

**COMMITTEE OF THE WHOLE JUNE 14, 2011**

**ZONING BY-LAW AMENDMENT FILE Z.11.017**

**SITE DEVELOPMENT FILE DA.11.043**

**R & R HOLDING CORP.**

**WARD 1**

**Recommendation**

The Acting Commissioner of Planning and Director of Development Planning recommend:

1. THAT Zoning By-law Amendment File Z.11.017 (R & R Holding Corp.) BE APPROVED, to remove the Holding Symbol "(H)" from the subject lands zoned C1(H) Restricted Commercial Zone, as shown on Attachment #2, to facilitate the development of a 1,845.7m<sup>2</sup>, two-storey motor vehicle sales establishment (Subaru).
2. THAT Site Development File DA.11.043 (R & R Holding Corp.) BE APPROVED, to permit the development of a 1,845.7m<sup>2</sup> motor vehicle sales establishment (Subaru) as shown on Attachments #3 to #5, subject to the following conditions:
  - a) that prior to the execution of the Site Plan Letter of Undertaking:
    - i) the final site plan, landscape plan, and building elevations and signage details shall be approved by the Vaughan Development Planning Department; and,
    - ii) the final grading and servicing plan and storm water management report shall be approved by the Vaughan Development/Transportation Engineering Department.
3. THAT the Owner shall pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent of 2% of the value of the subject lands, prior to the issuance of a Building Permit, in accordance with Section 42 of the Planning Act. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment.

**Contributions to Sustainability**

The applicant has advised that the following sustainable features will be provided within the building and site design:

- i) bicycle racks;
- ii) drought tolerant landscaping;
- iii) permeable pavers;
- iv) low volatile organic compound interior and exterior paints; and,
- v) heat reducing roof materials.

**Economic Impact**

There are no requirements for new funding associated with this report.

**Communications Plan**

N/A

## **Purpose**

The Owner has submitted the following applications on the subject lands shown on Attachments #1 and #2:

1. A Zoning By-law Amendment File Z.11.017 to remove the Holding Symbol "(H)" from the subject lands, currently zoned C1(H) Restricted Commercial Zone, to facilitate the development of a motor vehicle sales establishment as shown on Attachments #3 to #5; and,
2. A Site Development File DA.11.043 to permit the development of a 1,845.7m<sup>2</sup> two-storey motor vehicle sales establishment (Subaru) as shown on Attachments #3 to #5.

## **Background - Analysis and Options**

### Location

The subject lands shown on Attachments #1 and #2 are located on Sweetriver Boulevard, northwest of Rutherford Road and Jane Street, within the Maple Auto Mall, City of Vaughan. The surrounding land uses are shown on Attachment #2.

### Official Plan and Zoning

The subject lands are designated "General Commercial – Special Policy Area" by OPA #600, which permits commercial uses, including retail stores for the buying, leasing and exchanging of goods and services. The proposed development of a motor vehicle sales establishment conforms to the Official Plan.

The subject lands are designated "Low-Rise Mixed-Use" by the new City of Vaughan Official Plan 2010, which was adopted by Vaughan Council on September 7, 2010 and is pending approval from the Region of York. The "Low-Rise Mixed-Use" designation only permits retail uses to be located on the ground floor of residential and professional office developments. A stand alone motor vehicle sales establishment is not permitted within the "Low-Rise Mixed Use" designation. However, the subject lands are located within the Maple Auto Mall and are zoned to permit a motor vehicle sales establishment use.

The subject lands are zoned C1(H) Restricted Commercial Zone with the Holding Symbol "(H)" by Zoning By-law 1-88, subject to Exception 9(1031A), which permits a motor vehicle sales establishment, including the open display and storage of new and used motor vehicles. The proposal for a motor vehicle sales establishment complies with Zoning By-law 1-88. Development Planning Staff are satisfied with the site plan and are recommending approval. Should Council concur, it is also recommended that the "H" Holding provision also be removed to facilitate the development of this site.

### Building and Site Design

The site plan shown on Attachment #3 proposes a 1,845.7m<sup>2</sup> two-storey building situated on the easterly portion of the site, with two vehicular access points from Sweetriver Boulevard. A pedestrian walkway is located on the east side of the building, providing access to Sweetriver Boulevard. Parking spaces are located throughout the site and all driveway aisles accommodate two-way vehicular traffic.

The landscape plan shown on Attachment #4 includes a 6.0 m wide landscape strip abutting Sweetriver Boulevard, with additional landscaping provided along the north and east sides of the building to screen the drive-in service bays. The site will be landscaped with coniferous, deciduous and ornamental trees, and a mix of shrubs, perennials and ornamental grasses.

The building elevations are shown on Attachment #5. The primary facade faces Sweetriver Boulevard, and consists of white precast stucco and a clear double-glazed curtain wall within aluminum frames that wrap around the north and south portions of the building. A blue aluminum panel is located along the east elevation (showroom) and includes the Subaru corporate logo. Additional Subaru signage and a pylon sign is also provided along the front façade and Sweetriver Boulevard, respectively. The drive-in overhead doors associated with the service bays are located on the west and east elevations.

The Vaughan Development Planning Department is generally satisfied with site plan, landscape plan and building elevations, and will continue to work with the applicant to finalize the details. The final site layout, building elevations, and landscape plan, must be approved to the satisfaction of the Vaughan Development Planning Department. A condition to this effect is included in the recommendation of this report.

#### Vaughan Development/Transportation Engineering Department

The Vaughan Development/Transportation Engineering Department is working with the applicant to finalize the details of the servicing and grading plans and storm water management report. The final plans and report must be approved to the satisfaction of the Vaughan Development/Transportation Engineering Department. A condition to this effect is included in the recommendation of this report.

#### Parkland Dedication

The Owner shall pay to the City of Vaughan by way of certified cheque, cash-in-lieu of the dedication of parkland equivalent of 2% of the value of the subject lands, in accordance with Section 51 of the Planning Act and City of Vaughan Policy. The Owner shall submit an appraisal of the subject lands prepared by an accredited appraiser for approval by the Vaughan Legal Department, Real Estate Division, and the approved appraisal shall form the basis of the cash-in-lieu payment. A condition to this effect is included in the recommendation of this report and shall be included in the implementing Site Plan Letter of Undertaking.

#### Relationship to Vaughan Vision 2020/Strategic Plan

This report is consistent with the priorities set forth in Vaughan Vision 2020, particularly "Plan & Manage Growth & Economic Vitality".

#### Regional Implications

The subject lands are located on a local road and there are no Regional implications associated with the proposal.

#### Conclusion

The Zoning By-law Amendment File Z.11.017 to remove the Holding Symbol "(H)" from the subject lands, and Site Development File DA.11.043 have been reviewed in accordance with the policies of the Official Plan, Zoning By-law 1-88, and comments from City Departments and the area context. The Development Planning Department is generally satisfied with the proposed 1,845.7 m<sup>2</sup>, two-storey motor vehicle sales establishment (Subaru). Accordingly, the Development Planning Department can support the approval of the Zoning By-law Amendment Application to remove the "H" Holding provision and Site Development Application, subject to the conditions in this report.

**Attachments**

1. Context Location Map
2. Location Map
3. Site Plan
4. Landscape Plan
5. Elevation Plan

**Report prepared by:**

Mary Caputo, Planner, ext. 8215  
Christina Napoli, Senior Planner, ext. 8483  
Mauro Peverini, Manager of Development Planning, ext. 8407

Respectfully submitted,

JOHN ZIPAY  
Acting Commissioner of Planning

GRANT UYHEYAMA  
Director of Development Planning

/CM



# Context Location Map

Location: Part of Lot 17,  
Concession 5

Applicant:  
R & H Holding Corp.

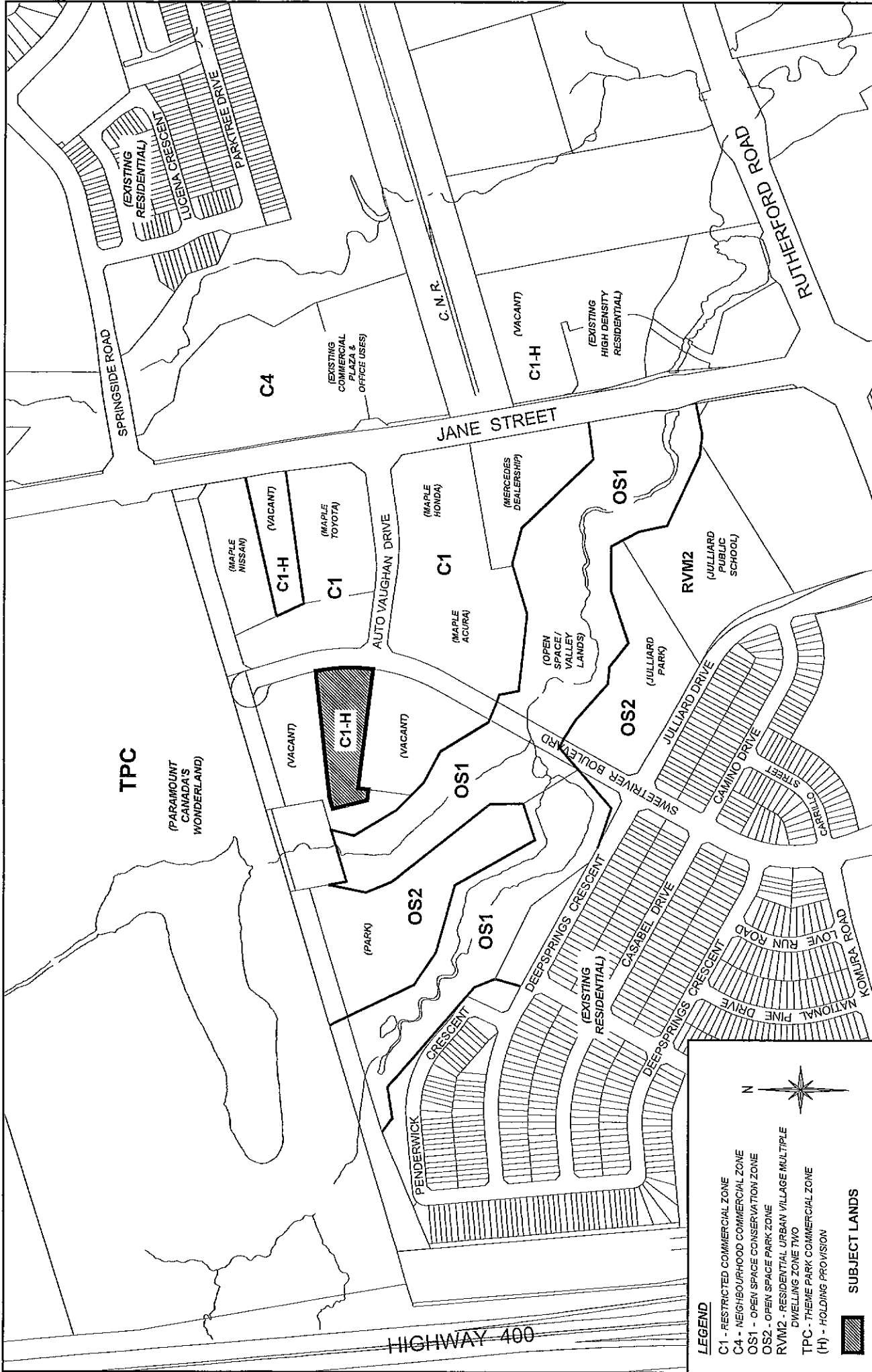
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# Attachment 1

File: DA.11.043  
Related File: Z.11.017  
Not to Scale

Date: May 16, 2011



**LEGEND**

- C1 - RESTRICTED COMMERCIAL ZONE
- C4 - NEIGHBOURHOOD COMMERCIAL ZONE
- OS1 - OPEN SPACE CONSERVATION ZONE
- OS2 - OPEN SPACE PARK ZONE
- RVM2 - RESIDENTIAL URBAN VILLAGE MULTIPLE DWELLING ZONE TWO
- TPC - THEME PARK COMMERCIAL ZONE
- (H) - HOLDING PROVISION

**SUBJECT LANDS**

**LEGEND**

N

# Location Map

Location: Part of Lot 17,  
Concession 5

Applicant:  
R & R Holding Corp.

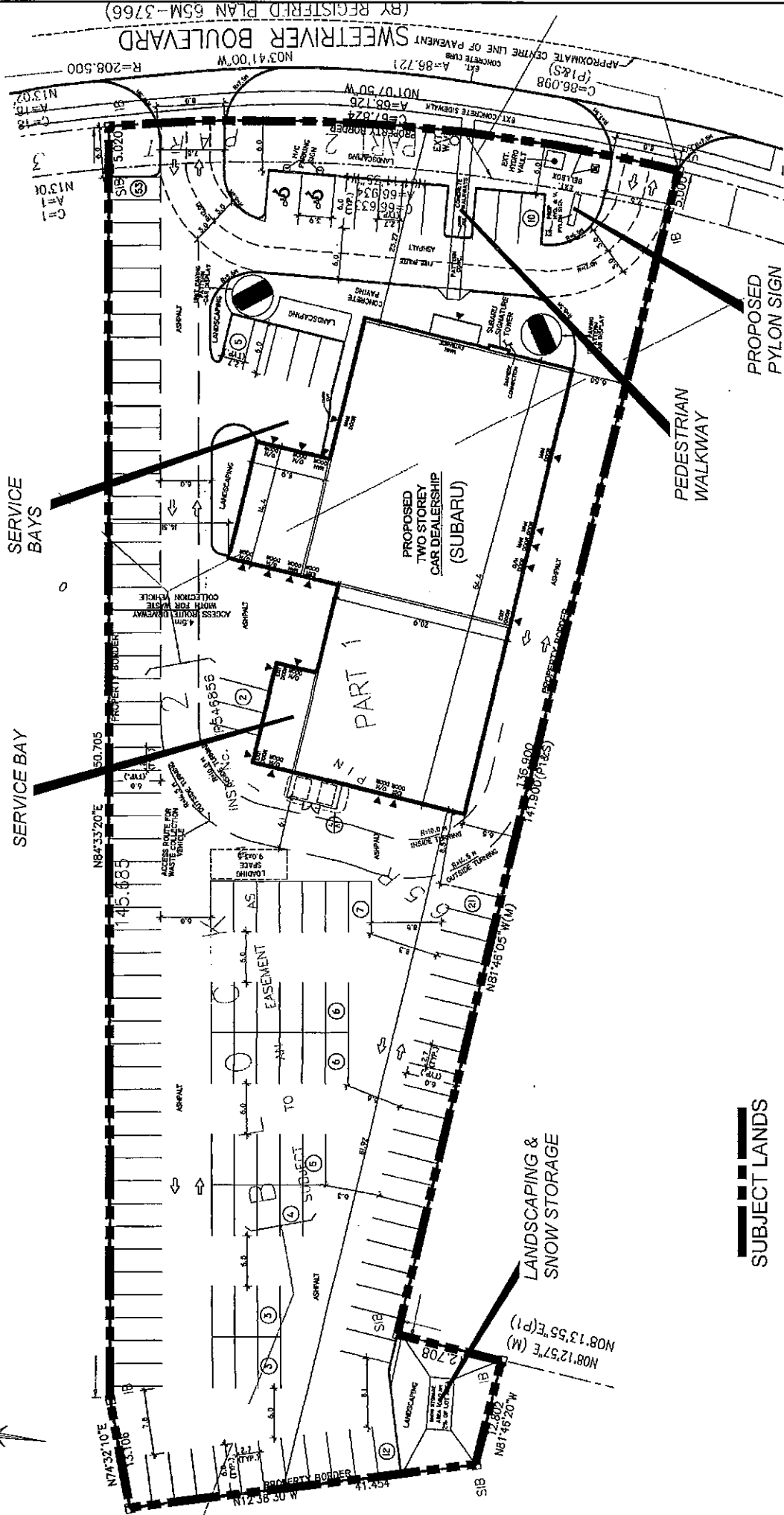
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# Attachment

File: DA.11.043  
Related File: Z.11.017  
Not to Scale

Date: May 16, 2011





SERVICE BAY

SERVICE BAY

PROPOSED TWO STOREY CAR DEALERSHIP (SUBARU)

LANDSCAPING & SNOW STORAGE

PEDESTRIAN WALKWAY

PROPOSED PYLON SIGN

SUBJECT LANDS

# Site Plan

Location: Part of Lot 17, Concession 5

Applicant: R & R Holding Corp.

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# Attachment

File: DA.11.043  
Related File: Z.11.017  
Not to Scale

Date: May 16, 2011



# 3

(BY REGISTERED PLAN 65M-3766)  
SWEETRIVER BOULEVARD

R=208.500  
N03.41.00W

EXT. A=86.721  
APPROXIMATE CENTRE LINE OF PAVEMENT

C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB

EXT. C=87.824  
NOT 07.50 W

EXT. A=86.721  
CONCRETE SIDEWALK

EXT. C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB

EXT. C=87.824  
NOT 07.50 W

EXT. A=86.721  
CONCRETE SIDEWALK

EXT. C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB

EXT. C=87.824  
NOT 07.50 W

EXT. A=86.721  
CONCRETE SIDEWALK

EXT. C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB

EXT. C=87.824  
NOT 07.50 W

EXT. A=86.721  
CONCRETE SIDEWALK

EXT. C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB

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EXT. A=86.721  
CONCRETE SIDEWALK

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(P1&S)

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CONCRETE CURB

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CONCRETE SIDEWALK

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(P1&S)

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(P1&S)

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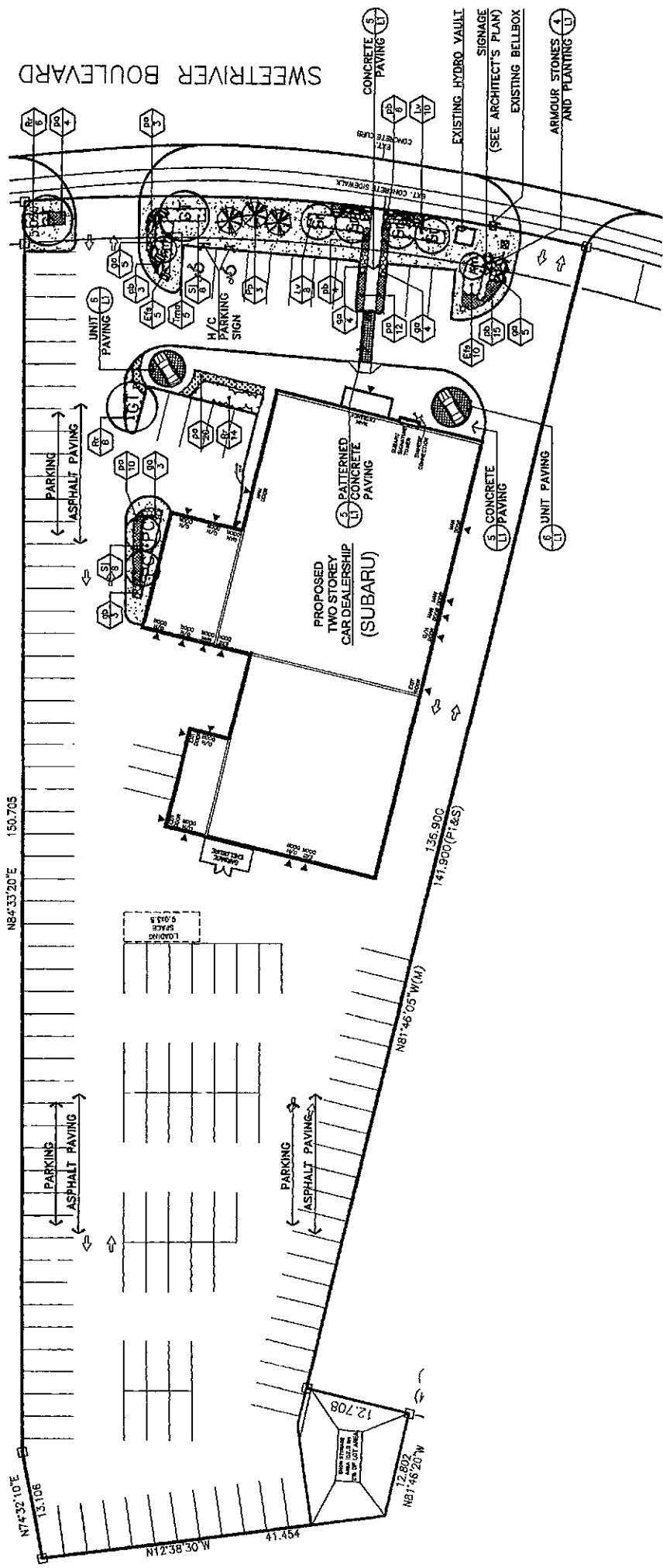
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CONCRETE SIDEWALK

EXT. C=86.098  
(P1&S)

EXT. A=86.721  
CONCRETE CURB



# Landscape Plan

Location: Part of Lot 17,  
Concession 5

Applicant:  
R & R Holding Corp.

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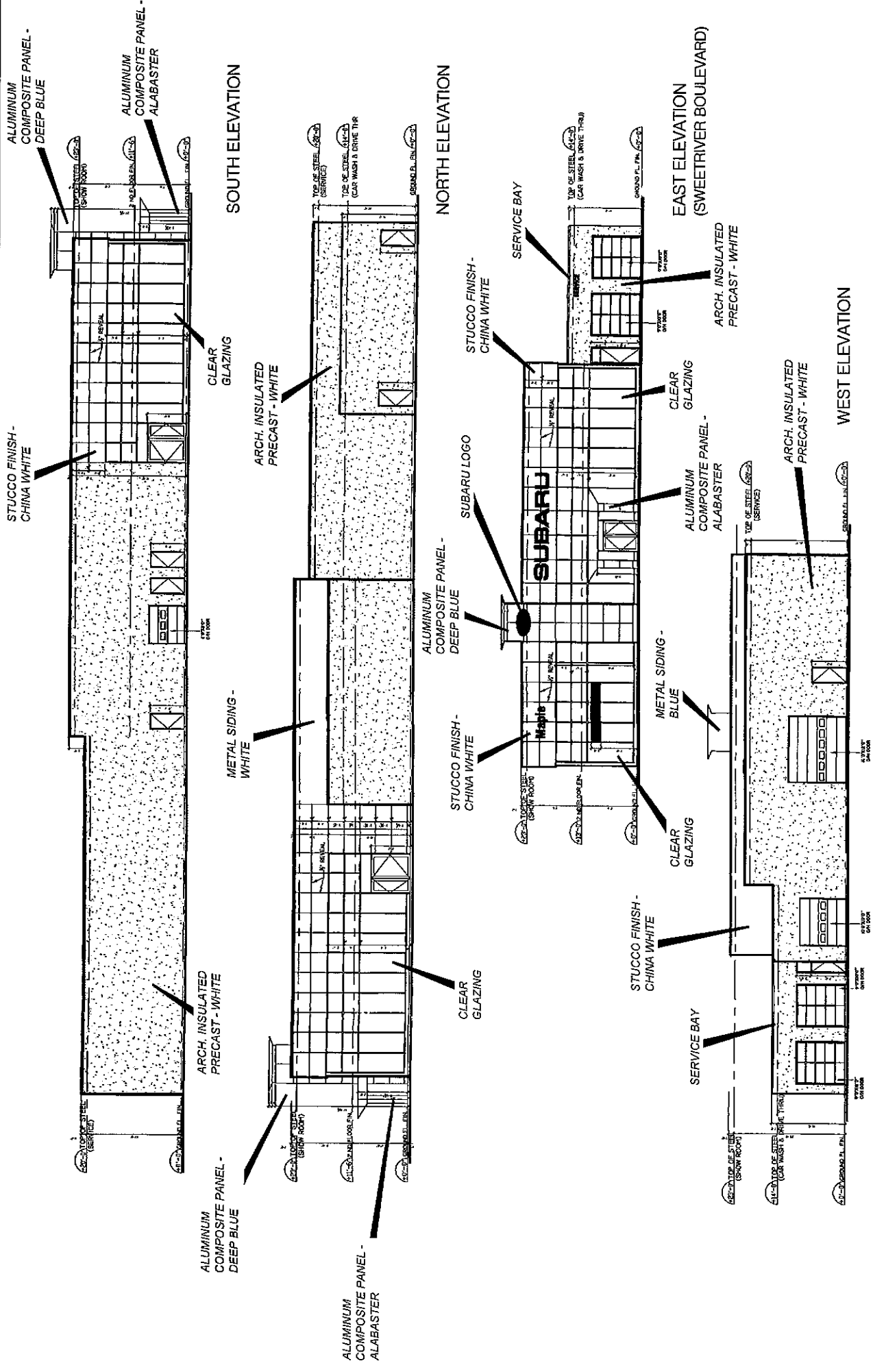
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File: DA.11.043  
Related File: Z.11.017  
Not to Scale

# 4

Date: May 16, 2011





# Elevation Plan

Location: Part of Lot 17,  
Concession 5

Applicant:  
R & R Holding Corp.

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# Attachment

File: DA.11.043  
Related File: Z.11.017  
Not to Scale  
Date: May 16, 2011

# 5