned Industrial or Commercial, or within a Utility Corridors in accordance with the following requirements.

Poster Panels erected in accordance with this sub-section shall:

- a) be located within the limits of the industrial area of Official Plan Amendment No. 450, as shown on Schedule "E".
- b) be set back a minimum of 5.0 metres from all street lines.
- c) not exceed a maximum sign area of 20.0 sq.m. for any single sign face with a total sign area of 40 sq.m. for all sign faces combined.
- d) not exceed 8.0 metres in height measured from the finished grade level at the base of the supporting structure.
- e) be set back a minimum of 5.0 metres from any common lot boundary with an adjacent lot.
- f) not be located closer than 1.0 metre to any driveway.
- g) be set back a minimum of 600 metres from any other poster panel located on the same side of the street.
- h) not be permitted within 100 metres from a building containing residential dwelling units or lands zoned residential.
- i) not be located within, and be setback 100 metres from, Special Sign Districts as shown on Schedules "A", "B", "C" and "D".

15.2 Developed Industrial and Commercial Zoned Lands

Notwithstanding Section 6 (General Provisions for all signs), and Section 8 (Signs permitted for Industrial and Commercial Buildings), One (1) Poster Panel may be permitted on a developed lot zoned Industrial or Commercial, in accordance with the following requirements:

Poster Panels erected in accordance with this sub-section shall:

- a) only be permitted on a lot in lieu of the additional ground sign permitted by Section 6.1 i) of this by-law.
- b) be located within the limits of the industrial area of Official Plan Amendment No. 450, as shown on Schedule "E".
- c) be set back a minimum of 1.0 metre from all street lines.
- d) not exceed a maximum sign area of 20.0 sq.m. for any single sign face with a total sign area of 40 sq.m. for all sign faces combined.

- e) not exceed 8.0 metres in height measured from the finished grade level at the base of the supporting structure.
- f) be set back a minimum of 5.0 metres from any common lot boundary with an adjacent lot.
- g) not be located closer than 1.0 metre to any driveway.
- h) be set back a minimum of 600 metres from any other poster panel located on the same side of the street.
- i) not be permitted on a lot that abuts a residential zone and not be located within 100 metres from a building containing residential units or lands zoned residential.
- j) not be located within, and be setback 100 metres from, Special Sign Districts as shown on Schedules "A", "B", "C" and "D".

15.3 Notwithstanding the above requirements, a maximum of one hundred (100) Poster Panels shall be located within the limits of the City of Vaughan

15.4 a) Notwithstanding sub-section 15.3, the maximum one hundred (100) signs referred to may be increased within the prescribed area by one (1) additional Poster Panel for every two (2) Poster Panels that are removed from outside the prescribed area. Those signs that are removed as a result of a property being developed, shall not be included in the above calculations.

15.4 b) For purposes of this subsection a property shall be considered as being developed if application has been made for any of an official plan amendment, rezoning, site plan approval, plan of subdivision or building permit.

(Amended by By-law 19-97 – January 27, 1997)

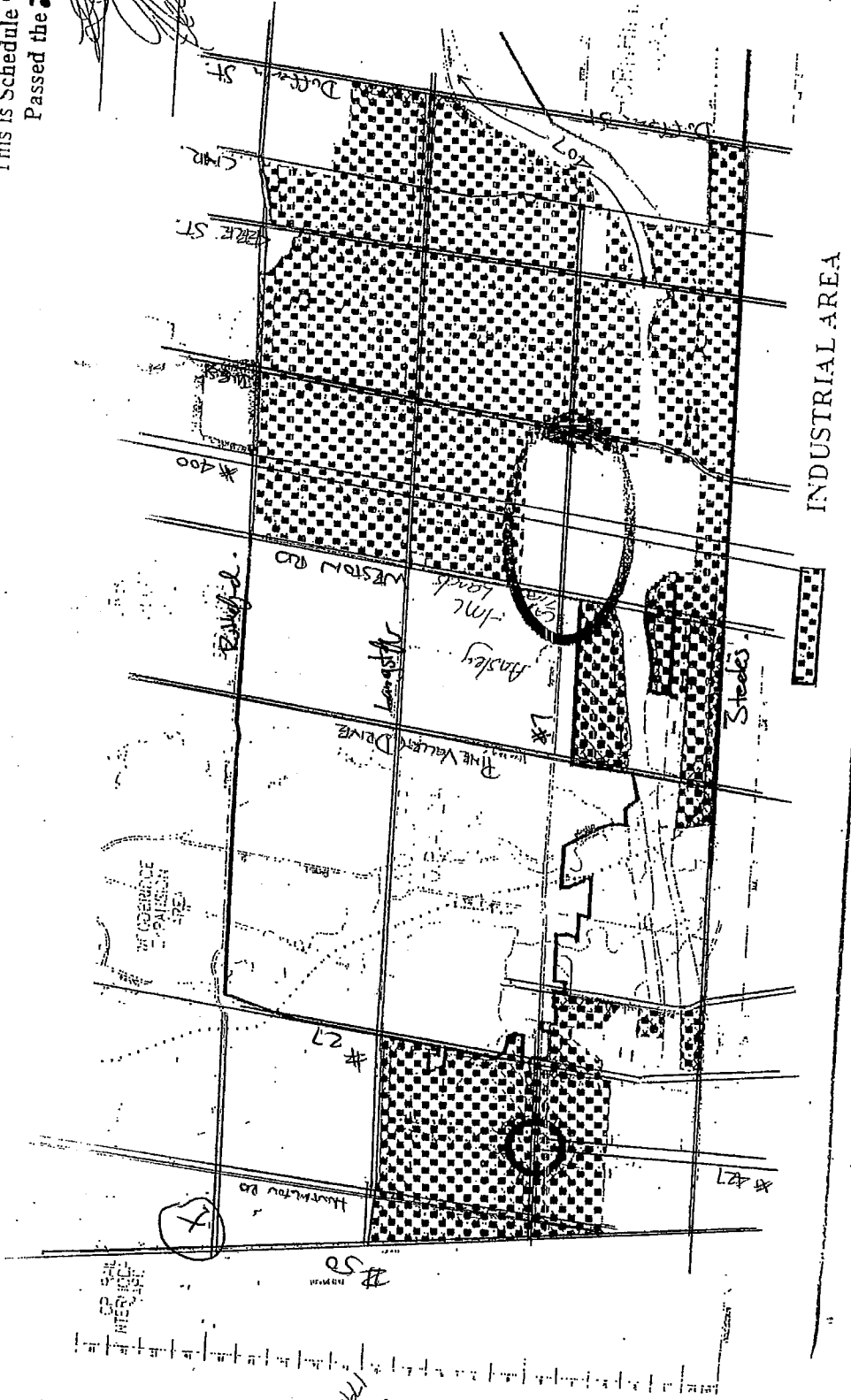
168-96

This is Schedule "I" to By-Law 138
Passed the 27 Day of June 1946

[Signature] Mayor
[Signature] Clerk

REVISED FEBRUARY 26, 1952
AND MARCH 25, 1956

MODIFICATION
No. UNDER SECTION 17.9. OF
THE PLANNING ACT



CO-OPERATIVE
INTEREST

#58

#27

#47

SCHEME "I"

By-law