

COMMITTEE OF THE WHOLE JUNE 14, 2011

**OFFICIAL PLAN AMENDMENT FILE OP.10.006
ZONING BY-LAW AMENDMENT FILE Z.10.027
SITE DEVELOPMENT FILE DA.08.088
MAJOR WESTON CENTRES LIMITED
WARD 3**

Recommendation

The Director of Development Planning recommends:

1. THAT Official Plan Amendment File OP.10.006 (Major Weston Centres Limited) BE APPROVED, specifically to amend Official Plan Amendment (OPA) #600, as amended by OPA #650 (Vellore Village District Centre Plan) and OPA #713, for the subject lands shown on Attachment #4, to facilitate a retail commercial development, which includes a Wal-mart retail store, while maintaining the permitted residential uses on the subject lands shown as follows:
 - a) redesignate the "Expansion Lands" shown on Attachment #2 from "Low Density Residential" to "District Centre Commercial" in accordance with the policies in OPA #713, to form part of the overall development at the northeast corner of Major Mackenzie Drive and Weston Road.
2. THAT the implementing Official Plan Amendment, include but not be limited to, the following provisions:
 - a) reduce the maximum gross floor area for Phase I, Phase II and the Expansion Lands shown on Attachment #2 within the District Centre Commercial area from 52,810 m² (including a retail nursery use of 1,810 m²) to 50,679 m² (excluding the retail nursery use);
 - b) reduce the maximum gross floor area for the Phase I lands shown on Attachment #2 in the District Centre Commercial area on the east side of Vellore Park Avenue from 23,000 m² to 22,679 m²;
 - c) permit a maximum gross floor area of 1,810 m² for the Retail Nursery (Greenhouse) use shown on Attachment #2;
 - d) permit one (1) drive-through facility associated with a permitted bank or financial institution use in the District Centre Commercial area on the east side of Vellore Park Avenue (Parcel "B" – Building "U") as shown on Attachment #6, and that the drive-through facility shall be screened from the street with landscaping.
3. THAT Zoning By-law Amendment File Z.10.027 (Major Weston Centres Limited) BE APPROVED, specifically to amend Zoning By-law 1-88, as follows:
 - a) rezone the "Expansion Lands" shown on Attachment #2 from RT1(H) Residential Townhouse Zone with the Holding Symbol "(H)" to C5 Community Commercial Zone in accordance with Exception 9(1327); and,
 - b) remove the Holding Symbol "H" on the subject lands zoned C5(H) Community Commercial Zone comprising Parcels A and B in Phase I as shown on Attachment #2, thereby effectively zoning the Phase 1 lands C5 Zone;

- c) provide-site specific exceptions to Zoning By-law 1-88 as follows:
 - i) permit a total maximum of 50,679 m² GFA on the Phase I, II, and Expansion Lands shown on Attachment #2;
 - ii) permit a maximum of 22,679 m² GFA for the lands on the east side of Vellore Park Avenue (Phase I and the Expansion Lands);
 - iii) permit one (1) drive-through facility associated with a permitted bank or financial institution use on the east side of Vellore Park Avenue (Phase I - Building "U") in the C5 Community Commercial Zone;
 - iv) deleting the Expansion Lands from Exception 9(1221) and adding them to Exception 9(1327); and,
 - v) include any necessary zoning exceptions required to implement the retail commercial development shown on Attachment #6.

- 4. THAT Site Development File DA.08.088 (Major Weston Centres Limited) BE APPROVED, subject to the following conditions:
 - a) that prior to the execution of the Site Plan Letter of Undertaking:
 - i) the final site plan, building elevations and landscaping plans shall be approved by the Vaughan Development Planning Department;
 - ii) the final site grading, servicing, stormwater management and lighting plans, and stormwater management and traffic reports shall be approved by the Vaughan Development/Transportation Engineering Department;
 - iii) the Owner shall have conveyed, to the City of Vaughan, free of all charges and encumbrances, a 0.165 ha block as shown on Attachment #6 for a future park, in accordance with the conditions of approval for Consent Application B013/11;
 - iv) the Owner shall address the requirements of the City's Waste Collection Design Standards Policy to the satisfaction of the Vaughan Public Works Department;
 - v) the archaeological assessment shall be submitted to the Ministry of Tourism and Culture and the Vaughan Recreation and Culture Department (Cultural Services Division), and that no development or grading shall occur on any site on the subject lands identified as being archaeologically significant as a result of the archaeological evaluation carried out on the subject lands, until such time as protective and mitigative measures of all significant archaeological sites have been fulfilled to the satisfaction of the Ministry of Tourism and Culture and the Vaughan Recreation and Culture Department;
 - vi) the Owner shall have conveyed to the York Region (Public) District School Board, free of all charges and encumbrances, the parcel of land at the north end of the subject lands for a Future Elementary Public School as shown on Attachment #6, in accordance with the conditions of approval for Consent Application B012/11;

- vii) the Owner shall satisfy the requirements of the Region of York Transportation Services Department;
 - viii) the Owner shall satisfy the requirements of the Toronto and Region Conservation Authority;
 - ix) the Owner shall satisfy the requirements of the Ministry of Transportation;
 - x) the Owner shall submit documented proof of the satisfactory registration of the Record of Site Condition (RSC) with the Environmental Site Registry (ESR) of the Ministry of Environment (MOE), which includes the acknowledgement from the MOE and a signed copy of the RSC by a Qualified Person, to the Vaughan Development/Transportation Engineering Department for review and approval; and,
 - ix) the Owner shall enter into a servicing agreement with the City of Vaughan to provide for the construction of Vellore Park Avenue to the satisfaction of the City.
5. THAT the Region of York be requested to modify the City of Vaughan Official Plan 2010, specifically Schedules 13 and 13 I to redesignate the Expansion lands from "Low-Rise Residential" to "Mid-Rise Mixed-Use" consistent with the balance of the subject lands and Section 12.7 of Volume 2, as follows:
- i) Amend Schedules 13 and 13 I of Volume 1, and Map 12.7.A of Volume 2 to include the Expansion Lands with a "Mid-Rise Mixed-Use" designation;
 - ii) Amend Subsection 12.7.4.2 to permit one (1) drive-through facility associated with a bank or financial institution use to be located on the east side of Vellore Park Avenue within the Commercial District;
 - iii) Amend Subsection 12.7.4.4 to increase the maximum GFA permitted for the lands east of Vellore Park Avenue within the Commercial District from 5,500 m² to 9,113 m²;
 - iv) Amend Subsection 12.7.4.4 to accommodate a Retail Nursery (Greenhouse) use up to a maximum GFA of 1,810 m² of the lands west of Vellore Park Avenue within the Commercial District; and,
 - v) Amend Subsection 12.7.4.5 to reduce the maximum gross floor area devoted to an individual Department Store or stand alone building from 17,500 m² to 13,000m² the within the Commercial District.
6. THAT should the appeal of OPA #713 proceed to an OMB Hearing that City staff be directed to attend in support of the Plan and in accordance with this report.

Contribution to Sustainability

The Owner advises that the following sustainable features will be included in the proposed development:

- i) low impact development to mitigate the increase in post-development runoff volume; the subject lands (Phase I) will feature three (3) bioswales and some permeable pavement with a combined area of 1,600 m²;
- ii) high efficiency rooftop heating, ventilation and air conditioning units using modern refrigerant without chlorofluorocarbon;
- iii) new stores reclaiming rejected heat to use for space heating;

- iv) summertime lighting will be reduced by up to 1/3 to reduce carbon emissions and summer smog conditions, and to provide stability for the local power grids;
- v) white roofing membranes that reflect almost 90% of sunlight to reduce the "heat island" effect;
- vi) enhanced R2 roofing insulation to reduce winter heat loss by 20% on average; and,
- vii) provide recycling bins and waste collection services to increase tenant recycling.

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

On December 17, 2010, a Notice of Public Hearing was circulated to all property owners within 150 m of the subject lands, and to the Millwood Woodend Ratepayers' Association, the Vellore Woods Ratepayers' Association, and the East Woodbridge Community Association. The Public Hearing was held on January 11, 2011, and the recommendation to receive the Public Hearing was ratified by Vaughan Council on January 25, 2011. Written comments were received from:

- i) Sam Audia, 143 Cormorant Crescent, on behalf of the Vellore Woods Ratepayers' Association, correspondence dated January 11, 2011, respecting the Association's support for the proposal as the Owner has worked with the Association, to address modifications including reducing the gross floor area of the Wal-Mart retail store and providing a pedestrian-only urban square within the Village Core.

Purpose

The Owner has submitted the following applications on the subject lands (Phase I, Phase II and Expansion Lands) shown on Attachments #1 and #2:

1. Official Plan Amendment File OP.10.006, specifically to amend OPA #600, as amended by OPA #650 and OPA #713, as follows:
 - i) redesignate the "Expansion Lands" shown on Attachment #4 from "Low Density Residential" to "District Centre Commercial" in accordance with the policies in OPA #713 to form part of the overall development at the northeast corner of Major Mackenzie Drive and Weston Road;
 - ii) permit a maximum combined gross floor area on the subject lands (Phase I, Phase II and the Expansion Lands as shown on Attachment #2) of 50,679 m²;
 - iii) permit a maximum gross floor area of 22,679 m² for the District Centre Commercial area on the east side of Vellore Park Avenue (Phase I) as shown on Attachment #2, which includes: a 12,033 m² Wal-Mart retail store; 9,113 m² for the proposed commercial buildings; and, 1,533 m² for commercial uses on the "Expansion Lands";
 - iv) permit one (1) drive-through facility associated with a permitted bank or financial institution use for the District Centre Commercial area, on the east side of Vellore Park Avenue (Phase I - Building "U") as shown on Attachment #6; and,
 - v) permit a Retail Nursery greenhouse use as shown on Attachment #2, for the District Centre Commercial area, on the west side of Vellore Park Avenue.

2. Zoning By-law Amendment File Z.10.027 to amend Zoning By-law 1-88, as follows:
 - i) rezone the "Expansion Lands" shown on Attachment #2 from RT1(H) Residential Townhouse Zone with the Holding Symbol "(H)" to C5 Community Commercial Zone in accordance with Exception 9(1327);
 - ii) permit a total maximum of 50,679 m² GFA on the Phase I, II and Expansion Lands shown on Attachment #2,
 - iii) permit a maximum of 22,679 m² GFA for the lands on the east side of Vellore Park Avenue (Phase I) as shown on Attachment #2; and,
 - iv) permit one (1) drive-through facility associated with a permitted bank or financial institution use, on the east side of Vellore Park Avenue (Phase I – Building "U") in the C5 Community Commercial Zone as shown on Attachment #6.
3. Site Development File DA.08.088 to facilitate a retail commercial development shown on Attachments #6 to #11 inclusive, with the following site details:

Commercial Site Area (Phases I and II) = 18.667 ha
Proposed Vellore Park Avenue Road = 0.86 ha

Total Gross Floor Area of Subject Lands (Phase I, II and Expansion Lands) = 50,679 m²

Commercial Site Area (Phase I) = 7.79 ha
Total Gross Floor Area (Phase I) = 22,679 m²
Total Lot Coverage (Phase I) = 27.56%
Total Parking Provided (Phase I) = 909 spaces

Wal-Mart Retail Store (Parcel "A", on Attachment #6):
Building Gross Floor Area = 12,033 m²
Parking Provided = 494 spaces

Buildings "T1" and "T2", "U", "V1" and "V2", "W", "X", "Y", & "Z" (Parcel "B", on Attachment #6):
Building Gross Floor Area = 9,113 m²
Parking Provided = 360 spaces

Building "Y2" (Attachment #6):
Building Gross Floor Area = 1,533 m² (calculated on the Expansion Lands)
Parking Provided = 55 Spaces

Background - Analysis and Options

Location

The subject lands shown on Attachments #1 and #2 are located at the north-east corner of Weston Road and Major Mackenzie Drive, in Part of Lot 21, Concession 5, City of Vaughan. The subject lands have an area of 20.89 ha, with 300 m of frontage along Weston Road and 493.37m of frontage along Major Mackenzie Drive. The surrounding land uses are shown on Attachment #2.

Official Plan

The Phase I and Phase II portion of the subject lands shown on Attachment #2 are designated "Village Core" and "District Centre Commercial" by OPA #600, as amended by OPA #650 (Vellore Village District Centre Plan) and OPA #713 as shown on Attachment #4; and, "Village District"

and "Mid-Rise Mixed-Use" by the new City of Vaughan Official Plan 2010, as shown on Attachment #5, which was adopted by Vaughan Council on September 7, 2020, and is awaiting approval from the Region of York.

The "Expansion Lands" shown on Attachment #3 are designated "Low Density Residential" by OPA #600; and, "Low-Rise Residential" by the new City of Vaughan Official Plan 2010 (VOP 2010).

The current proposal is to redesignate the "Expansion Lands" shown on Attachment #3 from "Low Density Residential" to "District Centre Commercial" to form part of the overall commercial development at the northeast corner of Weston Road and Major Mackenzie Drive under OPA #713. The proposal also provides for minor modifications to the Official Plan to include the Expansion Lands (as shown on Attachment #2) and an additional gross floor area of 1,533m², and to adjust the gross floor area totals, and to adjust the approved gross floor area on different parts of the site (e.g. Phase 1, Phase 2) of the property as a result of the reduction in the size of the Wal-mart retail store and the Owner's requirements for the site.

Land Use Policies/Planning Considerations

a) Provincial Policies

The proposal to redesignate the subject "Expansion Lands" to "District Centre Commercial" and to modify the "District Centre Commercial" and "Village Core" designation policies to permit a retail commercial development that is geared to develop a pedestrian-oriented development with the "Urban Square" and "Pedestrian Only Promenade" is in keeping with the intent of the *Provincial Policy Statement* (PPS) ("Managing and Directing Land Use to Achieve Efficient Development and Land Use Patterns", Policy 1.1 and "Long-Term Economic Prosperity", Policy 1.7.1), and the Province's *Growth Plan for the Greater Golden Horseshoe* (Places to Grow) (Designated Greenfield Area", Policy 2.2.7).

b) Region of York Official Plan

The Region of York has reviewed the proposal and advises that the subject lands are designated "Urban Area" by the Regional Official Plan, which permits a range of residential, commercial, industrial and institutional uses. Major Mackenzie Drive and Weston Road are recognized as "Local Corridors" in the Regional Official Plan, which have the potential for more intensive and mixed-use development that can be supported by public transit.

c) Vaughan Official Plan (OPA #600) / Vellore Village District Centre Plan (OPA #650) and OPA #713

In September 2010, OPA #713 came into effect with the exception of the Parkland Dedication Section in the Plan as a result of the withdrawal of various appeals. There remains an OMB appeal respecting parkland dedication filed on behalf of the Block 33 West Developer's Group. To date, the OMB Hearing date has not been scheduled. A discussion of the parkland dedication requirements under the Planning Act, which has been satisfied for Phase 1 by the applicant, occurs in the "Parks Development Department" section of this report. OPA #713 amends OPA #650 which is an amendment to OPA #600. The residential uses permitted through the "Low Density Residential" and "Medium Density Residential/Commercial" designations by OPA #600, and "Low-Rise Residential" and "Village Core" designations by OPA #650 on the subject lands will remain in effect. The Amendment allows the opportunity for future residential and mixed-use residential-commercial uses on the subject lands. The exceptions to OPA #600, as amended by OPA #650 and OPA #713 are as follows:

	Official Plan Policy, OPA #713	Proposed Amendment to OPA #713
a.	The maximum gross floor area shall be 24,810 m ² for the District Centre Commercial area on the east side of Vellore Park Avenue.	The maximum gross floor area shall be 22,679 m ² for the District Centre Commercial area on the east side of Vellore Park Avenue, which includes the gross floor area for the Phase I lands and 1,533 m ² for commercial uses on the "Expansion Lands", and removes 1,810m ² for the Retail Nursery (Greenhouse) use.
b.	A drive-through facility use in association with a bank or financial institution use shall not be permitted.	One (1) drive-through facility associated with a bank or financial institution use shall be permitted for the District Centre Commercial area on the east side of Vellore Park Avenue (Phase I).
c.	The maximum combined gross floor area shall be 52,810 m ² for the Phase I and Phase II lands with 24,810 m ² of this gross floor area devoted to the District Centre Commercial area on the east side of Vellore Park Avenue (Phase I).	The maximum combined gross floor area for Phase I and Phase II and the Expansion Lands shall be 50,679 m ² , with 22,679 m ² of this gross floor area devoted to the District Centre Commercial Area on the east side of Vellore Park Avenue (Phase I and Expansion Lands). This calculation removes the 1,810 m ² of GFA devoted to the retail nursery (greenhouse) use, as shown on Attachment #2.
d.	The maximum gross floor area is 11,000 m ² for the District Centre Commercial area, on the west side of Vellore Park Avenue.	Providing a maximum gross floor area of 11,000 m ² for commercial uses and a maximum gross floor area of 1,810 m ² for the greenhouse use as shown on Attachment #2, for the District Centre Commercial area, on the west side of Vellore Park Avenue.

d) City of Vaughan Official Plan 2010

The subject lands are designated "Mid-Rise Mixed-Use" and "Low-Rise Residential", and is subject to Section 12.7 of Volume 2 by new City of Vaughan Official Plan 2010 (VOP 2010). The applicant is proposing to redesignate the Expansion lands from "Low-Rise Residential" to "Mid-Rise Mixed-Use" to create the same land use and designation over the entirety of the subject lands. Section 12.7 of Volume 2 of the VOP 2010 incorporates OPA #713 into the new Official Plan as an Area Specific Policy.

Section 12.7 includes the applicable policies related to the distribution of gross floor area over the subject lands and must be amended to reflect the current proposal, if approved, including:

- i) Amend Schedules 13 and 13 I of Volume 1, and Map 12.7.A of Volume 2 to include the Expansion Lands with a "Mid-Rise Mixed-Use" designation;

- ii) Amend Subsection 12.7.4.2 to permit one (1) drive-through facility associated with a bank or financial institution use to be located on the east side of Vellore Park Avenue within the Commercial District;
- iii) Amend Subsection 12.7.4.4 to increase the maximum GFA on the lands east of Vellore Park Avenue within the Commercial District from the permitted 5,500 m² to 9,113 m²;
- iv) Amend Subsection 12.7.4.4 to accommodate a Retail Nursery (Greenhouse) use up to a maximum GFA of 1,810 m² for the lands west of Vellore Park Avenue within the Commercial District; and,
- v) Amend Subsection 12.7.4.5 to reduce the maximum gross floor area devoted to an individual Department Store or stand alone building from 17,500 m² to 13, 000 m² within the Commercial District.

Zoning

The Phase I and II lands are zoned C5(H) Community Commercial Zone with the Holding Symbol "(H)" by Zoning By-law 1-88 subject to Exception 9(1327), as shown on Attachment #2. The "Expansion Lands" are zoned RT1(H) Residential Townhouse Zone with the Holding Symbol "(H)" by Zoning By-law 1-88, subject to Exception 9(1221), as shown on Attachment #2. An amendment to the Zoning By-law is required to rezone the "Expansion Lands" and provide exceptions to the Phase I and II lands as follows:

i) **Expansion Lands**

Amend Zoning By-law 1-88 to rezone the "Expansion Lands" shown on Attachment #2 from RT1(H) Residential Townhouse Zone with the Holding Symbol "(H)" to C5 Community Commercial Zone in accordance with the requirements of Exception 9(1327).

ii) **Phase I and II Lands and Expansion Lands**

The following zoning exceptions to the C5 Community Commercial Zone of Zoning By-law 1-88, subject to Exception 9(1327) are requested to facilitate the proposal:

	Zoning By-law 1-88 Standard	Zoning By-law 1-88 Requirements of Exception 9(1327), C5 Zone	Proposed Exceptions to C5 Zone, Exception 9(1327)
a.	Maximum Gross Floor Area (GFA) for Parts "A" and "B" as referred to in Exception 9(1327), (Phase I and II lands)	Maximum 51,000 m ² GFA for Parts "A" and "B" (Phase I and II lands)	Maximum 50,679 m ² GFA for Parts "A" and "B" (Phase I, Phase II and Expansion Lands)
b.	Maximum GFA for Part "B", as referred to in Exception 9(1327) (By-law 210-2009 east of Vellore Park Avenue (Phase I))	Maximum 5,500 m ² GFA, excluding the maximum 17,500 m ² GFA devoted to a Department Store (Wal-Mart)	Maximum 22,679 m ² GFA, including 1,533m ² GFA for the Expansion Lands

An amendment to Zoning By-law 1-88 is also required to delete the Expansion Lands from Exception 9(1221) and include them in Exception 9(1327).

The exceptions to the maximum gross floor area requirements are due to the acquisition of the "Expansion Lands" and to the redistribution of the gross floor area amongst the commercial buildings (Buildings "T1 and "T2", "U", "V1" and "V2", "W", "X", "Y", and "Z", on Attachment #6) as a result of the reduction of the gross floor area for the Wal-mart retail store in Phase I.

The Development Planning Department is satisfied with the site development proposed on the Phase 1 lands, and therefore, the "H" Holding provision can be removed from the lands zoned C5(H) and rezoned to C5 on the Phase 1 Lands only.

Site Plan

Site Plan approval is required for the development of the subject lands to facilitate a retail commercial development for the Phase I lands shown on Attachments #6 to #12, with site development details as follows:

Wal-Mart Retail Store (Building "A"):
Building Gross Floor Area = 12,033 m²
Parking Provided = 494 spaces

Buildings "T1" and "T2", "U", "V1" and "V2", "W", "X", "Y", & "Z" "Building "A")
Building Gross Floor Area = 9,113 m²
Parking Provided = 360 spaces

Building "Y2 (Expansion Lands)
Building Gross Floor Area = 1,533 m²
Parking Provided = 55 spaces

The Development Planning Department is generally satisfied with the proposed site plan, landscape plan and building elevations. The final site plan, building elevations and landscape plan must be approved to the satisfaction of the Vaughan Development Planning Department. A condition to this effect has been included in the recommendation of this report.

Vaughan Development/Transportation Engineering Department

The Vaughan Development/Transportation Engineering Department has reviewed the proposal and provides the following comments:

a) Environmental Site Assessment (ESA)

Prior to final approval of the site plan on the subject lands or any portion thereof, a Phase 1 Environmental Site Assessment (ESA) is required to be submitted for approval by the City. The City will require documented proof of the registration of the Record of Site Condition (RSC) with the Environmental Site Registry of the Ministry of the Environment (MOE), which includes the acknowledgement from the MOE and a signed RSC by a qualified person.

b) Development/Transportation

The final site grading, servicing, stormwater management, lighting, noise and traffic/transportation plans and reports must be approved to the satisfaction of the Vaughan Development/Transportation Engineering Department. The proposal is within the Ministry of Transportation's (MTO) controlled-access highway right-of-way, and therefore, will require a permit from the MTO for the use and signage prior to final approval of the site plan. A condition of approval is included in these respects. The Owner will also be required to enter into a servicing agreement with the City of Vaughan to provide for the extension of Vellore Park Avenue to the satisfaction of the City.

Vaughan Parks Development Department

The Vaughan Parks Development Department has advised that a 0.165 ha parcel of land at the north end of the subject lands, which is to be developed in conjunction with the proposed park lands to the immediate north, shall be severed and conveyed to the City of Vaughan for a Future City Park, shown on Attachment #6, to the satisfaction of the Vaughan Parks Development Department. The process for the severance has been initiated and Consent Application B013/11 was approved, subject to conditions, by the Committee of Adjustment on April 28, 2011. This will be addressed as a condition of Site Plan approval.

The Vaughan Development Planning Department has spoken with the Vaughan Real Estate Division and can confirm that the parkland dedication for Phase 1 of the Smart Centres Commercial application has been fully satisfied through the conveyance of parkland in accordance with the Block 33 West Block Plan approval process, and as a result, there is no cash-in-lieu of parkland dedication payable to the City as a condition of approval for Phase 1. However, when Phase 2 of the Smart Centres commercial development proceeds, the entire area of these lands will be subject to cash-in-lieu of parkland dedication in accordance with Section 42 of the Planning Act and City's the Cash-In-Lieu of Parkland Dedication Policy.

Vaughan Public Works Department

The Vaughan Public Works Department has advised that the Owner is required to address the requirements of the City's Waste Collection Design Standards Policy to the satisfaction of the Public Works Department. A condition to this effect has been included in the recommendation of this report.

Vaughan Cultural Services Division

The Vaughan Cultural Services Division advises that the archaeological assessment be submitted to the Ministry of Tourism and Culture and the Vaughan Cultural Services Division, and that no development or grading shall occur on any site on the subject lands identified as being archaeologically significant as a result of the archaeological evaluation carried out on the subject lands, until such time as protective and mitigative measures of all significant archaeological sites have been fulfilled to the satisfaction of the Ministry of Tourism and Culture and the Vaughan Cultural Services Division. A condition to this effect has been included in the recommendation of this report.

School Boards

The York Region District (Public) School Board has reviewed the proposal and advises that the 0.538 ha of land at the north end of the subject lands identified as a "Future Public School" on Attachment #6, is required for an elementary school site, which is to be developed in conjunction with the lands to the north. The process for the severance has been initiated and Consent Application B012/11 was approved, subject to conditions, by the Committee of Adjustment on April 28, 2011. This will be addressed as a condition of Site Plan approval. The York Catholic District School Board and Conseil Scolaire de District Catholique Centre-Sud have no objection to the proposal.

Toronto and Region Conservation Authority (TRCA)

The TRCA has reviewed the proposal, including the *Functional Servicing and Stormwater Management Report - Commercial Development Major Weston Centres Limited*, dated September 2008 by Sernas Associates, and advises that the TRCA concerns including, but not limited to, stormwater management and water balance are outstanding and need to be addressed prior to final approval of the site plan. A condition to this effect has been included in the recommendation of this report.

Ministry of Transportation (MTO)

The proposal is within the Ministry of Transportation's (MTO) controlled-access highway right-of-way, and therefore, will require a Permit from the MTO for the use and signage, prior to the final approval of the site plan. A condition to this effect has been included in the recommendation of this report.

Relationship to Vaughan Vision 2020/Strategic Plan

This report is consistent with the priorities set forth in Vaughan Vision 2020, particularly "Plan & Manage Growth & Economic Vitality".

Regional Implications

The Region of York has advised that the subject lands are an extension of the commercial development approved in OPA #713, and therefore, the Region has no objection to the Official Plan Amendment, as it appears to be a matter of local significance and does not impact Regional interest. The Region is the approval authority for the Official Plan Amendment File OP.10.066 as the Owner did not request an exemption from Regional approval.

The Region has reviewed the proposal and requires that the final site plan, grading, servicing, stormwater management and lighting plans, and stormwater management and traffic reports and landscaping plan shall be approved to the satisfaction the Region of York, including but not limited to:

- a) updating the Traffic Impact Study to include development traffic related to the Block 40 lands, Cicchino Holdings Ltd. (Files OP.08.010 and Z.08.039), and 1678573 Ontario Inc. (Files OP.08.016 and Z.08.062), and short and long term road improvements; and,
- b) providing for a 45 m wide right-of-way for Major Mackenzie Drive, thereby requiring setbacks to be referenced 22.5 m from the centreline of the construction of Major Mackenzie Drive.

Prior to final approval of the site plan, or any part thereof, the Region's requirements must be addressed to the satisfaction of the Region. A condition to this effect has been included in the recommendation of this report.

Conclusion

The Vaughan Development Planning Department is satisfied that the proposed retail commercial development as shown on Attachment #6, is appropriate and compatible with the existing and permitted uses in the surrounding area. The purpose of Official Plan Amendment File OP.10.006 and Zoning By-law Amendment File Z.10.027 are to consolidate the acquired "Expansion Lands" shown on Attachment #2 into the overall approved development concept for the northeast quadrant of Weston Road and Major Mackenzie Drive and make the necessary modifications to the Official Plan and Zoning By-law 1-88 to accommodate these newly acquired lands. Also, the applicant proposes to redistribute the gross floor area permissions for the buildings on the subject lands, which requires amendments to the Official Plan and Zoning By-law 1-88. The Development Planning Department can support the approval of the Official Plan and Zoning By-law Amendment applications, and Site Development Application DA.08.088, which proposes an appropriate development of the Phase 1 lands, subject to the recommendations in this report.

Attachments

1. Context Location Map
2. Location/Zoning Map
3. OPA #600 - Schedule "B" Vellore Urban Village 1
4. OPA #713 - Vellore Village District Centre Plan - Schedule A
5. City of Vaughan Official Plan 2010 Volume 2 - Site Specific Amendment (Pending YR Approval)
6. Overall Phase I Site Plan
7. Elevations - Building "Wal-mart"
8. Elevations - Buildings "U" & "Y2"
9. Elevations - Buildings "Y1" & "Z"
10. Elevations - Buildings "W" & "X"
11. Elevations - Buildings "T1", "T2 & "V1", "V2"
12. Proposed Landscape Plan

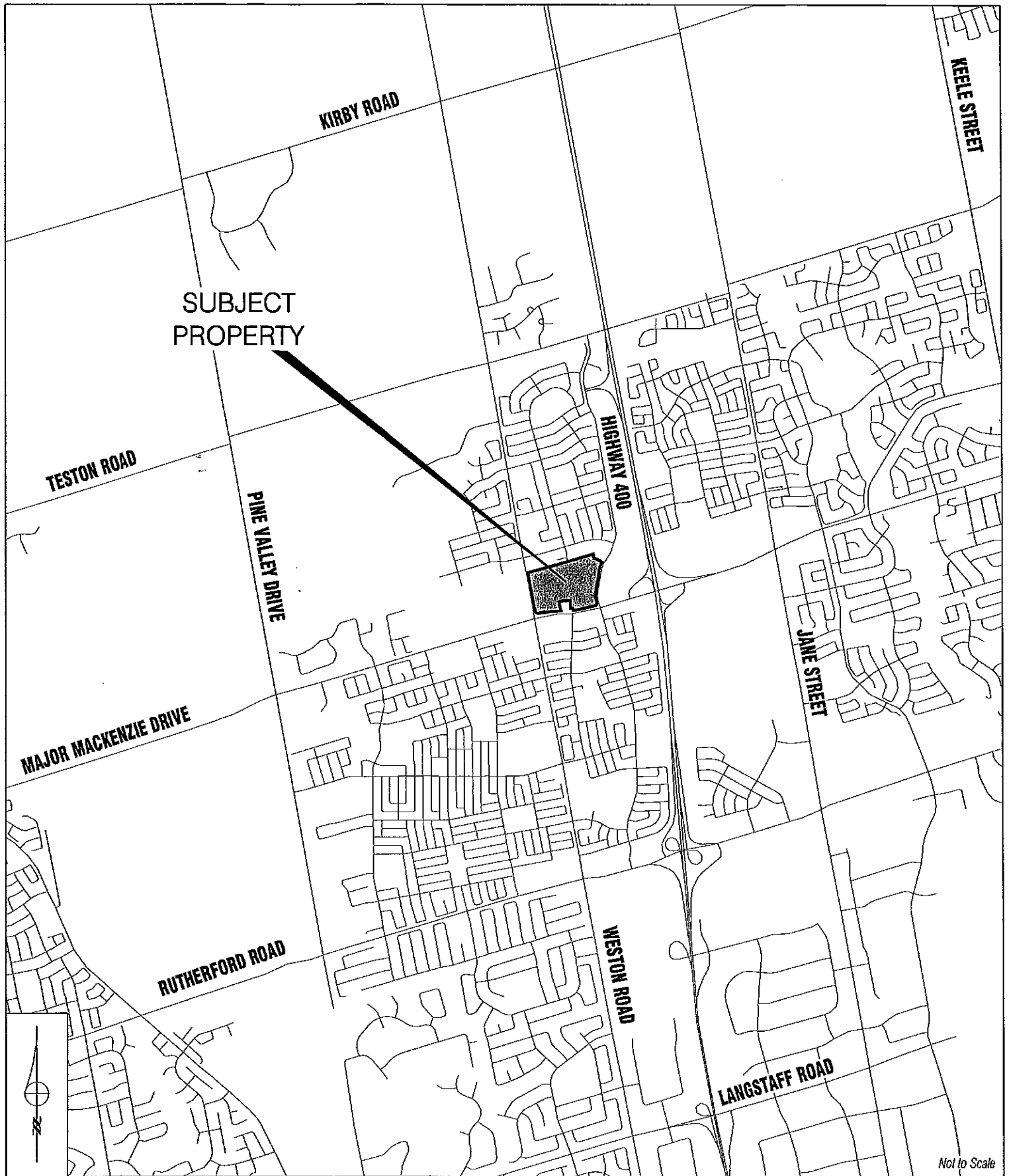
Report prepared by:

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Respectfully submitted,

GRANT UYHEYAMA
Director of Development Planning

/LG



Context Location Map

LOCATION:
Part Lot 22, Concession 6

APPLICANT:
Major Weston Centres Limited

N:\DFT\1 ATTACHMENTS\OP\op.10.006a.dwg

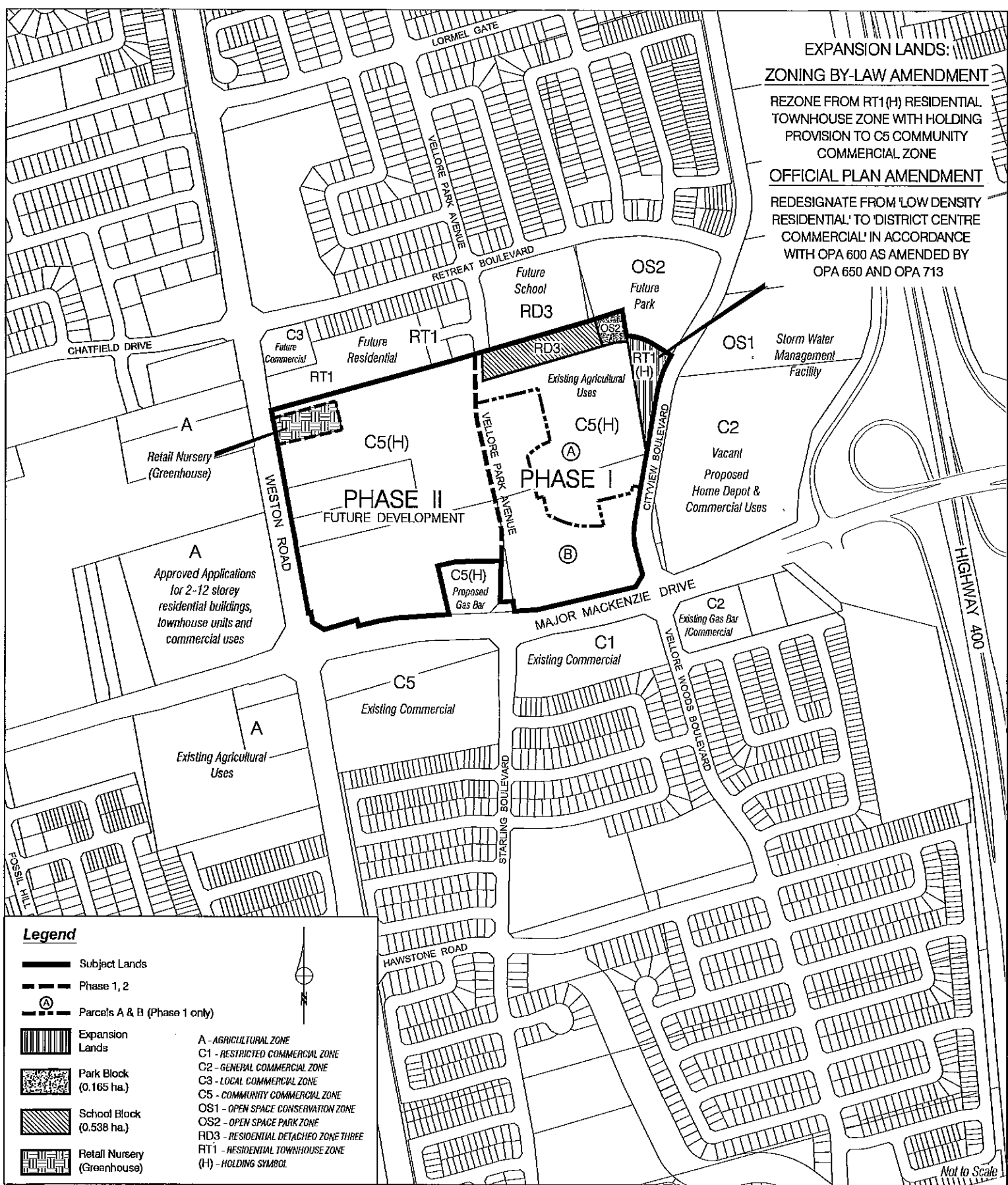


Attachment

FILES: Z.10.027,
OP.10.006 & DA.08.088

DATE:
May 31, 2011

1



EXPANSION LANDS:
ZONING BY-LAW AMENDMENT
 REZONE FROM RT1(H) RESIDENTIAL TOWNHOUSE ZONE WITH HOLDING PROVISION TO C5 COMMUNITY COMMERCIAL ZONE
OFFICIAL PLAN AMENDMENT
 REDESIGNATE FROM 'LOW DENSITY RESIDENTIAL' TO 'DISTRICT CENTRE COMMERCIAL' IN ACCORDANCE WITH OPA 600 AS AMENDED BY OPA 650 AND OPA 713

Legend

- Subject Lands
- Phase 1, 2
- Parcels A & B (Phase 1 only)
- Expansion Lands
- Park Block (0.165 ha.)
- School Block (0.538 ha.)
- Retail Nursery (Greenhouse)

- A - AGRICULTURAL ZONE
- C1 - RESTRICTED COMMERCIAL ZONE
- C2 - GENERAL COMMERCIAL ZONE
- C3 - LOCAL COMMERCIAL ZONE
- C5 - COMMUNITY COMMERCIAL ZONE
- OS1 - OPEN SPACE CONSERVATION ZONE
- OS2 - OPEN SPACE PARK ZONE
- RD3 - RESIDENTIAL DETACHEE ZONE THREE
- RT1 - RESIDENTIAL TOWNHOUSE ZONE
- (H) - HOLDING SYMBOL

Location / Zoning Map

LOCATION:
 Part Lot 22, Concession 6

APPLICANT:
 Major Weston Centres Ltd.

N:\DFT\1 ATTACHMENTS\OP\op.10.006o.dwg



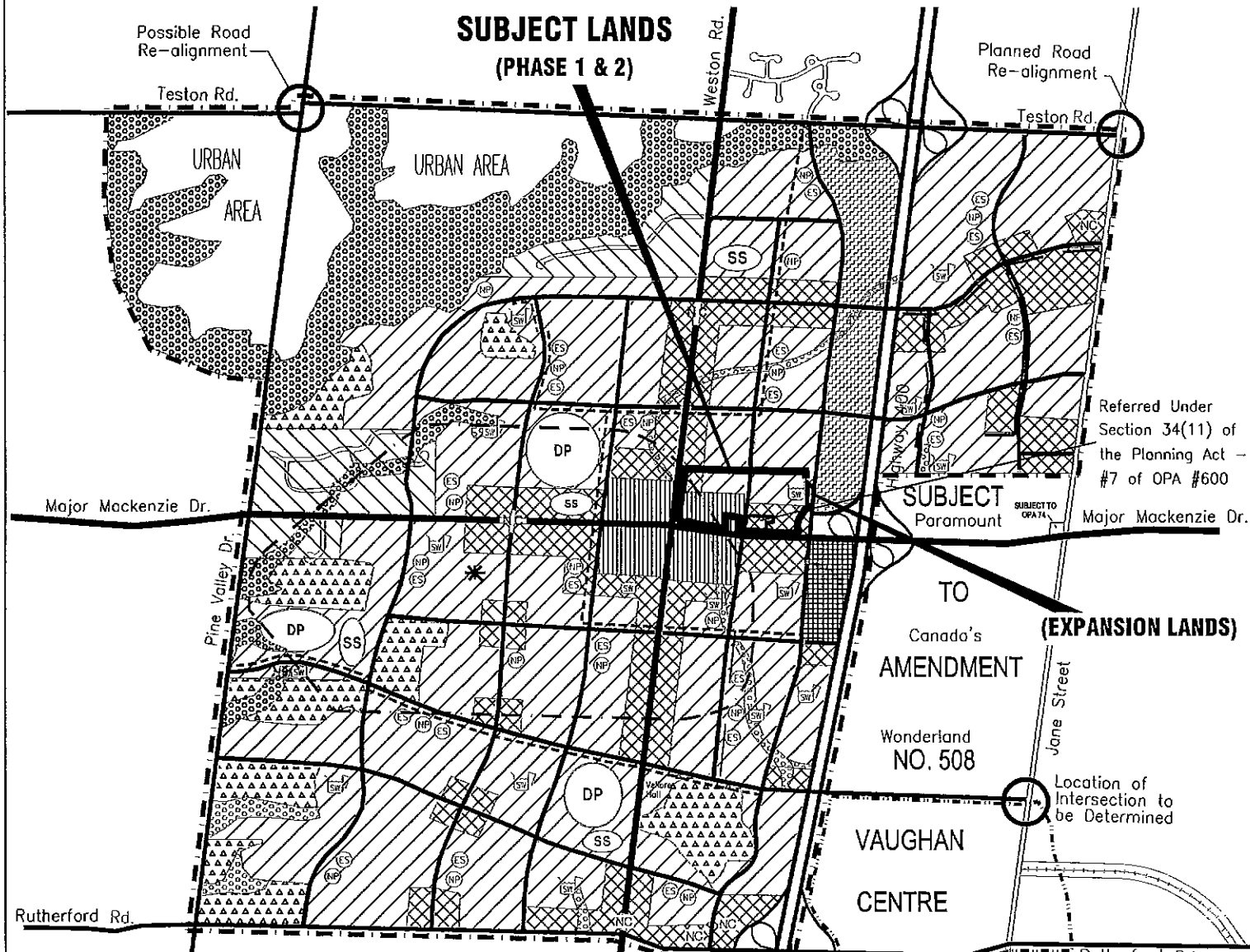
Attachment

FILES: Z.10.027,
 OP.10.006 & DA.08.088

DATE:
 June 2, 2011

2

SUBJECT LANDS (PHASE 1 & 2)



Referred Under
Section 34(11) of
the Planning Act -
#7 of OPA #600
Major Mackenzie Dr.

TO
Canada's
AMENDMENT
Wonderland
NO. 508

Location of
Intersection to
be Determined

VAUGHAN
CENTRE

SECONDARY
PLAN
AREA

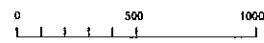
- LEGEND**
- (ES) Elementary School
 - (SS) Secondary School
 - (NP) Neighbourhood Park
 - (DP) District Park
 - NC Neighbourhood Commercial Cen.
 - [Pattern] Lands Subject to Vellore - Urban Village Area #1
 - [Pattern] Low Density Residential
 - [Pattern] Medium Density Residential/Commercial
 - [Pattern] Vellore Village Centre
 - [Pattern] Estate Residential
 - [Pattern] Urban Area
 - [Pattern] High Performance Employment Area
 - [Pattern] Valley Lands
 - [Pattern] Stream Corridor
 - [Pattern] Greenway System
 - [Pattern] Tableland Woodlots
 - [Pattern] General Commercial
 - [Pattern] Storm Water Management
 - [Pattern] Vaughan Centre
 - [Pattern] Waste Disposal Assessment Area (Passer Estate)

SEE SCHEDULE 'B1'

SEE SCHEDULE 'B2'

AREA SUBJECT TO
AMENDMENT NO. 512

VELLORE URBAN VILLAGE 1



THIS IS SCHEDULE 'B' TO
AMENDMENT 600

Not to Scale

OPA 600 - Schedule 'B' Vellore Urban Village 1

APPLICANT:
Major West Centres Limited

LOCATION:
Part Lot 22, Concession 6

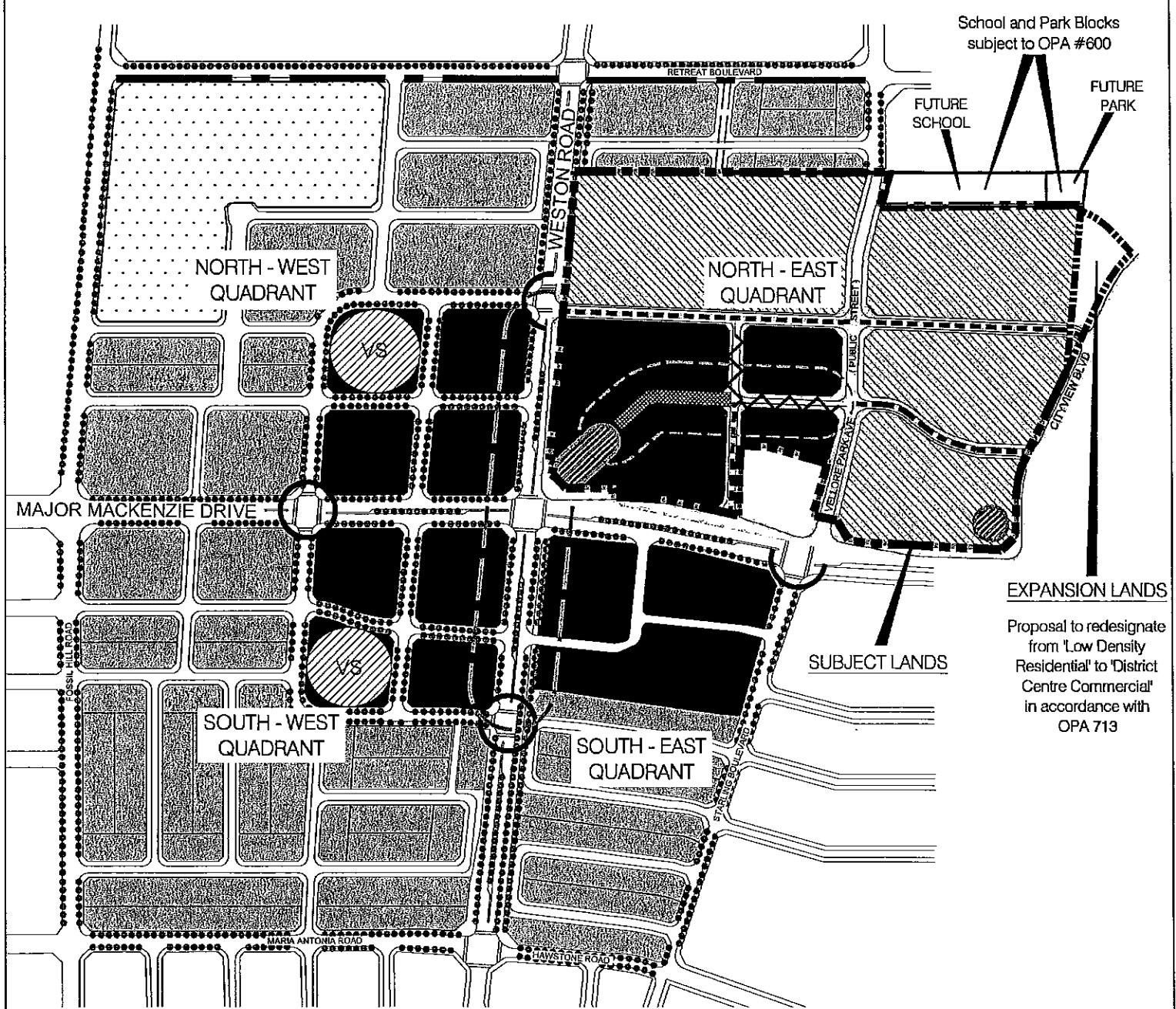


Attachment

FILES: Z.10.027,
OP.10.006 & DA.08.088

DATE:
May 31, 2011

3



EXPANSION LANDS
 Proposal to redesignate from 'Low Density Residential' to 'District Centre Commercial' in accordance with OPA 713

SUBJECT LANDS

LEGEND

- LOW - RISE RESIDENTIAL
- VILLAGE CORE
- VILLAGE SQUARE
- URBAN SQUARE
- DISTRICT CENTRE COMMERCIAL
- STORM WATER MANAGEMENT POND
- MAIN STREET RETAIL
- GATEWAY
- GREENWAY
- VILLAGE CORE PROMENADE
- 9m PEDESTRIAN WALKWAY
- PROMENADE AREA 'A'
- PRIVATE DRIVEWAY
- PEDESTRIAN ONLY PROMENADE
- SUBJECT LANDS

Not to Scale

OPA 713 - Vellore Village
District Centre Plan - Schedule A



Attachment

FILES: Z.10.027,
 OP.10.006 & DA.08.088

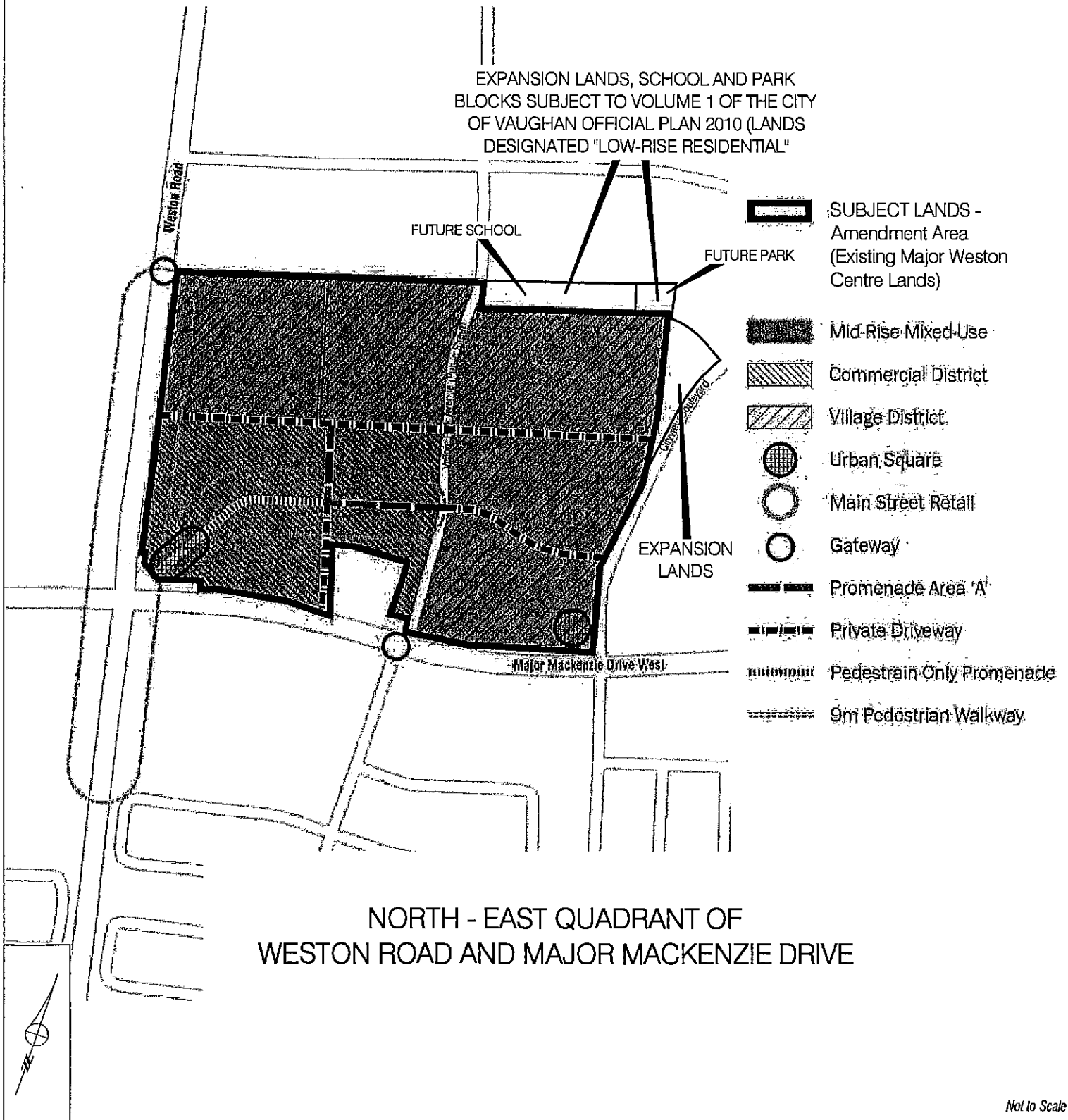
DATE:
 May 31, 2011

4

APPLICANT:
 Major West Centres Limited

LOCATION:
 Part Lot 22, Concession 6

EXPANSION LANDS, SCHOOL AND PARK
BLOCKS SUBJECT TO VOLUME 1 OF THE CITY
OF VAUGHAN OFFICIAL PLAN 2010 (LANDS
DESIGNATED "LOW-RISE RESIDENTIAL")



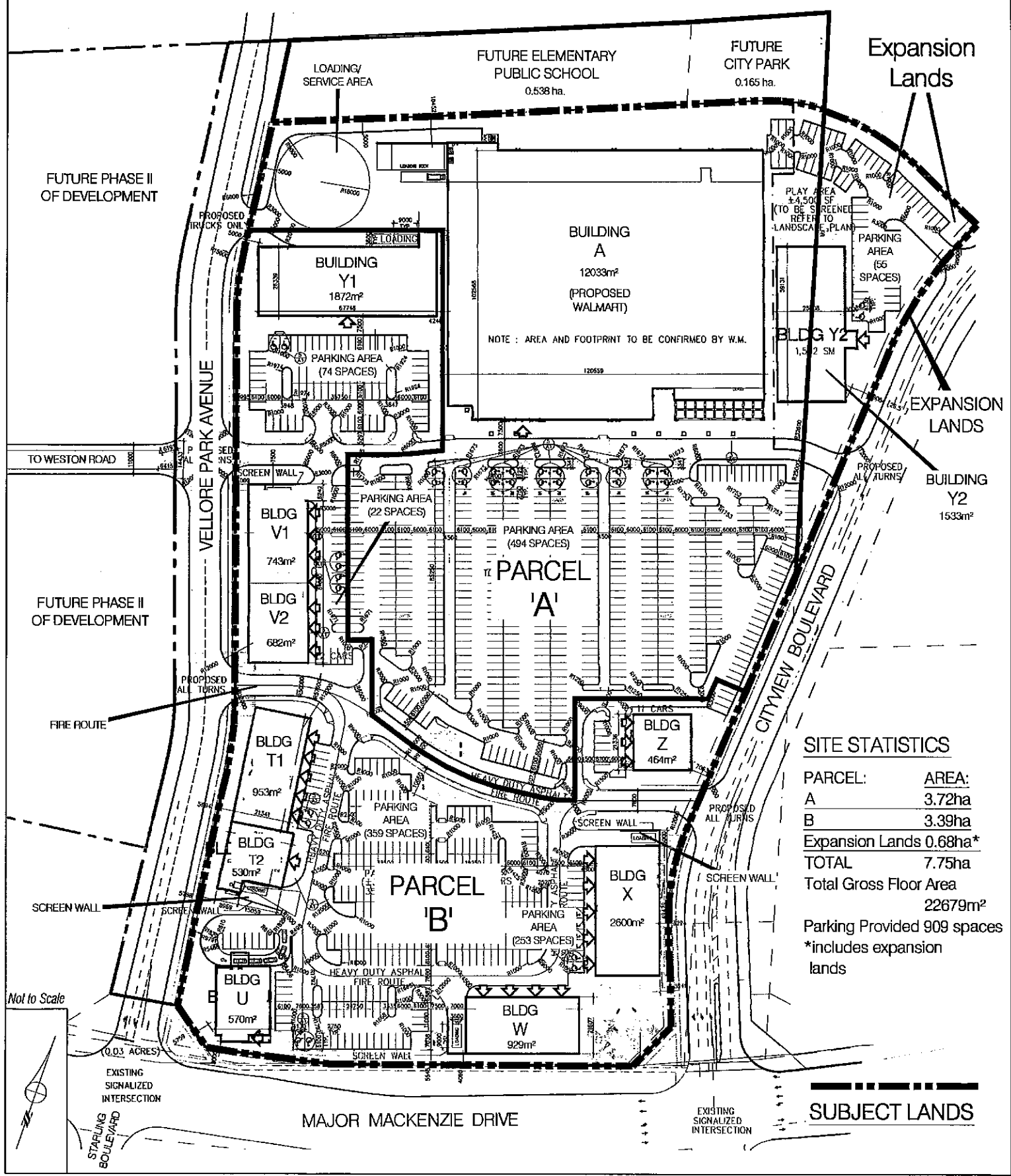
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City of Vaughan Official Plan 2010
Volume 2 - Site Specific Amendment
(Pending York Region Approval)



Attachment
FILES: Z.10.027,
OP.10.006 & DA.08.088
DATE:
May 31, 2011
5

APPLICANT: Major West Centres Ltd.
LOCATION: Part Lot 22, Concession 6



SITE STATISTICS

PARCEL:	AREA:
A	3.72ha
B	3.39ha
Expansion Lands	0.68ha*
TOTAL	7.75ha
Total Gross Floor Area	
	22679m ²
Parking Provided 909 spaces	
*includes expansion lands	

Overall Phase I Site Plan



Attachment 6

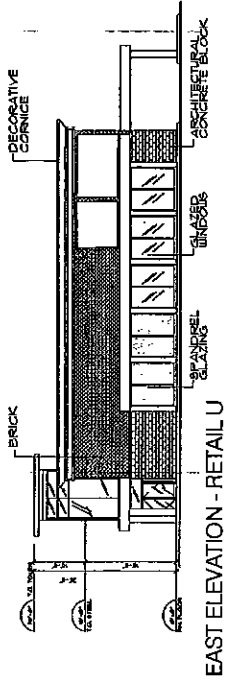
APPLICANT: Major West Centres Limited

LOCATION: Part Lot 22, Concession 6

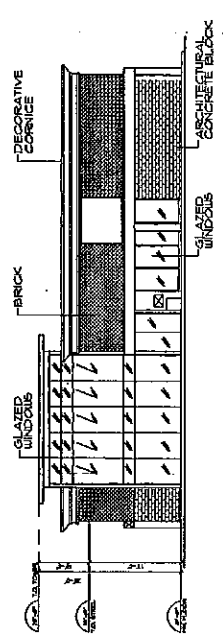
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DATE: June 2, 2011

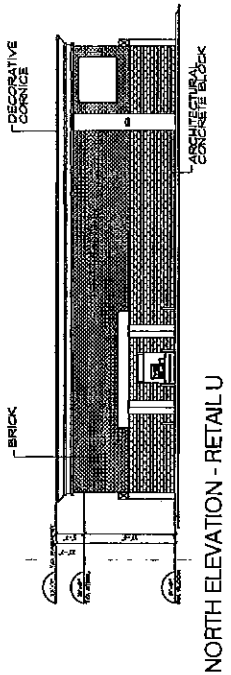
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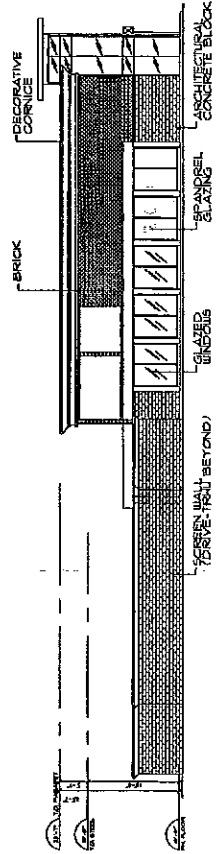
EAST ELEVATION - RETAIL U



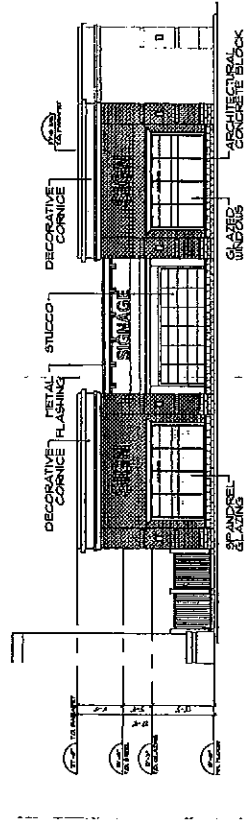
SOUTH ELEVATION - RETAIL U



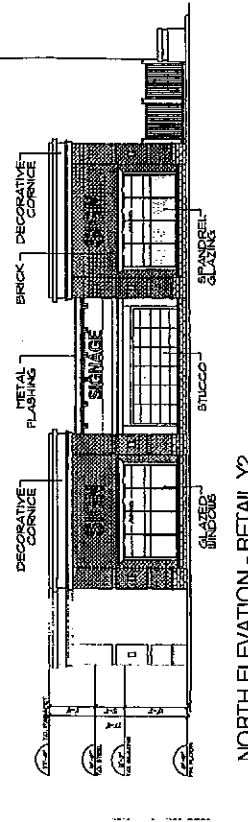
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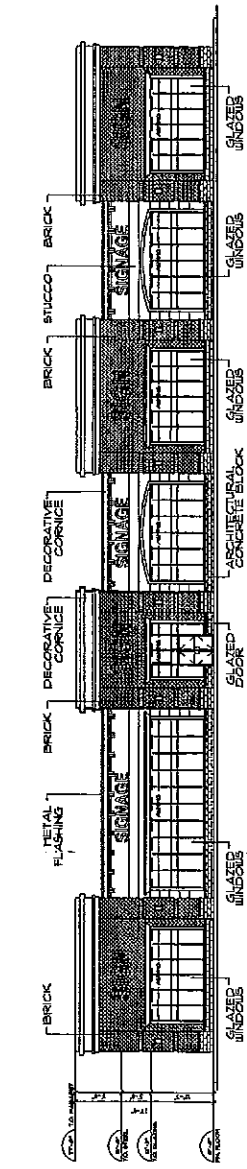
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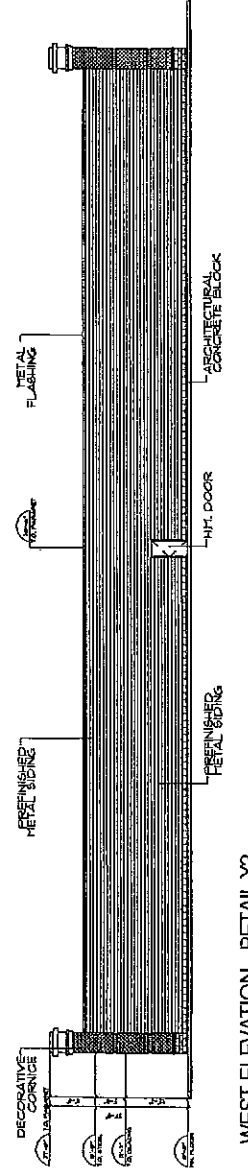
SOUTH ELEVATION - RETAIL Y2



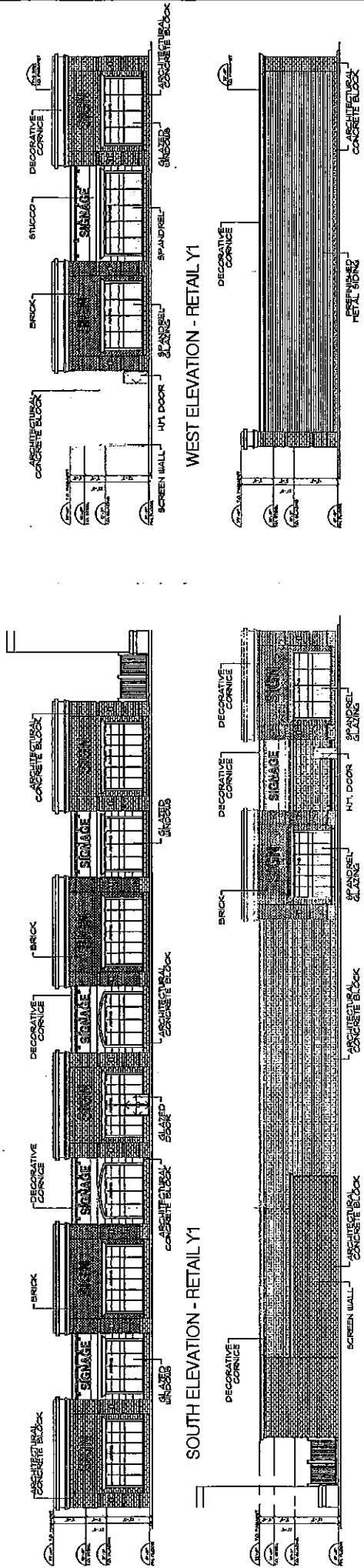
NORTH ELEVATION - RETAIL Y2



EAST ELEVATION - RETAIL Y2

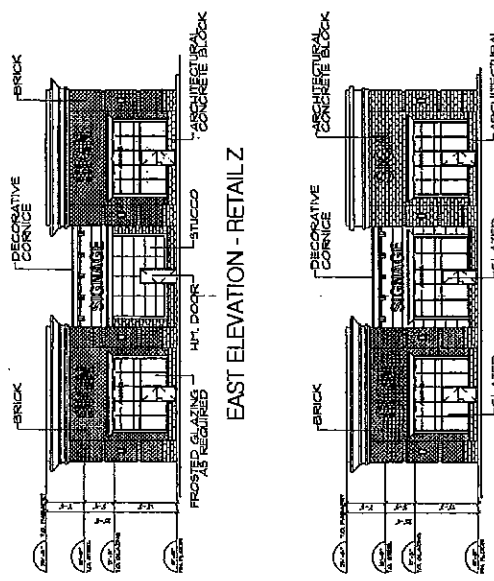


WEST ELEVATION - RETAIL Y2



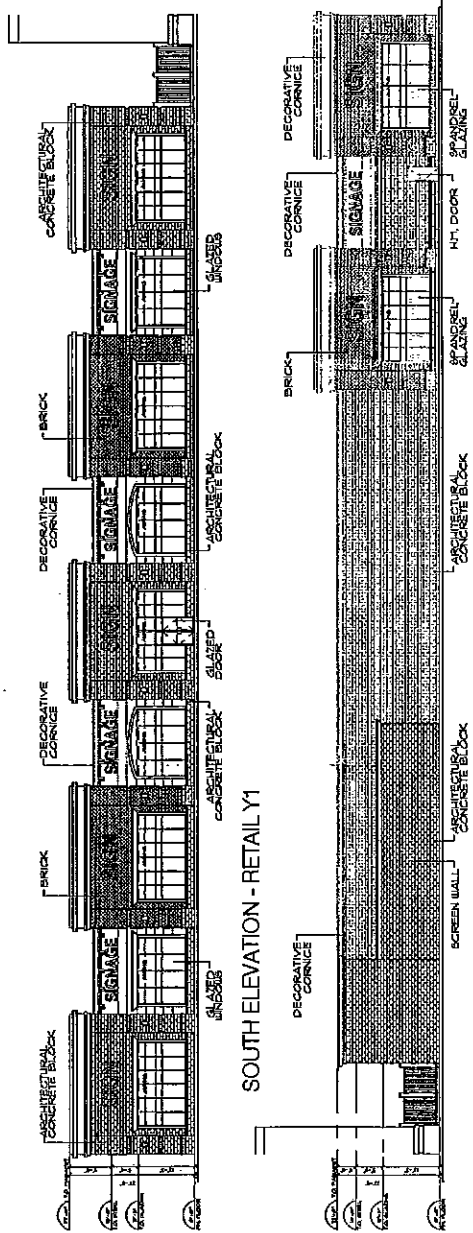
WEST ELEVATION - RETAIL Y1

EAST ELEVATION - RETAIL Y1



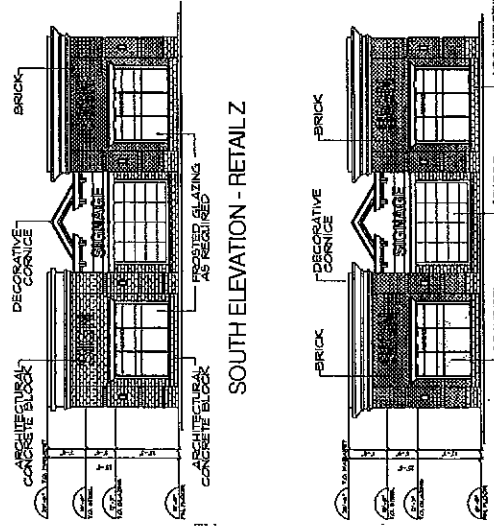
EAST ELEVATION - RETAIL Z

WEST ELEVATION - RETAIL Z



SOUTH ELEVATION - RETAIL Y1

NORTH ELEVATION - RETAIL Y1



SOUTH ELEVATION - RETAIL Z

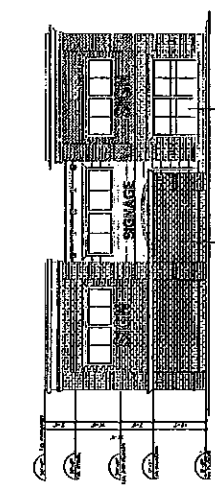
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Elevations - Buildings "Y1" & "Z"

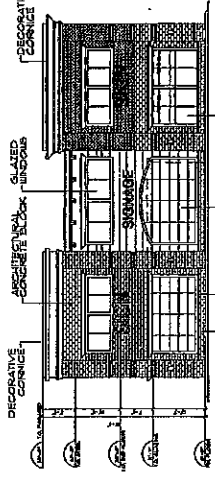
APPLICANT: Major West Centres Limited
 LOCATION: Part Lot 22, Concession 6

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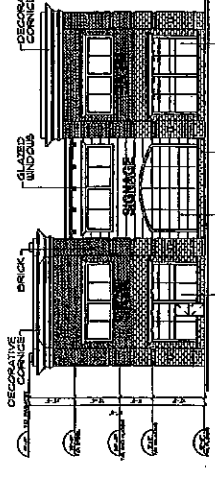




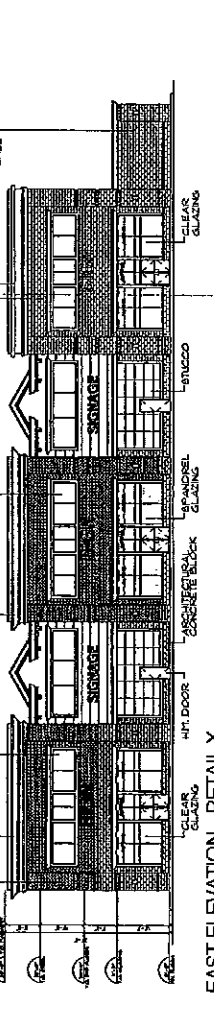
NORTH ELEVATION
SCREEN WALL - RETAIL X



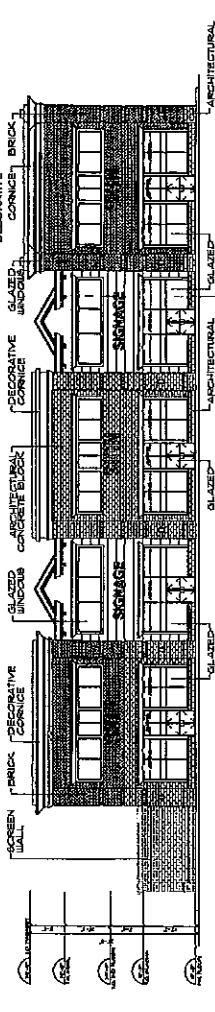
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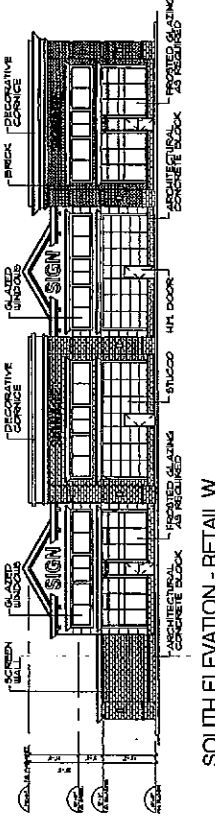
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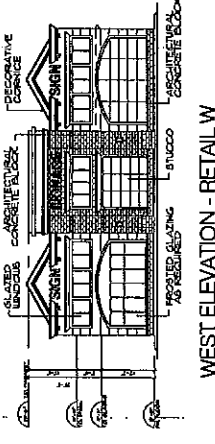
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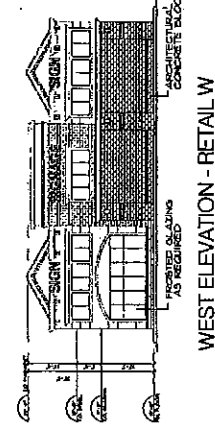
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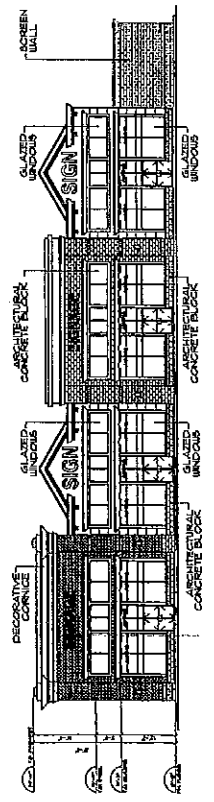
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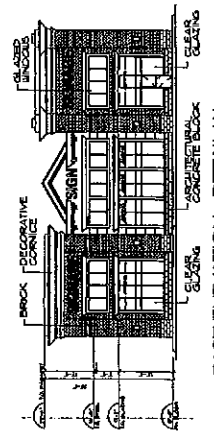
WEST ELEVATION - RETAIL W



WEST ELEVATION - RETAIL W



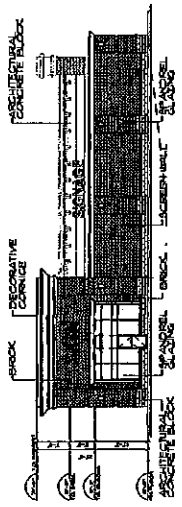
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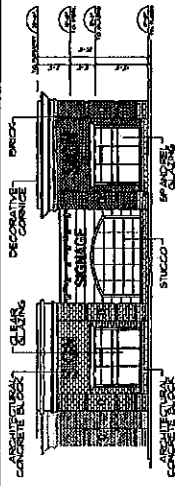
EAST ELEVATION - RETAIL W



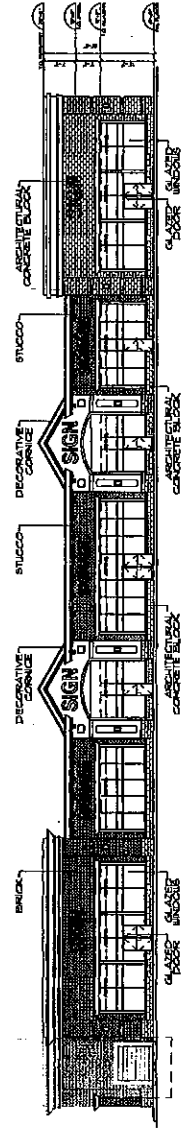
SOUTH ELEVATION - RETAIL T1 & T2



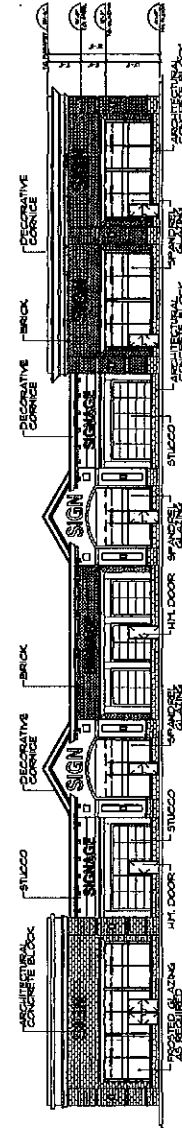
NORTH ELEVATION - RETAIL T1 & T2



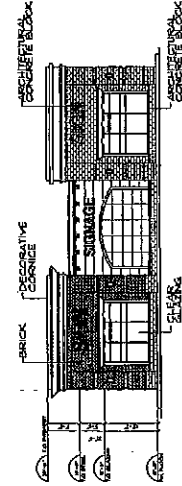
EAST ELEVATION - RETAIL T1 & T2



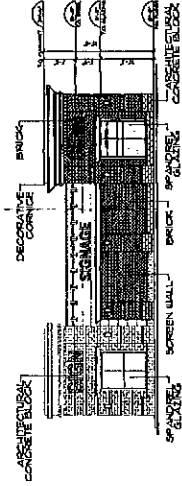
WEST ELEVATION - RETAIL T1 & T2



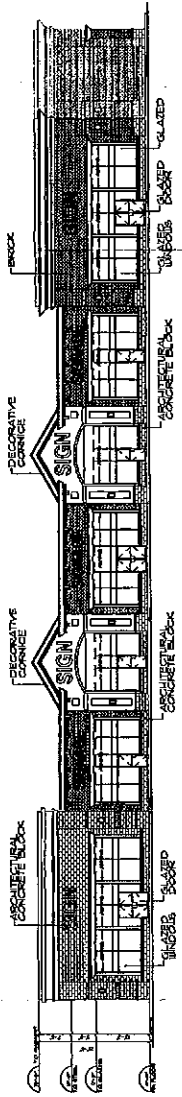
SOUTH ELEVATION - RETAIL V1 & V2



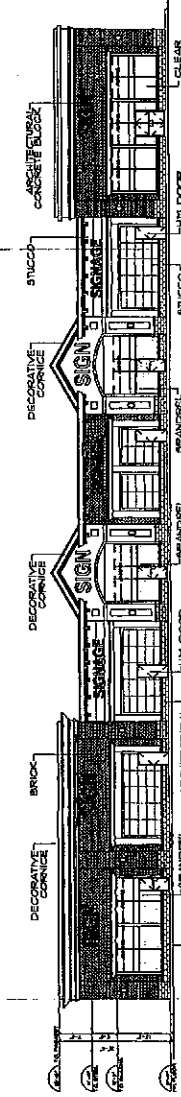
NORTH ELEVATION - RETAIL V1 & V2



EAST ELEVATION - RETAIL V1 & V2



WEST ELEVATION - RETAIL V1 & V2



Elevations - Buildings "T1"

"T2" & "V1" "V2"

APPLICANT: Major West Centres Limited
LOCATION: Part Lot 22, Concession 6

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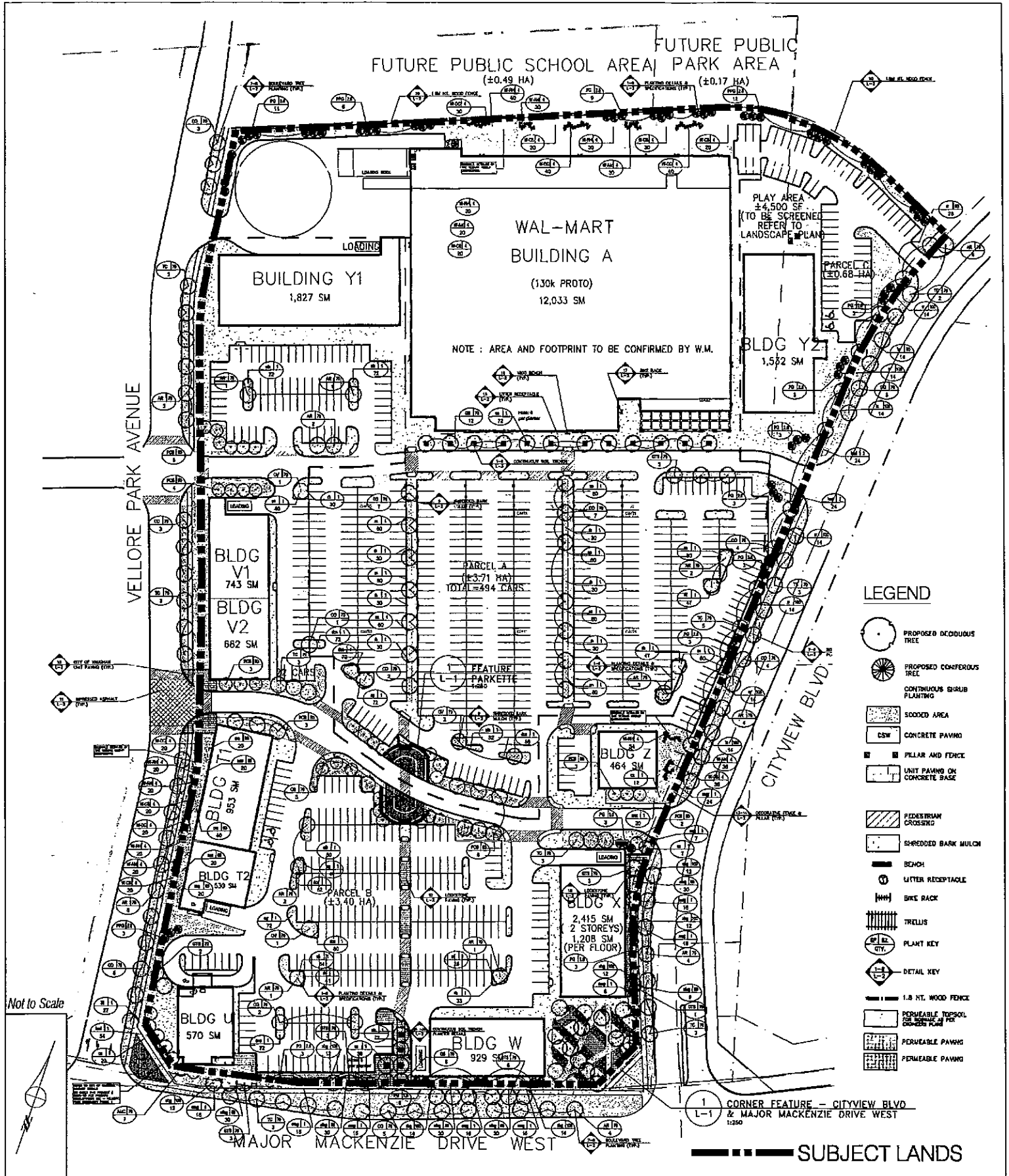


Attachment

FILES: Z.10.027,
DP.10.006 & DA.08.088

DATE:
June 2, 2011

11



Proposed Landscape Plan

APPLICANT:
Major West Centres Limited

LOCATION:
Part Lot 22, Concession 6



Attachment

FILES: Z.10.027,
OP.10.006 & DA.08.088

DATE:
June 2, 2011

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